

SURVEYOR'S STATEMENT

THIS MAP CORRECTLY REPRESENTS A TOPOGRAPHIC AND BOUNDARY SURVEY MADE BY ME OR UNDER MY DIRECTION AT THE REQUEST OF:

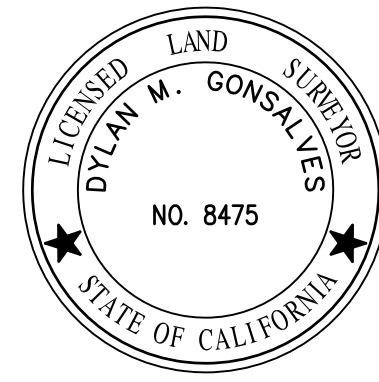
MIKE FOLK IN: FEBRUARY 2021

I HEREBY STATE THAT THE TOPOGRAPHY AND BOUNDARIES SHOWN ON THIS MAP IS BASED UPON A SURVEY MADE BY ME, DYLAN M. GONSALVES, PLS 8475

ON APRIL 26, 2024

I FURTHER STATE THAT TO THE BEST OF MY KNOWLEDGE ALL PROVISIONS OF APPLICABLE LOCAL ORDINANCES HAVE BEEN COMPLIED WITH.

Dylan M. Gonsalves
DYLAN M. GONSALVES DATE 6-26-2024



SORICH COMMONS PARTNERS, LLC PARCEL

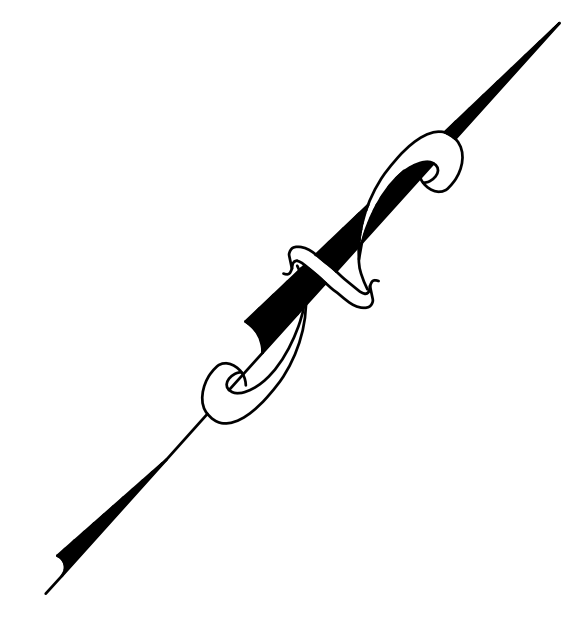
ASSESSOR'S PARCEL No. 177-203-16
DEED: D.N. 2021-033132
AREA: 34,984 ± SQ. FT.

SORICH COMMONS PARTNERS, LLC PARCEL

ASSESSOR'S PARCEL No.: 177-220-10
DEED: D.N. 2023-030116
AREA: 461,997 ± SQ. FT.

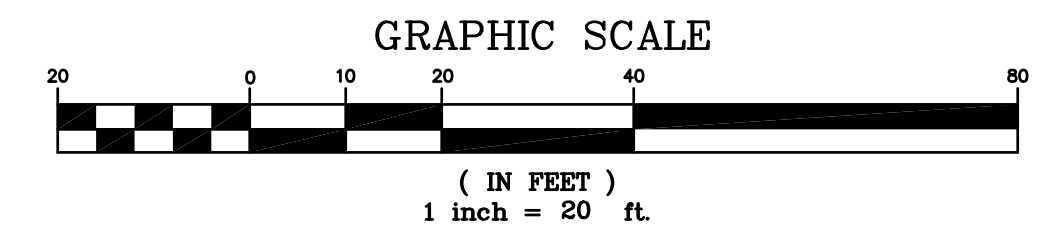
NOTES:

- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- BASIS OF ELEVATION: DATUM NAVD88, GPS OBSERVATIONS PROCESSED THROUGH OPUS-RS
- NO TITLE REPORT WAS FURNISHED IN THE COURSE OF THIS SURVEY, THEREFORE ONLY EASEMENTS SHOWN ON THE MAP REFERENCED IN THE LEGAL DESCRIPTION HAVE BEEN PLOTTED.
- 2' CONTOUR INTERVAL.



PARTIAL TOPOGRAPHIC & BOUNDARY SURVEY
SACRAMENTO AVENUE
UNINCORPORATED SAN ANSELMO

MARIN COUNTY - CALIFORNIA
SCALE: 1 INCH = 20 FEET APRIL 2021



CONTINUES ON SHEET 2

DMG ENGINEERING, INC.
30 OAKVUE COURT
PLEASANT HILL, CA 94523
PHONE: (925) 787-0463
FAX: (925) 287-8503

DMG ENGINEERING, INC.
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NO.	DATE	DESCRIPTION	BY

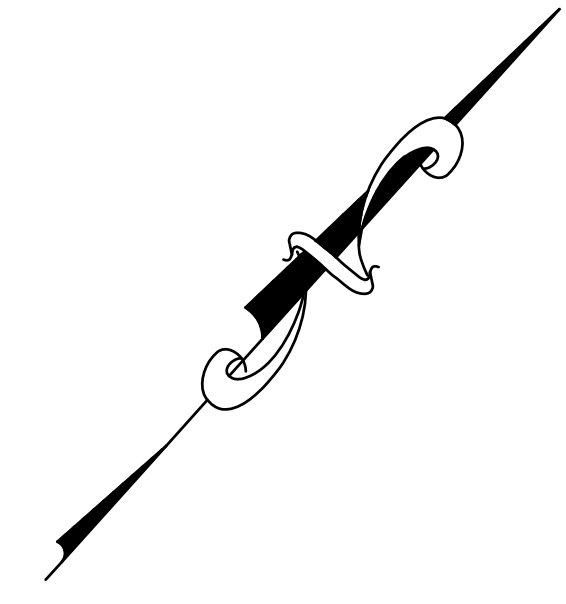
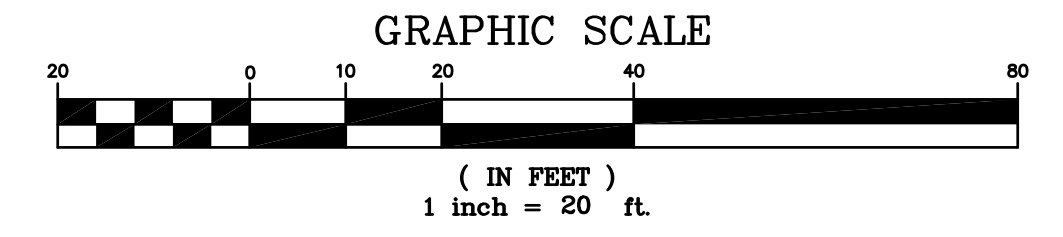
PARTIAL TOPOGRAPHIC & BOUNDARY SURVEY
TOWN OF SAN ANSELMO - CALIFORNIA
SCALE: 1 INCH = 20 FEET
NOVEMBER 2023

SHEET 1
OF 2 SHEET(S)
ORIG.DWG: 12-13-2023
REV.DWG: 6-26-2024
JOB: 21-20

PARTIAL TOPOGRAPHIC & BOUNDARY SURVEY

SACRAMENTO AVENUE UNINCORPORATED SAN ANSELMO

MARIN COUNTY — CALIFORNIA
SCALE: 1 INCH = 20 FEET APRIL 2021



CONTINUES ON SHEET 1

APN: 177-220-10

FUTURE BOUNDARY

DMG ENGINEERING, INC.
30 OAKVUE COURT
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No.	DATE	DESCRIPTION	BY

PARTIAL TOPOGRAPHIC & BOUNDARY SURVEY
TOWN OF SAN ANSELMO — CALIFORNIA
SCALE: 1 INCH = 20 FEET
NOVEMBER 2023

SHEET 2
OF 2 SHEET(S)
ORIG.DWG: 12-13-2023
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APPLICATION EXHIBIT LOT LINE ADJUSTMENT

VACANT PARCEL APN 117-203-16
VACANT PARCEL APN 117-220-10
UNINCORPORATED SLEEPY HOLLOW

MARIN COUNTY - CALIFORNIA
SCALE: 1 INCH = 50 FEET JUNE 2024

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NO.	DATE	REVISIONS	DESCRIPTION	BY

**TOPOGRAPHIC AND
BOUNDARY SURVEY**
404 SAN FRANCISCO BLVD
TOWN OF SAN ANSELMO - CALIFORNIA
SCALE: 1 INCH = 50 FEET
JUNE 2024

SHEET 1
OF 2 SHEET(S)
ORIG.DWG: 6-13-2024
REV.DWG:
JOB: 21-20

LEGEND

BOUNDARY ————

LINE TO BE DELETED - - - -

NEW LINE ————

EASEMENT LINE - - - -

CITY LIMITS LINE - - - -

FOUND MONUMENT AS NOTED ●

ASSESSOR'S PARCEL NUMBER APN

DOCUMENT NUMBER D.N.

BASIS OF BEARINGS

THE BEARING SHOWN AS "RECORD SOUTH 52°03' EAST" FROM A FOUND 1/2" IRON PIPE WITH WOOD PLUG & TACK, AT THE INTERSECTION OF THE SOUTHWESTERLY LINE OF SACRAMENTO AVENUE WITH THE SOUTHEASTERLY LINE OF A 40 FOOT WIDE RIGHT OF WAY, TO A FOUND 1/2" IRON PIPE AT THE SOUTHERLY CORNER OF THE PARCEL SHOWN AS "LEPAGE 1631 O.R. 390", ALL AS SHOWN ON THE THAT CERTAIN RECORD OF SURVEY MAP FILED JANUARY 20, 1972, IN BOOK 10 OF SURVEYS AT PAGE 92, MARIN COUNTY RECORDS. (SAID LINE IS SHOWN THEREON AS HAVING A MEASURED BEARING SOUTH 52°01'33" EAST.)

- NOTES**
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
 - 2' CONTOUR INTERVAL.

SURVEYOR'S STATEMENT

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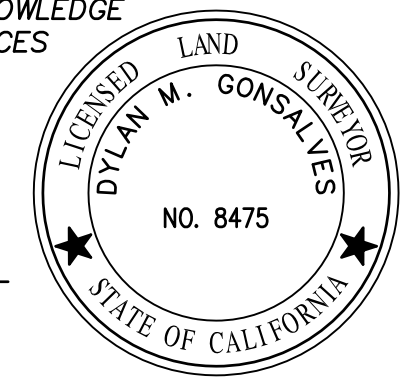
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IN APRIL 2021, NOVEMBER 2023 & APRIL 2024

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Dylan M. Gonsalves
DYLAN M. GONSALVES
6-13-2024
DATE

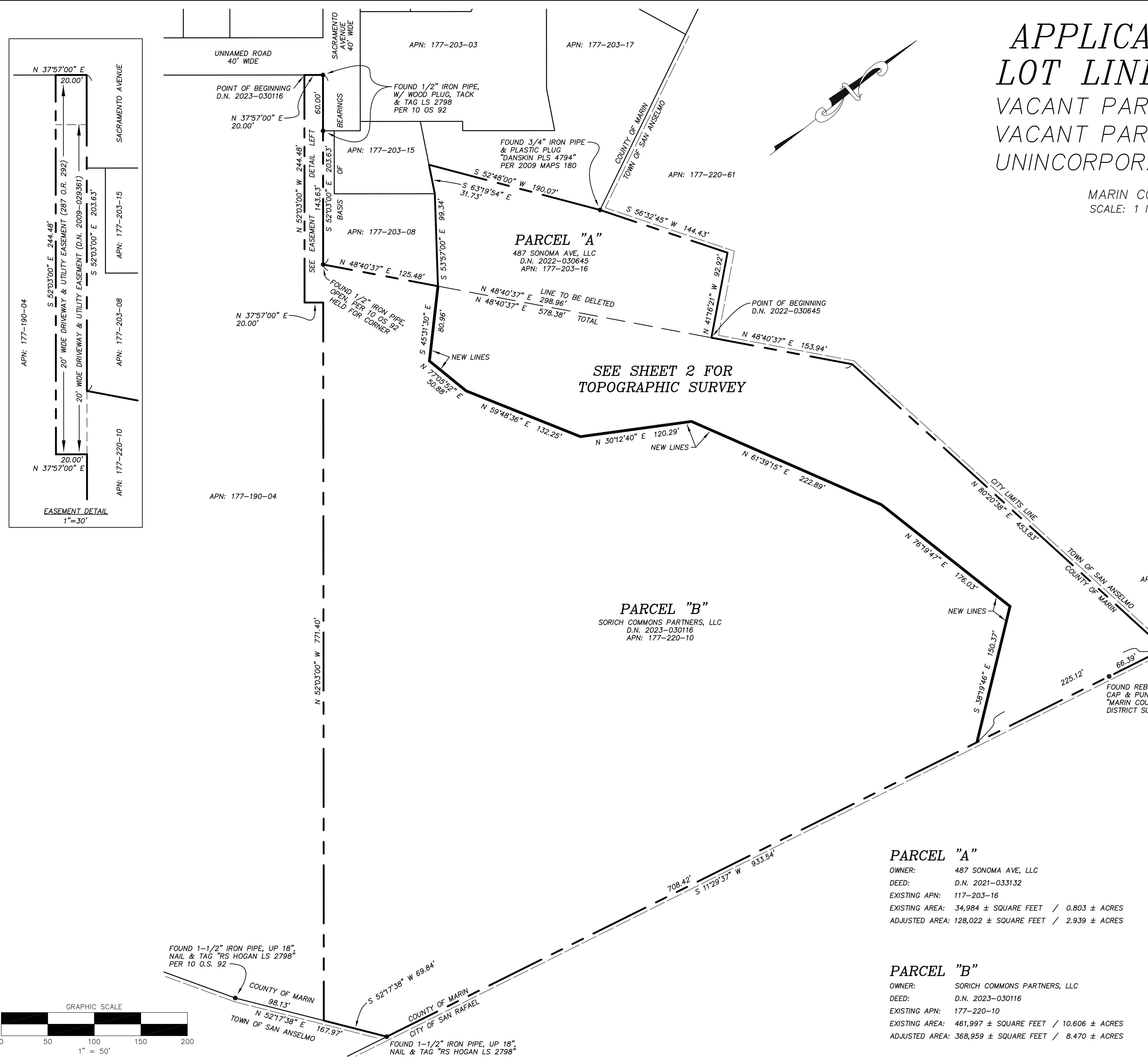


PARCEL "A"

OWNER: 487 SONOMA AVE, LLC
DEED: D.N. 2021-033132
EXISTING APN: 117-203-16
EXISTING AREA: 34,984 ± SQUARE FEET / 0.803 ± ACRES
ADJUSTED AREA: 128,022 ± SQUARE FEET / 2.939 ± ACRES

PARCEL "B"

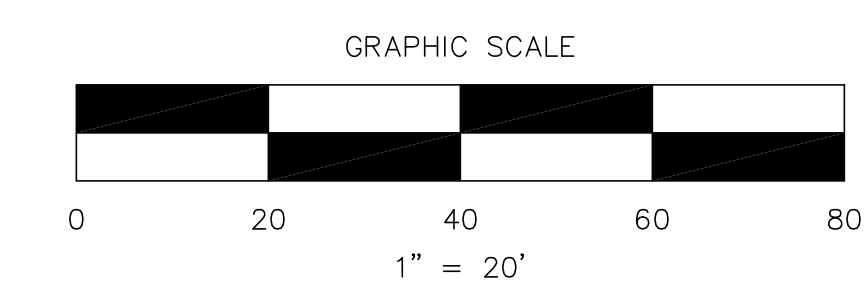
OWNER: SORICH COMMONS PARTNERS, LLC
DEED: D.N. 2023-030116
EXISTING APN: 177-220-10
EXISTING AREA: 461,997 ± SQUARE FEET / 10.606 ± ACRES
ADJUSTED AREA: 368,959 ± SQUARE FEET / 8.470 ± ACRES



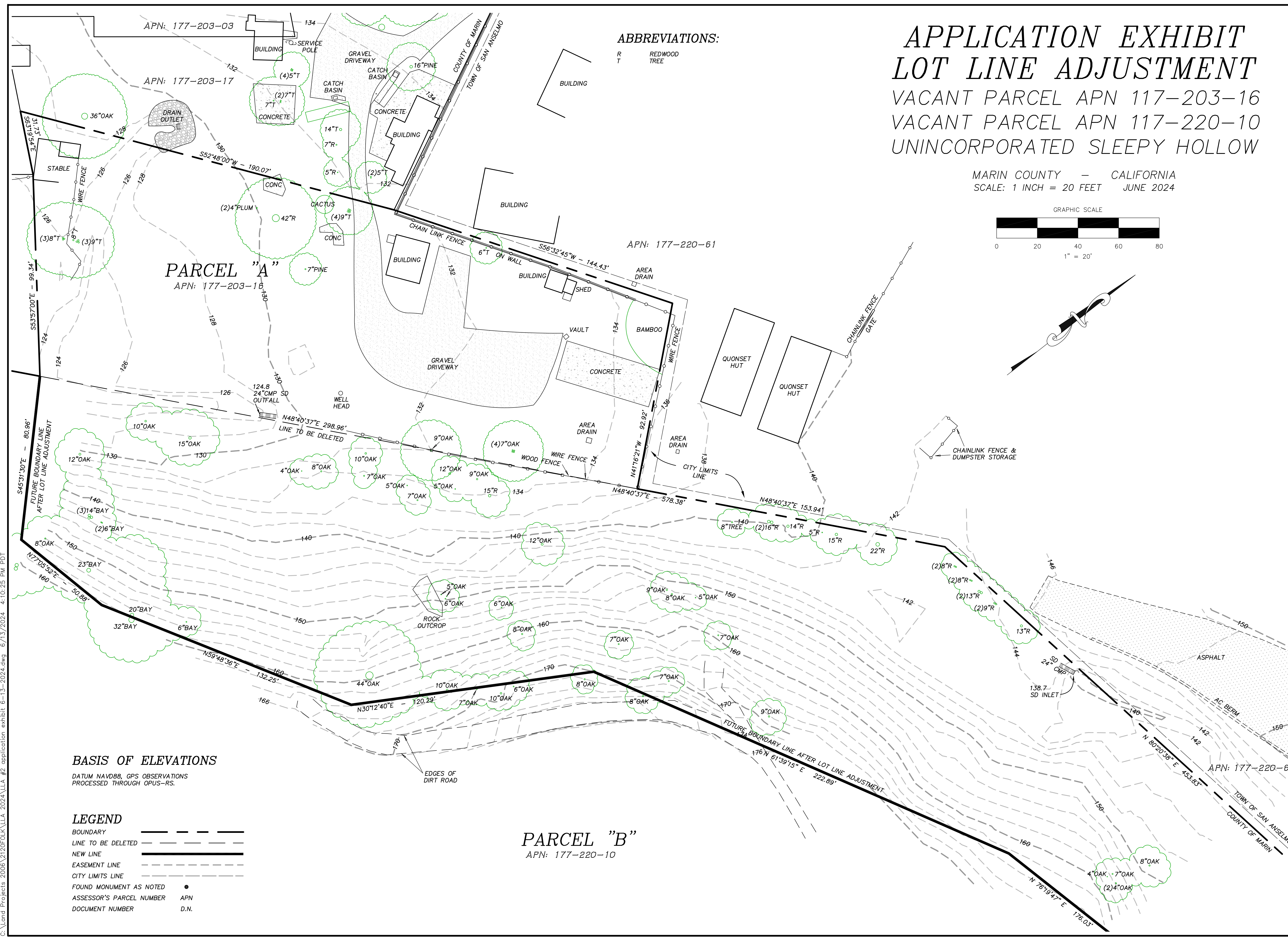
APPLICATION EXHIBIT LOT LINE ADJUSTMENT

VACANT PARCEL APN 117-203-16
VACANT PARCEL APN 117-220-10
UNINCORPORATED SLEEPY HOLLOW

MARIN COUNTY — CALIFORNIA
SCALE: 1 INCH = 20 FEET JUNE 2024



ABBREVIATIONS:
R REDWOOD
T TREE



BASIS OF ELEVATIONS
DATUM NAVD88, GPS OBSERVATIONS
PROCESSED THROUGH OPUS-RS.

LEGEND

BOUNDARY	---
LINE TO BE DELETED	- - - -
NEW LINE	---
EASEMENT LINE	---
CITY LIMITS LINE	---
FOUND MONUMENT AS NOTED	●
ASSESSOR'S PARCEL NUMBER	APN
DOCUMENT NUMBER	D.N.

PARCEL "B"
APN: 177-220-10

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SHEET 2
OF 2 SHEET(S)
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REV.DWG: _____
JOB: 21-20

C:\Land Projects\2024\2120FOLK\2024\11A #2 application exhibit 6-13-2024.dwg 6/13/2024 4:10:25 PM PDT