

- LEGEND**
- SUBJECT PROPERTY LINES PER [1]
 - OTHER PROPERTY LINES PER [1]
 - MONUMENT LINE PER [1]
 - o- WOOD FENCE
 - o- BUILDING LINE
 - o FOUND MONUMENT PER [1]
 - AD AREA DRAIN
 - BC BUILDING CORNER
 - CONC CONCRETE
 - BSW BACK OF SIDEWALK
 - DI DRAIN INLET
 - EC EDGE OF CONCRETE
 - EL ELEVATION
 - EM ELECTRIC METER
 - FL FLOW LINE
 - FF FINISH FLOOR
 - FR FIRE HYDRANT
 - GB GRADE BREAK
 - GV GAS VALVE
 - GM GAS METER
 - GW GUY WIRE
 - HV HIGH VOLTAGE
 - IV IRRIGATION VALVE
 - LG LIP OF GUTTER
 - MH MANHOLE
 - OE OVERHEAD ELECTRIC
 - OC OVERHEAD CABLE
 - SC SEWER CLEANOUT
 - TEL TELECOM
 - TBC TOP BACK OF CURB
 - TBW TOP BACK OF WALL
 - TEW TOE OF WALL
 - WM WATER METER
 - WV WATER VALVE
 - + ELEVATION
 - + FC + DESCRIPTION

BASIS OF BEARINGS:
THE BASIS OF BEARINGS FOR THIS SURVEY IS N62°47'03"E BETWEEN FOUND STANDARD WELL MONUMENTS PER [1], FILED IN THE OFFICE OF THE MARIN COUNTY RECORDER.

GENERAL NOTES:

- 1) REFERENCED MAPS PER MARIN COUNTY RECORDER.
- 2) ALL ANGLES ARE 90°00' UNLESS SHOWN OTHERWISE.
- 3) DISTANCES SHOWN IN FEET AND DECIMALS THEREOF.
- 4) CONTOURS SHOWN AT A 1 FOOT INTERVAL.
- 5) ALL DISTANCES CONSIDERED MEASURED (RECORD PER [1]) UNLESS NOTED OTHERWISE.
- 6) ONLY VISIBLE SURFACE UTILITIES AND MONUMENTS SHOWN ON DATE OF SURVEY ARE SHOWN.
- 7) THIS SURVEY DOES NOT SHOW SUBSURFACE ENCROACHMENTS (UTILITIES/FOUNDATIONS)
- 8) ELEVATIONS SHOWN ON ASSUMED LOCAL DATUM.

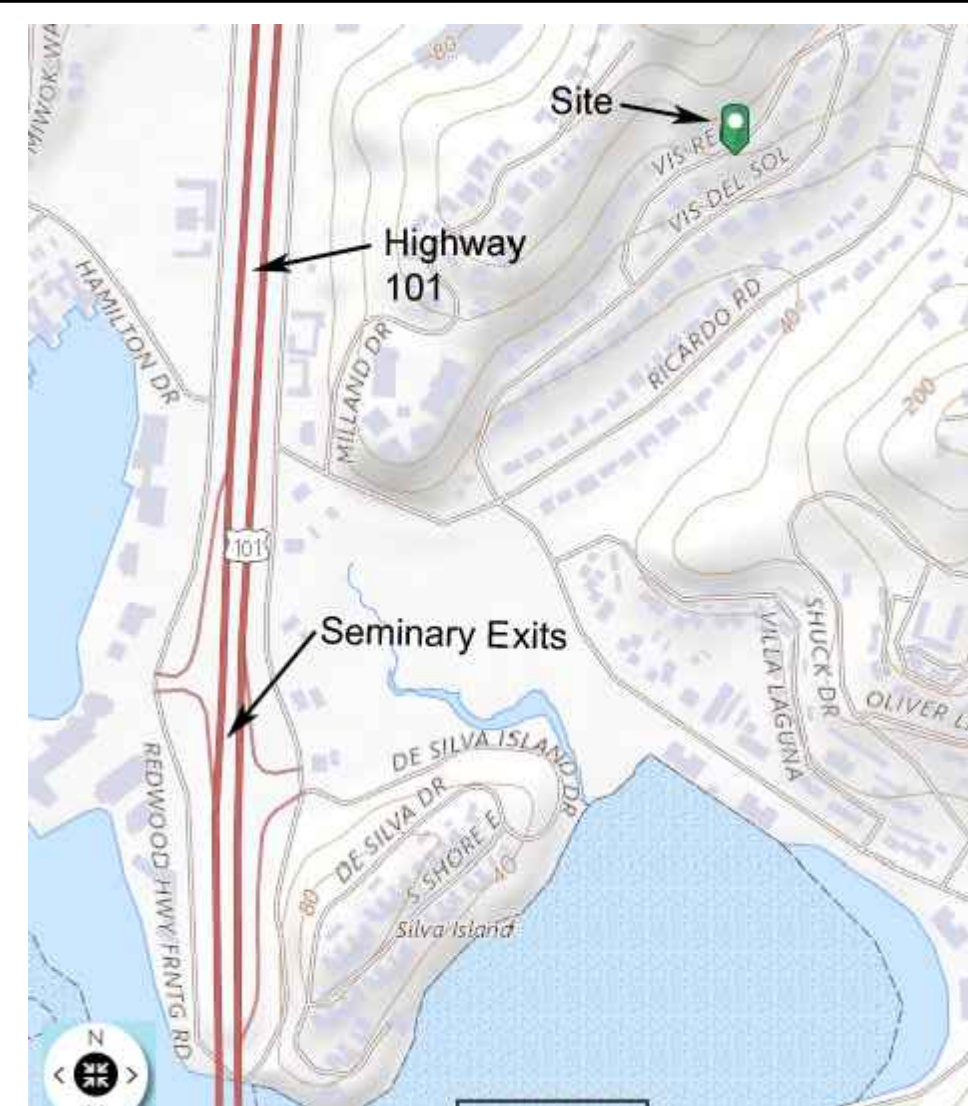
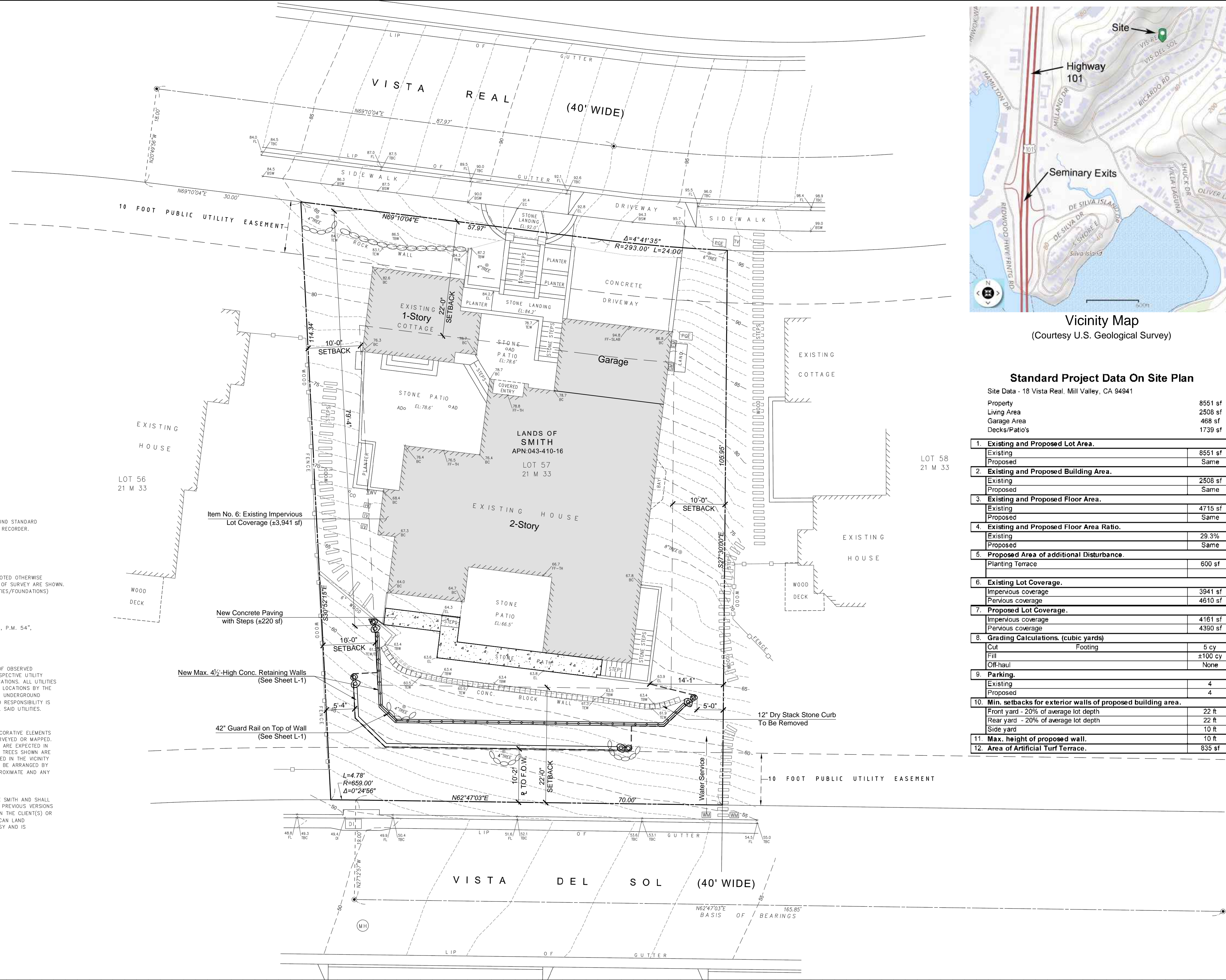
REFERENCES

- [1] MAP OF STRAWBERRY VILLAGE, A SUBDIVISION OF PARCEL 3, P.M. 54', FILED IN BOOK 21 OF MAPS, AT PAGE 33 (21 M 33)
- [2] DEED DOCUMENT:

UTILITY NOTE:
UNDERGROUND UTILITIES SHOWN WERE PLOTTED FROM A COMBINATION OF OBSERVED SURFACE EVIDENCE AND RECORD INFORMATION OBTAINED FROM THE RESPECTIVE UTILITY COMPANIES, AND ARE NOT INTENDED TO REPRESENT THEIR ACTUAL LOCATIONS. ALL UTILITIES MUST BE VERIFIED WITH RESPECT TO SIZES, HORIZONTAL AND VERTICAL LOCATIONS BY THE OWNER AND/OR CONTRACTOR PRIOR TO DESIGN OR CONSTRUCTION AND UNDERGROUND SERVICE ALERT ALERT (USA) SHOULD BE NOTIFIED FOR ASSISTANCE. NO RESPONSIBILITY IS ASSUMED BY THE SURVEYOR FOR THE LOCATION AND CAPACITY OF ALL SAID UTILITIES.

SURVEY NOTE:
BUILDING(S), WALL(S), AND/OR STRUCTURE(S) SHOWN MAY CONTAIN DECORATIVE ELEMENTS NOT NECESSARILY ACCOUNTED FOR IN THE BUILDING FOOTPRINT AS SURVEYED OR MAPPED. THE DESIGNER SHALL FIELD INSPECT ANY AREAS WHERE IMPROVEMENTS ARE EXPECTED IN THE EVENT SETBACKS OR ANY OTHER CONSTRAINTS MAY BE AN ISSUE. TREES SHOWN ARE LOCATED FOR GENERAL SITE PLANNING AND ANY CONSTRUCTION PLANNED IN THE VICINITY OF TREES MAY REQUIRE MORE DETAIL. ANY FURTHER SURVEYING SHALL BE ARRANGED BY THE OWNER(S) OR OWNER(S) AGENT. TREE SPECIES AND SIZE ARE APPROXIMATE AND ANY SPECIFIC DETAILS SHALL BE CONFIRMED BY AN ARBORIST.

NOTE:
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Vicinity Map
(Courtesy U.S. Geological Survey)

Standard Project Data On Site Plan

Site Data - 18 Vista Real, Mill Valley, CA 94941

Property	8551 sf
Living Area	2508 sf
Garage Area	468 sf
Decks/Patio's	1739 sf

1. Existing and Proposed Lot Area.	
Existing	8551 sf
Proposed	Same
2. Existing and Proposed Building Area.	
Existing	2508 sf
Proposed	Same
3. Existing and Proposed Floor Area.	
Existing	4715 sf
Proposed	Same
4. Existing and Proposed Floor Area Ratio.	
Existing	29.3%
Proposed	Same
5. Proposed Area of additional Disturbance.	
Planting Terrace	600 sf
6. Existing Lot Coverage.	
Impervious coverage	3941 sf
PerVIOUS coverage	4610 sf
7. Proposed Lot Coverage.	
Impervious coverage	4161 sf
PerVIOUS coverage	4390 sf
8. Grading Calculations. (cubic yards)	
Cut	5 cy
Fill	±100 cy
Off-haul	None
9. Parking.	
Existing	4
Proposed	4
10. Min. setbacks for exterior walls of proposed building area.	
Front yard - 20% of average lot depth	22 ft
Rear yard - 20% of average lot depth	22 ft
Side yard	10 ft
11. Max. height of proposed wall.	
	10 ft
12. Area of Artificial Turf Terrace.	
	835 sf

SHEET NO. 1 of 1
TOPOGRAPHIC MAP
18 VISTA REAL
 MILL VALLEY, CA - APN:043-410-16
 AMERICAN LAND SURVEYING
 316 Tennessee Ave, Suite B, Mill Valley, CA 94941
 Phone: (415) 888-8850 Email: office@algspl.com
 NO. BY DATE REVISION
 10/17/2023
 12/23/2023
 6/9/2024
 JOSEF MAROUS ELEMEN, PLS 9361, LIC. EXP. 6/30/2024

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Revisions:

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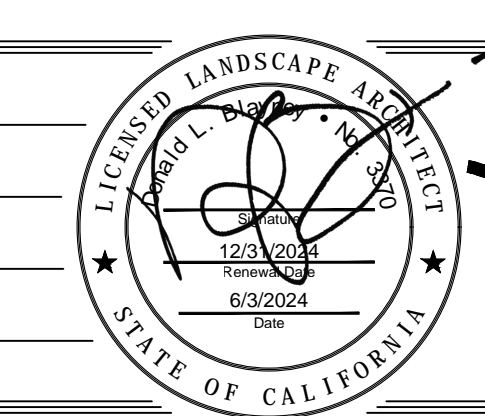
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LANDSCAPE ARCHITECTURE & PLANNING

Urban Design Campus Planning
 Park Planning Residential Design
 Land Use Planning Golf Course Design
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 California Registration # 3370 New Mexico Registration # 115

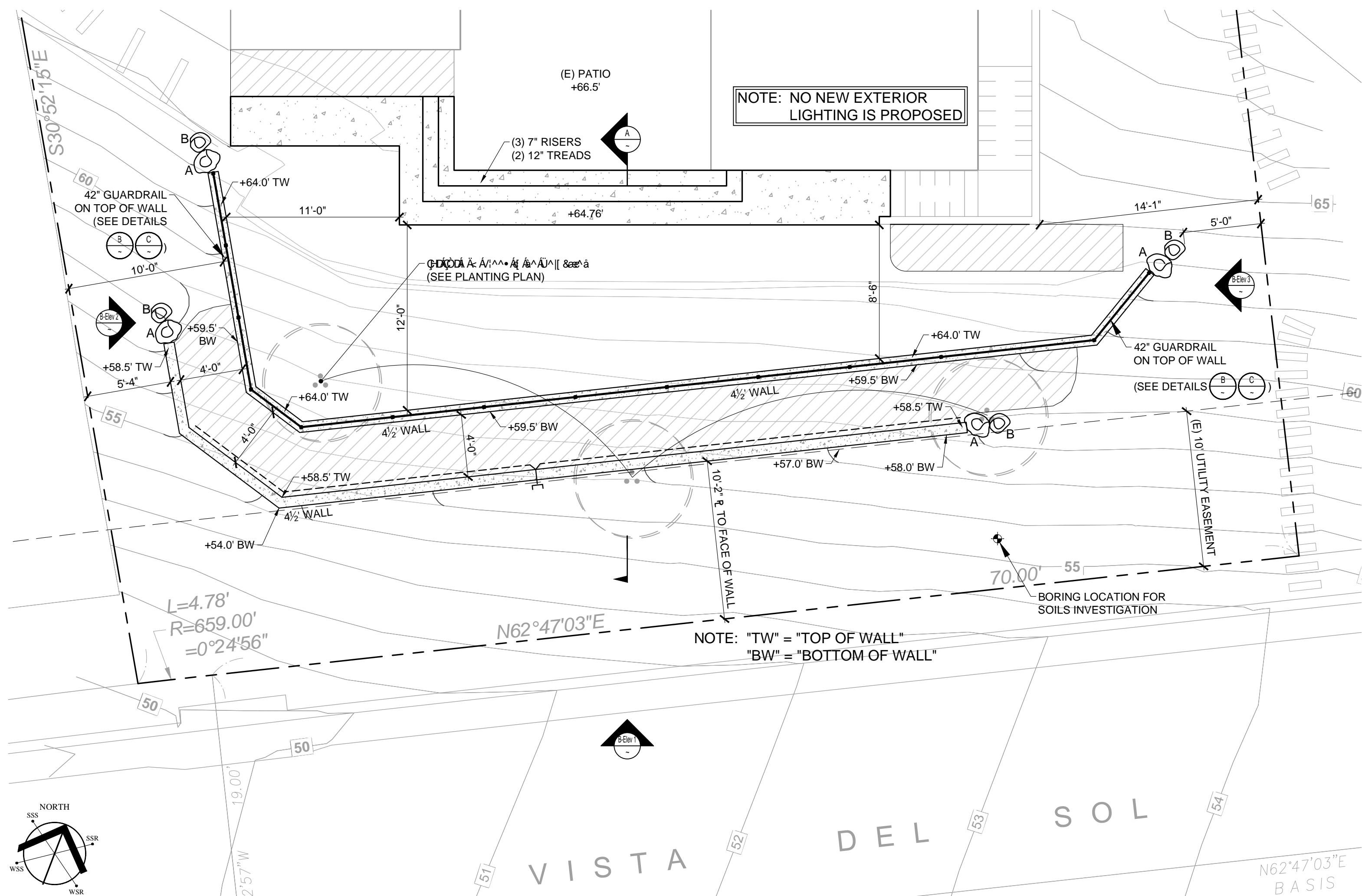
EXISTING CONDITIONS & SURVEY

Rear Terrace
Smith Residence
18 Vista Real, Mill Valley, Calif. 94941 — A.P.N. 043-410-16

Date: June 9, 2024
 Scale: 1" = 10' = 0"
 Drawn by: JDG
 Approved by: DLB

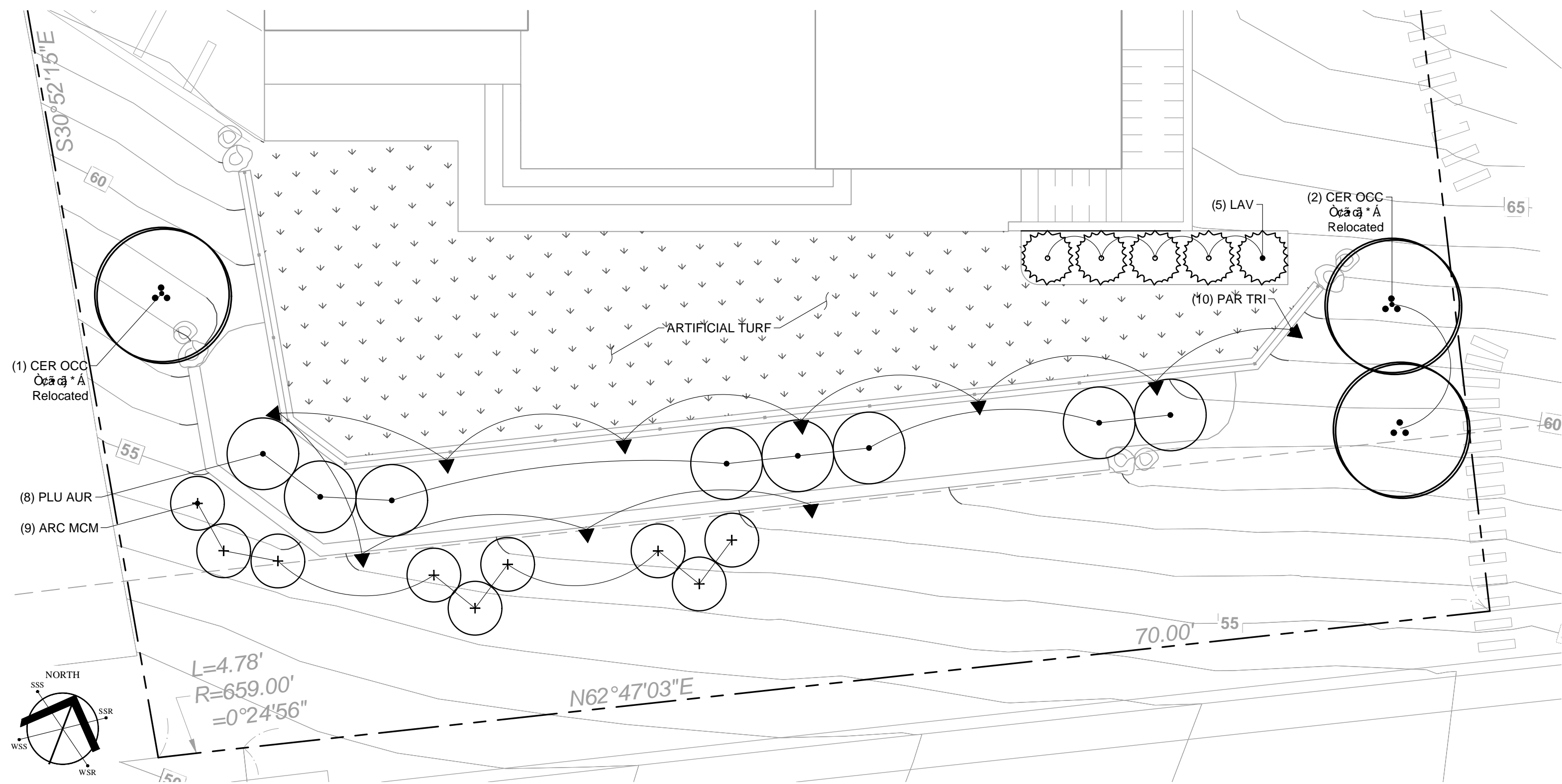


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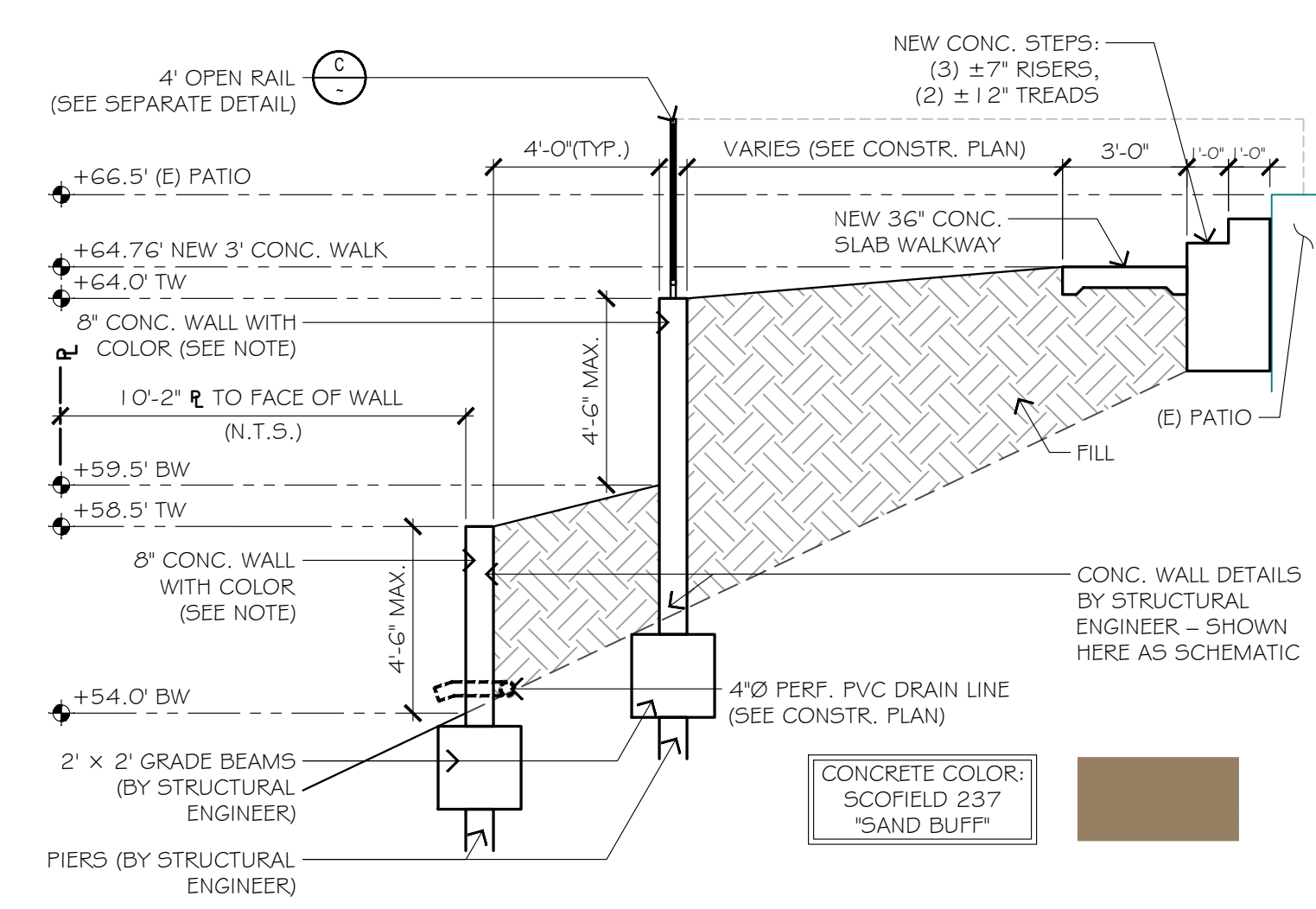
CONSTRUCTION PLAN

Scale: 3/16" = 1'-0"

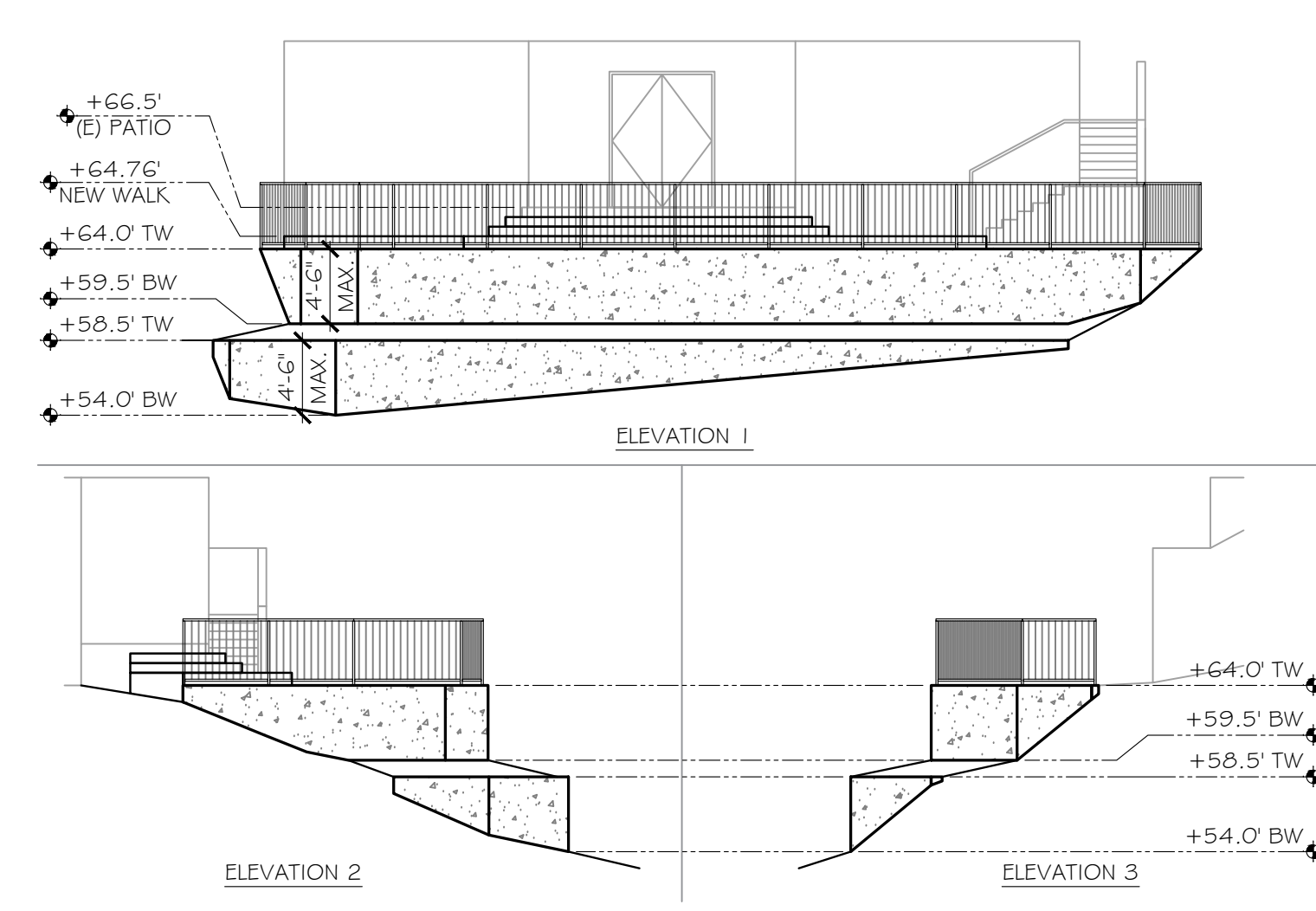


PLANTING PLAN

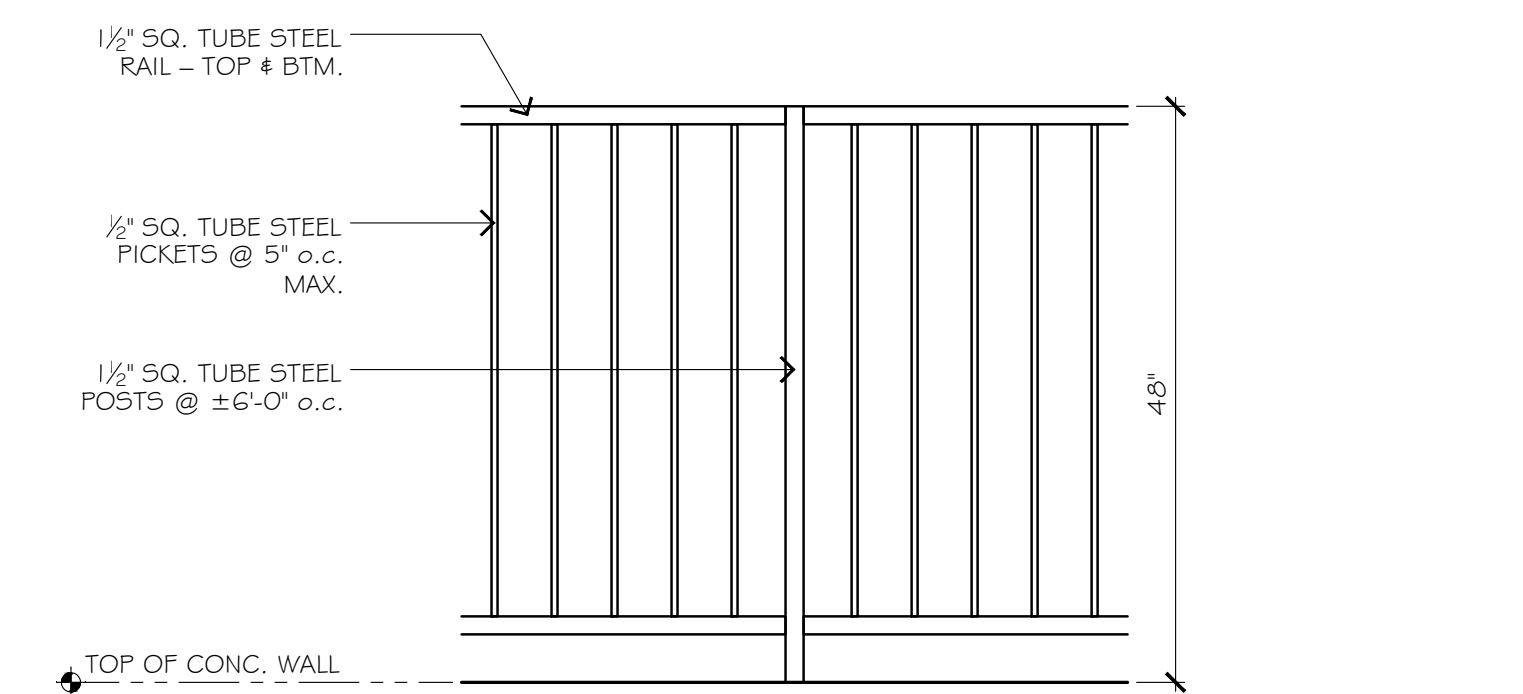
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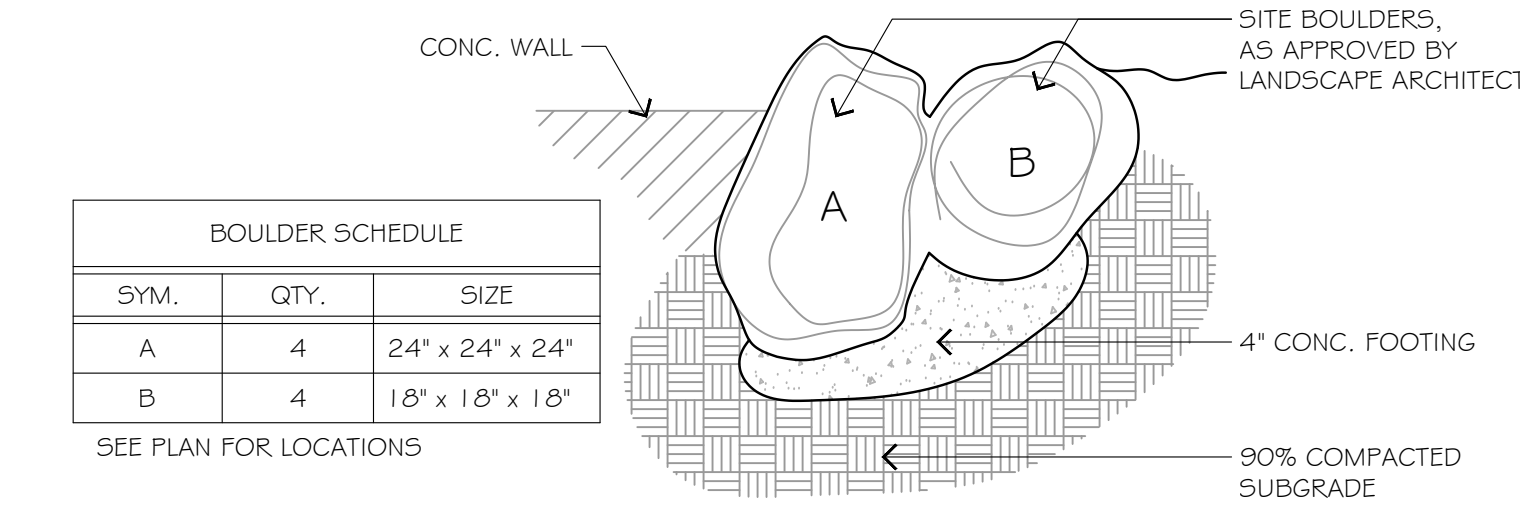
A TERRACE SECTION AT HIGHEST WALL SECTION
Scale: 1/4" = 1'-0"



B ELEVATIONS
Scale: 1/8" = 1'-0"



C Tube Steel Open Rail
Scale: 3/4" = 1'-0"



D SONOMA FIELD STONES
Scale: 3/4" = 1'-0"

Construction Plan Symbol Key		
Symbol	Description	Detail
[Hatched Box]	New Planting Areas	
[Solid Box]	New Concrete Steps and 3' Slab Walkway	
[Dashed Box]	Relocated Existing Trees	(A)
[Dotted Box]	Relocated Existing Trees	(B)
[Line with Arrow]	New 4' Tube Steel Open Rail	(A.C)

Plant list								
Symbol	Botanical Name	Shrubs	Common Name	Qty.	Spacing	Water Usage	Height Spread	Recommended Install Size
ARC MCM	<i>Arctostaphylos densiflora</i>	Howard McMinn	Howard McMinn Manzanita	3	3' o.c.	L 4'	4'	5 gal.
LAV	<i>Lavandula</i>		Lavender	5	3' o.c.	M 2' to 4'	3'	5 gal.
PLU AUR	<i>Plumbago auriculata</i>		Cape Plumbago	8	4' o.c.	L 4' to 5'	5'	5 gal.
Symbol	Botanical Name	Vines	Common Name	Qty.	Installation Notes	Recommended Install Size		
PAR TRI	<i>Parthenocissus tricuspidata</i>		Boston Ivy	1	Train to Face of Wall	5 gal.		
Symbol	Groundcover	Area						
TURF	Artificial Turf	~370 sq ft						
Symbol	Existing Trees (To Be Relocated as Indicated)		Qty.					
CER OCC	<i>Cercis occidentalis</i>	Western Redbud	3					

Irrigation Note: All new planting shall be connected to existing irrigation system.

Note: All new planting species are California Native, and are acclimated to the Summer Dry Climate of the San Francisco Bay Area.

- GRADING NOTES**
1. Historic drainage pattern will not be altered
 2. No off-haul is required.
 3. Utilities are as shown.
 4. No new drainage structures are proposed

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CONSTRUCTION & PLANTING PLANS
CONSTRUCTION & PLANTING DETAILS
Rear Terrace
Smith Residence
18 Vista Real, Mill Valley, Calif. 94941 — A.P.N. 043-410-16

Date: June 9, 2024
Scale: AS NOTED
Drawn by: JDG
Approved by: DLB

LICENSED LANDSCAPE ARCHITECT
DONALD L. BLAYNEY
12/24/2024
6/9/2024
STATE OF CALIFORNIA

Sheet Number **L-1**
Sheet _____ of _____