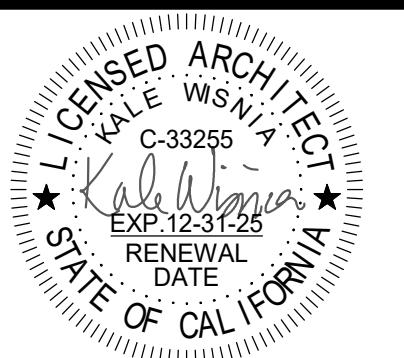








Stamp:



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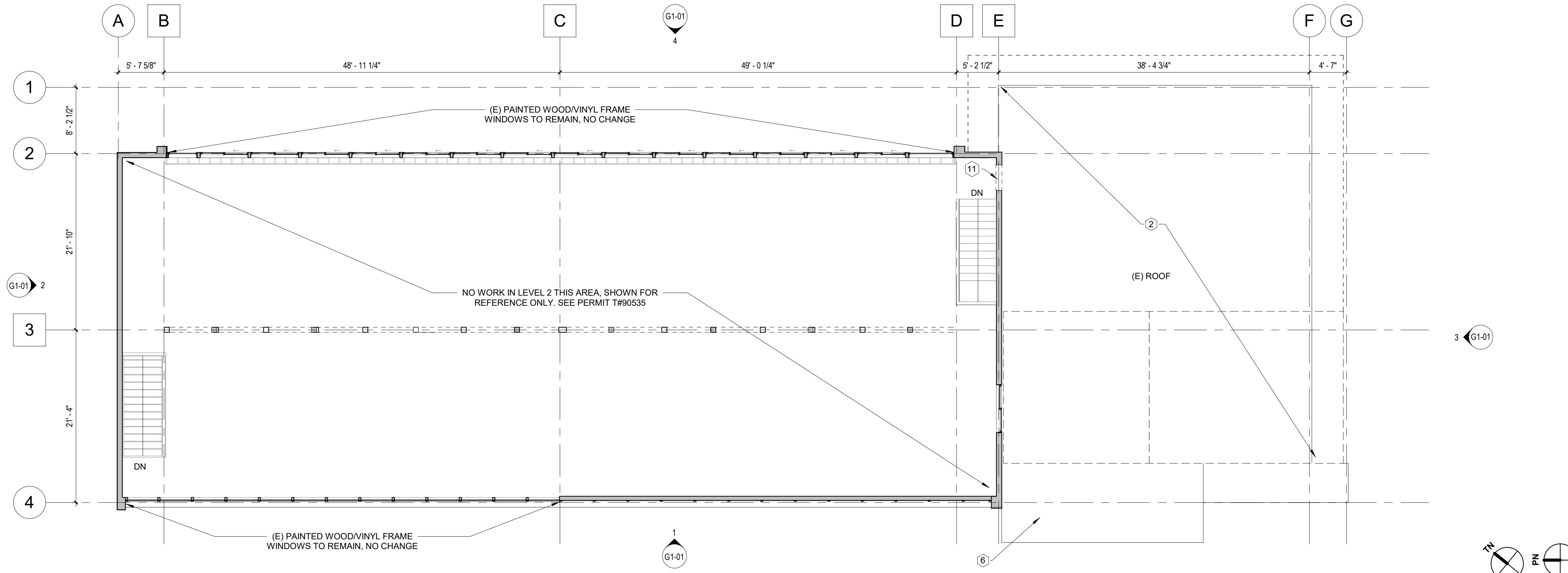
No.	Description	Date

Title:  
**EXISTING  
CONDITIONS FLOOR  
PLAN / DEMO PLAN**

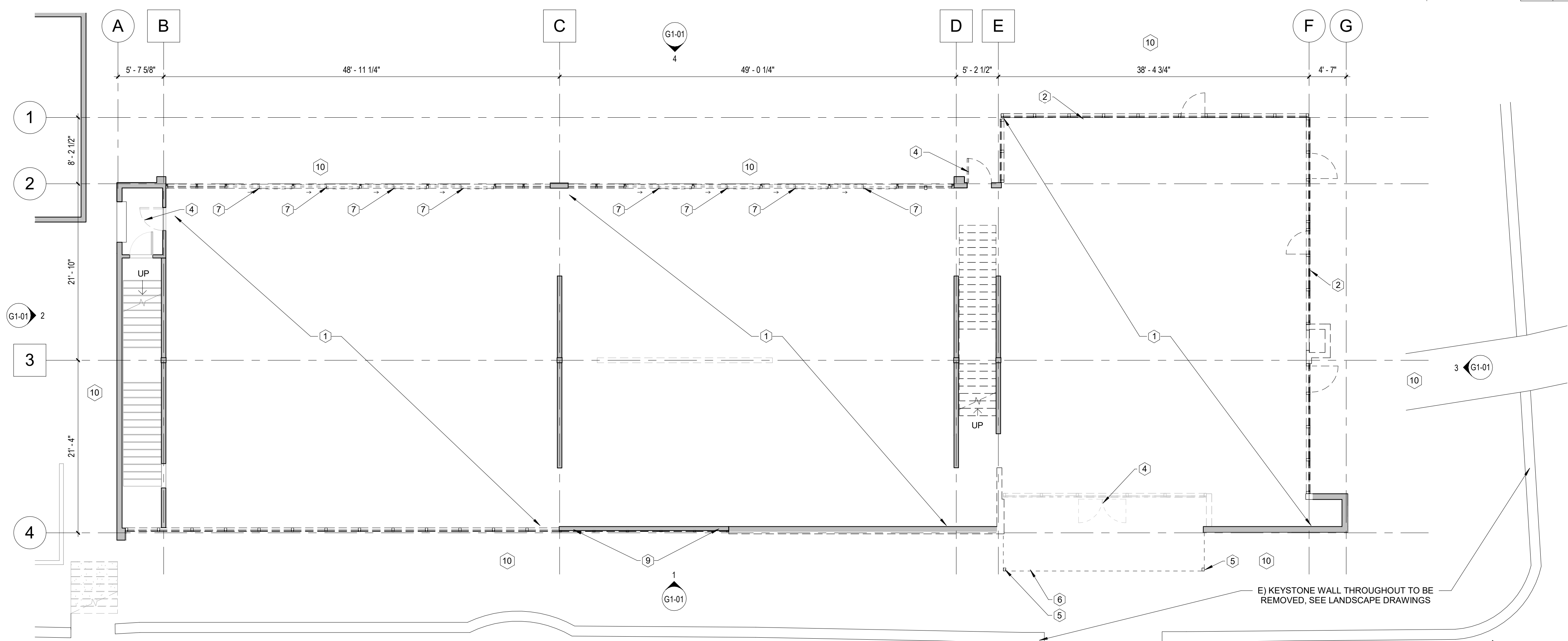
Checked by: **KW** Scale: **As indicated**

Sheet no:

**G1-00**

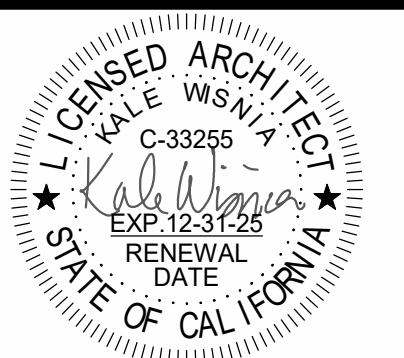


EXISTING SECOND FLOOR PLAN 1/8" = 1'-0" 2 G1-00



EXISTING FLOOR PLAN 1/8" = 1'-0" 1 G1-00

Stamp:



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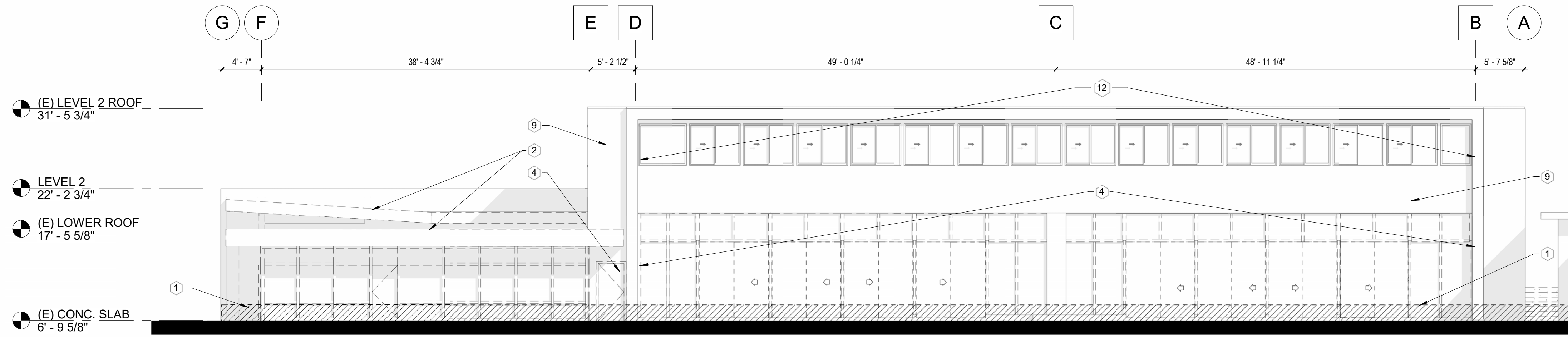
No.	Description	Date

**Title:**  
**EXISTING  
ELEVATION AND  
DEMO**

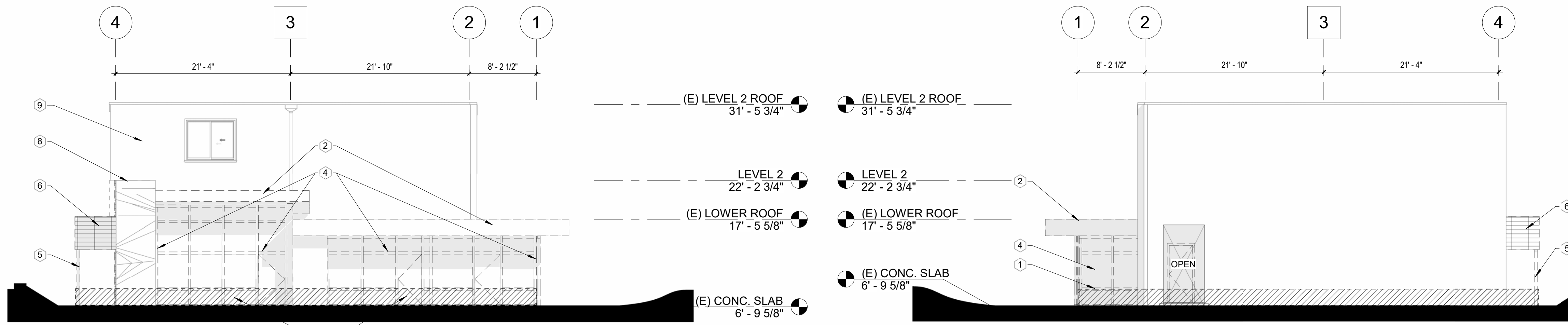
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Sheet no:

**G1-01**

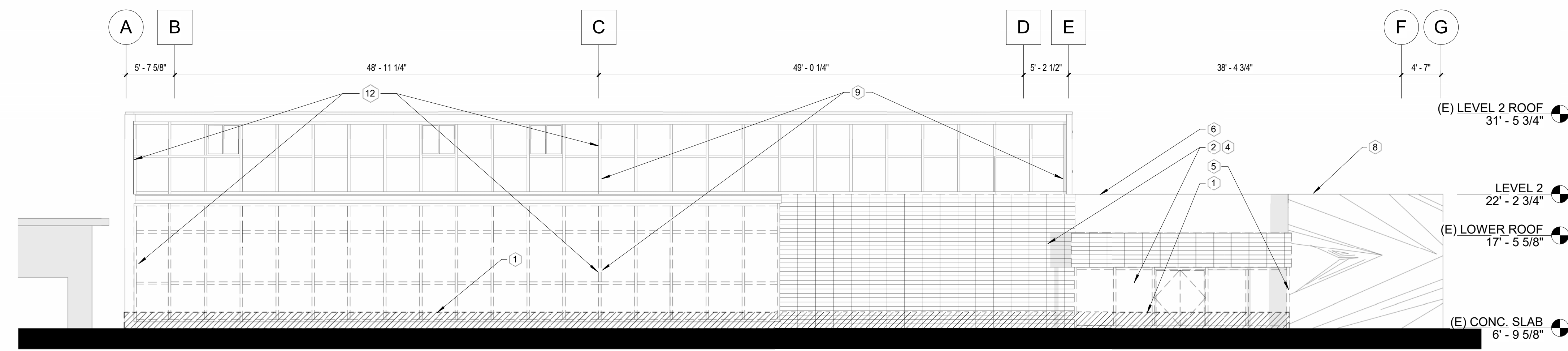


(E) EAST 1/8" = 1'-0" 4 G1-01



(E) SOUTH 1/8" = 1'-0" 3 G1-01

(E) NORTH 1/8" = 1'-0" 2 G1-01



(E) WEST 1/8" = 1'-0" 1 G1-01

XX --- INDICATES GRIDLINE AT FACE OF STUD OR TO CONCRETE, SEE DETAIL  
XX --- INDICATES GRIDLINE AT CENTER OF COLUMN.

**DEMO NOTES**

- 1 SECURE EXISTING FRAMING AND WINDOW WALLS AND FLOOR ABOVE AND REMOVE EXISTING CONCRETE SLAB AND BOTTOM PORTION OF WALL AND WINDOW SECTIONS WHERE APPLICABLE PER NEW LEVEL 1 ELEVATIONS. ALSO SEE GEOTECHNICAL REQUIREMENTS AND LANDSCAPE DRAWINGS FOR SITE ELEVATIONS AS WELL AS MEASURES FOR CONTAINMENT OF EXISTING CONCRETE AND SOIL FOR NEW AREAS OF SITE FILL WHERE POSSIBLE.
- 2 CONTRACTOR TO REMOVE EXTERIOR FINISHES AND COVERING AS NECESSARY AND REPLACE ROOF JOISTS, SHEATHING AND FINISHES TO MATCH EXISTING BUILDING PER ELEVATIONS, PLAN AND STRUCTURAL DRAWINGS.
- 3 INTERIOR WALL TO BE REMOVED
- 4 EXTERIOR DOORS AND WINDOWS TO BE REMOVED AND REPLACED
- 5 COLUMN TO BE REMOVED
- 6 CANOPY TO BE REMOVED AND PARAPET TO BE REMOVED
- 7 SLIDING DOORS TO BE REMOVED
- 8 CONTRACTOR TO PROTECT AND MAINTAIN TILE WALL, PATCH AND REPAIR WHERE NEEDED, PROVIDE TILE SAMPLES FOR REVIEW AND APPROVAL
- 9 EXTERIOR WOOD FRAME WALL AND EXT. PLASTER FINISH AND PAINTED WOOD PANELING TO REMAIN, PATCH AND REPAIR LIKE AND KIND WHERE NEEDED
- 10 REMOVE CONCRETE PATIO SURROUNDING BUILDING. SEE SITE AND LANDSCAPE DRAWINGS
- 11 CUT ROUGH OPENING FOR NEW DOOR TO EXTERIOR, SEE PLANS AND SCHEDULES FOR MORE INFORMATION
- 12 (E) WINDOWS TO REMAIN, PATCH REPAIR AND TOUCH UP PAINT ON WALLS AND PERIMETER AS NEEDED

**GENERAL NOTES:**

1. ALL STRUCTURAL AND SHEAR ELEMENTS TO REMAIN U.O.N.
2. PATCH AND REPAIR DAMAGED PLASTER WALLS, REPLACE WITH GYPSUM BOARD WHERE NECESSARY. PRIME AND PAINT.
3. ALL DIMENSIONS ARE TAKEN AS ROUGH DIMENSIONS OF THE EXISTING BUILDING AND MAY VARY. IT WAS OBSERVED THAT DUE TO THE AGE OF THE BUILDING SOME DIMENSIONS SUGGESTED NATURAL SETTLEMENT AND OUT OF PLUMB SURFACES. ADDITIONALLY, ALL THE DIMENSIONS WERE TAKEN FROM THE INSIDE FINISH WALLS AND THE EXTERIOR WALL THICKNESS WAS ESTIMATED TO ACHIEVE THE OVERALL DIMENSIONS.

**PROJECT:**  
**242 REDWOOD HWY**

242 Redwood Hwy., Mill Valley, CA 94941

**APN.: 052-247-01**

**OWNER:**  
SEAPLANE INVESTMENTS LLC  
Mali Richlen  
Mali@lindenstreetadvisors.com  
818.371.8418

**LEVEL 1 - TENANT:**  
PICCINO SULL'ACQUA  
Loring Sagan  
loring@bldsf.com  
415.298.5331

County of Marin

Architect - Building Core and Shell:  
CRKW STUDIO Incorporated  
2912 Franklin Blvd., Sacramento CA 95818  
1-415-305-9452

Architect - Interior Tenant Improvement:  
HELLAND ARCHITECTURE  
1-415-671-5691

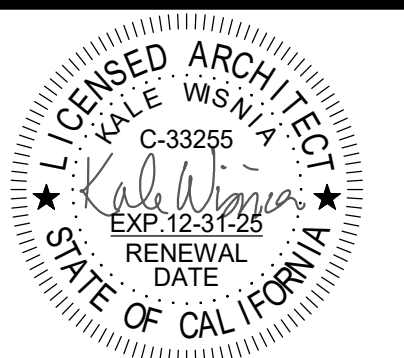
Structural Engineer:  
ZFA STRUCTURAL ENGINEERS  
1212 4th St. Ste. Z, Santa Rosa, CA 95404  
1-415-243-4091

Landscape Architect:  
SWA  
2200 Bridgeway, Sausalito, CA 94964  
1-415-332-5100

Civil Engineer:  
Freyer and Laureta Inc  
505 San Marin Dr. Ste. A220, Novato, CA 94945  
415-534-7070

Survey:  
Lawrence Doyle  
100 Helens Lane, Mill Valley, CA 94941  
1-415-388-8585

Stamp:



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No.	Description	Date

Title:  
**(E) AND (N) ROOF  
SITE ELEVS AND  
AREAS**

Checked by: **KW** Scale: **As indicated**

Sheet no:

**G1-02**

51,790 SQ.FT.  
AREA SUBMERGED  
BELOW M.H.W.

22,000 SQ.FT.  
(E) PERVIOUS AREA  
ABOVE M.H.W.

24,700 SQ.FT.  
(E) IMPERVIOUS AREA  
ABOVE M.H.W.

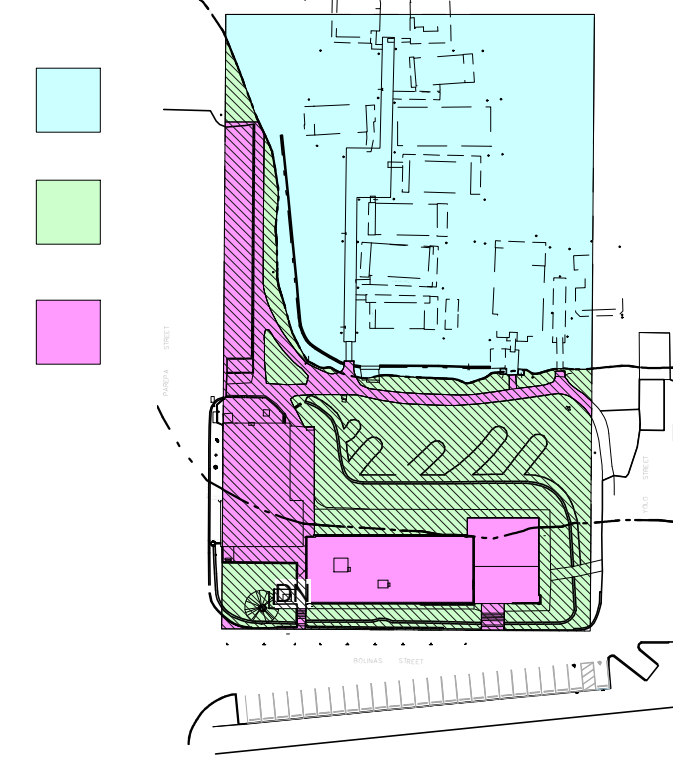


(E) SITE

51,790 SQ.FT.  
AREA SUBMERGED  
BELOW M.H.W.

25,870 SQ.FT.  
PERVIOUS AREA  
ABOVE M.H.W.

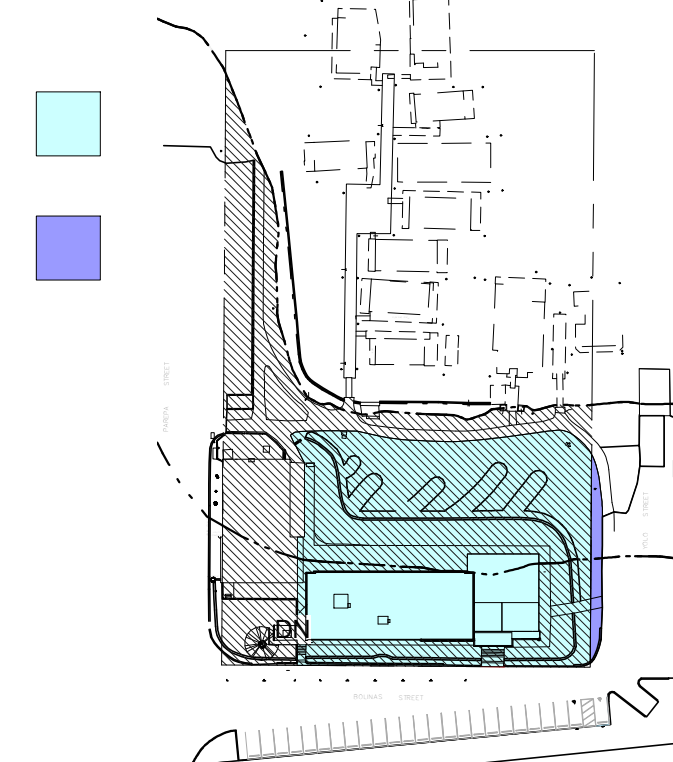
20,830 SQ.FT.  
IMPERVIOUS AREA  
ABOVE M.H.W.



PROPOSED SITE

28,676 SQ.FT.  
AREA OF WORK  
WITHIN PROPERTY

840 SQ.FT.  
AREA OF WORK  
ALONG YOLO ST.

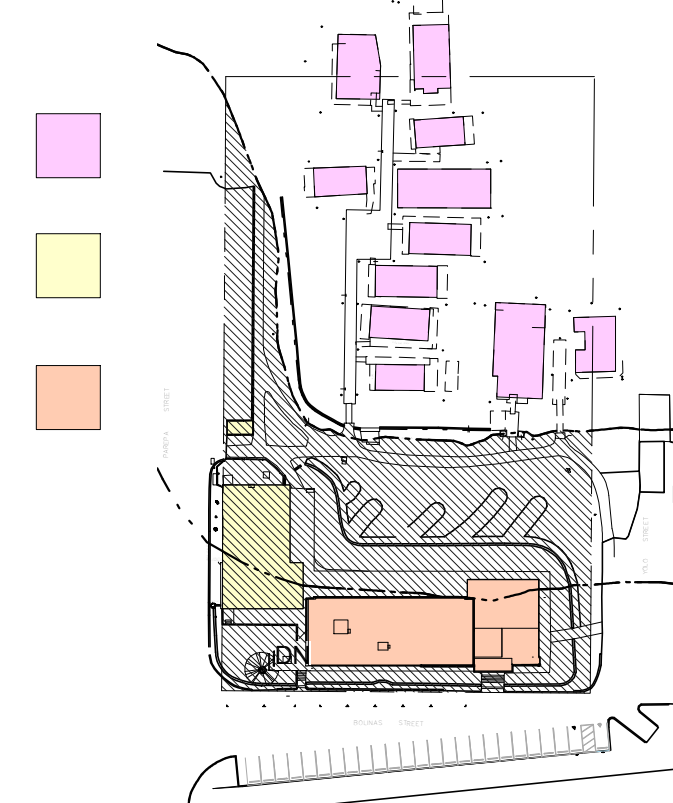


AREA OF IMPROVEMENT ON SITE

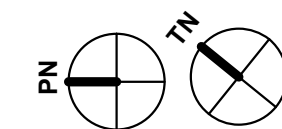
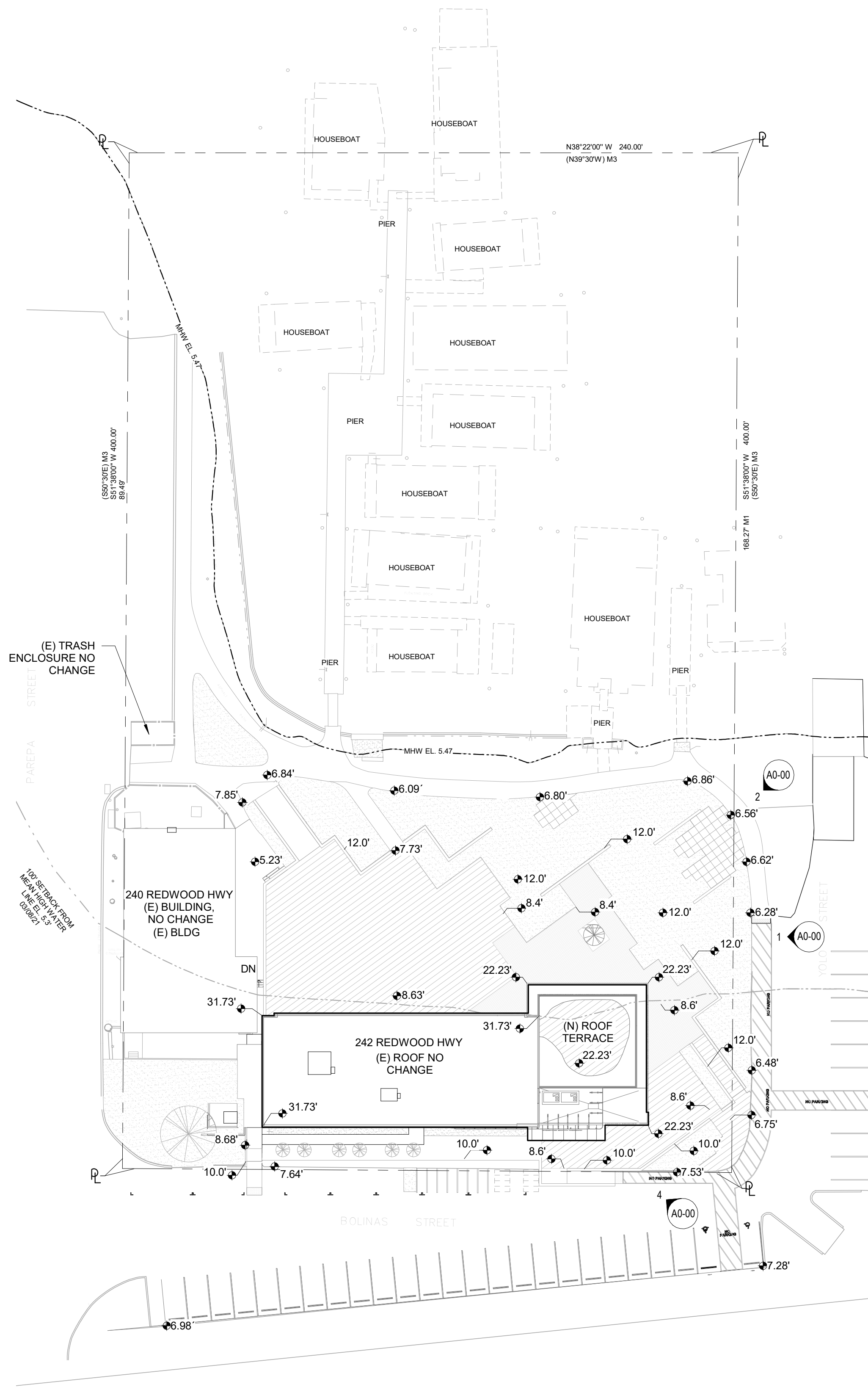
11 (E) VESSELS  
HOUSE BOATS)

3,700 SQ.FT.  
(E) BUILDING  
NO WORK IN THIS  
SCOPE

6,588 SQ.FT.  
(E) BUILDING  
AREA OF WORK



(E) BUILDINGS

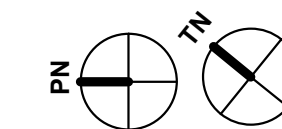
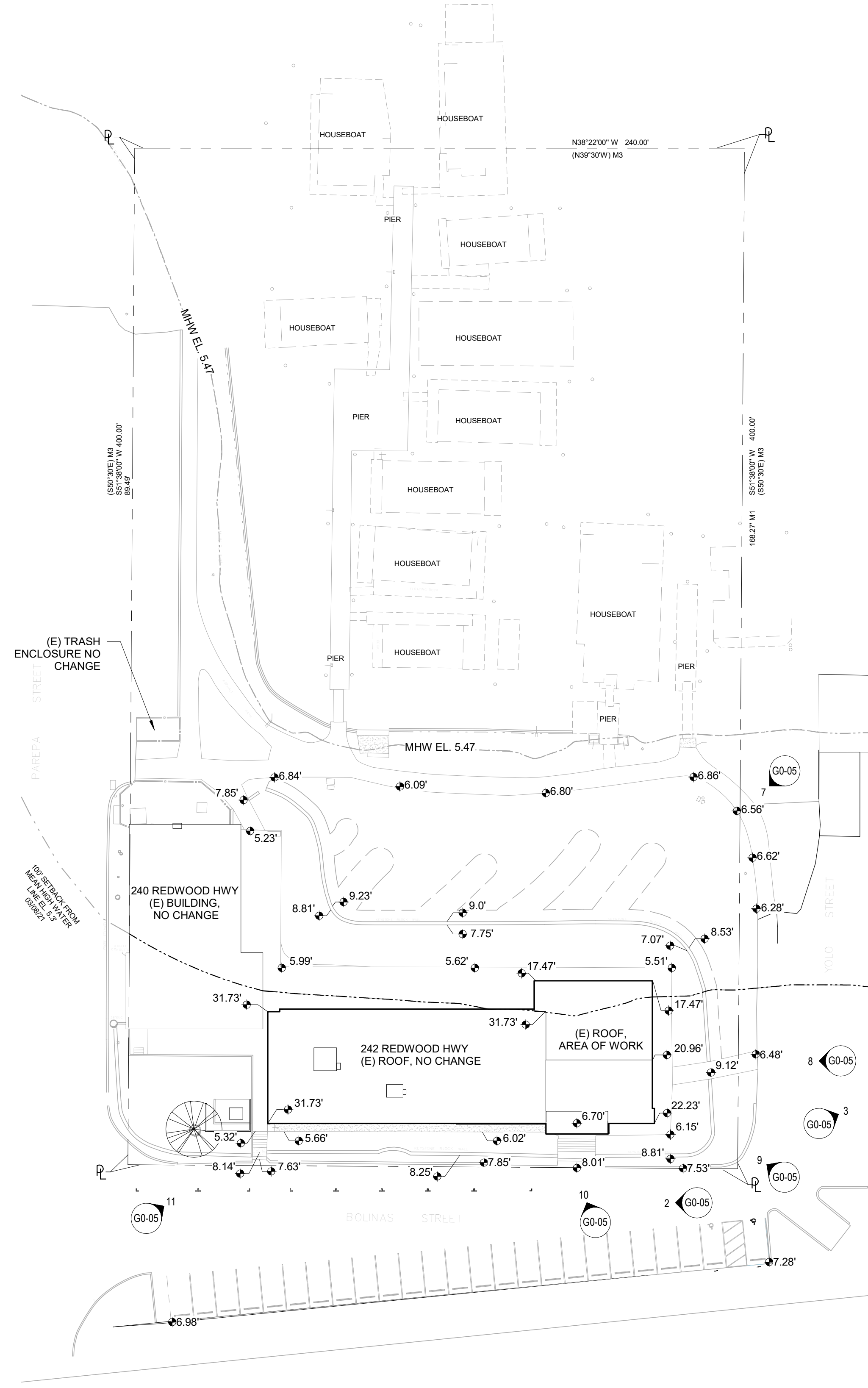


(NO ROOF AND SITE ELEVATION DATUM)

1/32" = 1'-0"

3

G1-02



(E) ROOF AND SITE ELEVATION DATUM

1/32" = 1'-0"

2

G1-02

AREA DIAGRAM

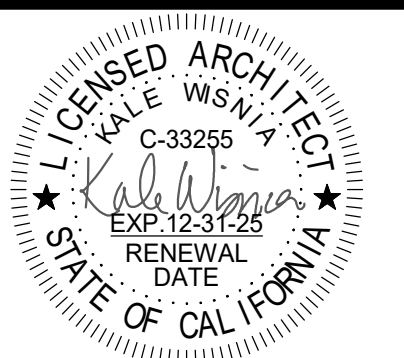
NO SCALE

1

G1-02



Stamp:



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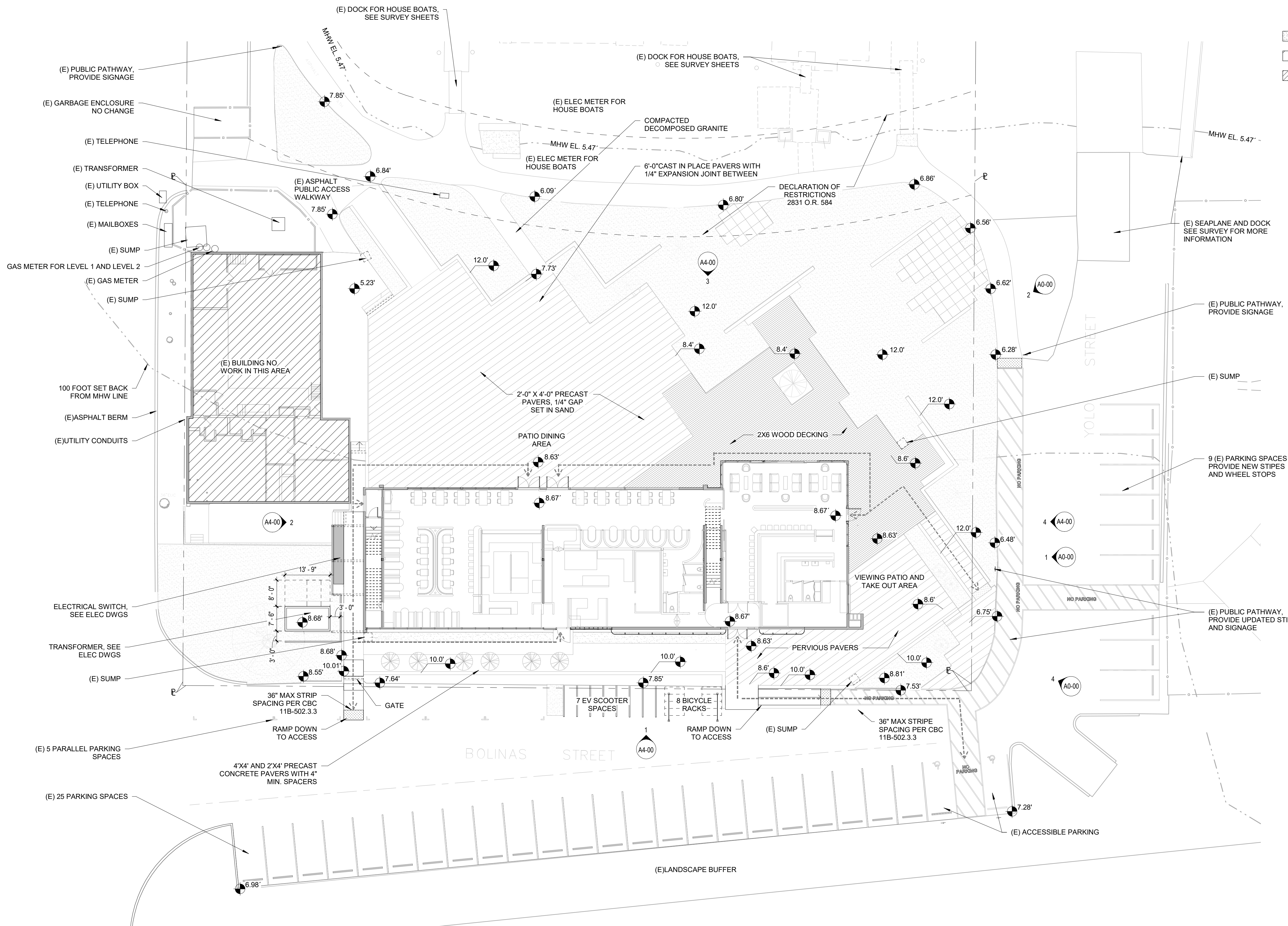
No.	Description	Date

Title:  
**SITE PLAN**

Checked by: **KW** Scale: **As indicated**

Sheet no:

**A0-01**



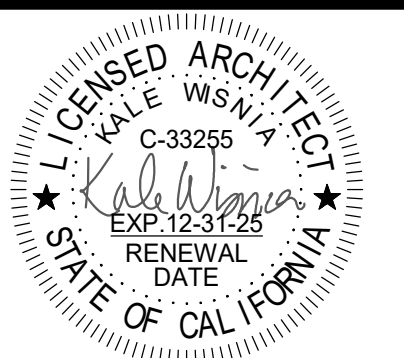
PERVIOUS LANDSCAPE SURFACE  
 PERVIOUS PAVERS  
 PERVIOUS DECK SURFACE

11/06/2024 23:49:36





Stamp:



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No.	Description	Date

Title:  
**FLOORS PLANS**

Checked by: **KW** Scale: **As indicated**

Sheet no:

**A2-00**

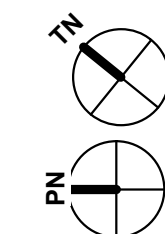
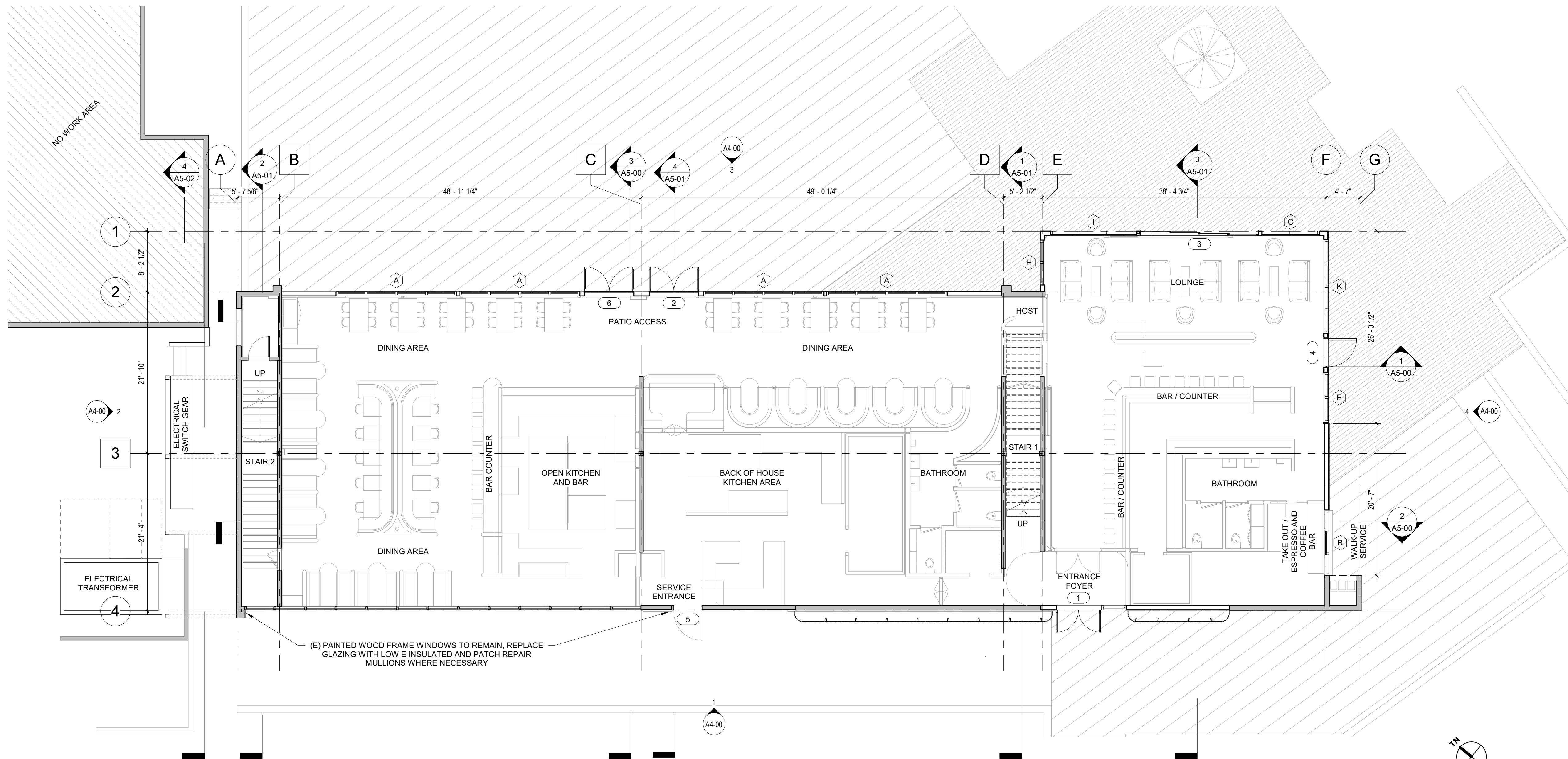
**WALL LEGEND:**

(E) WALL TO REMAIN

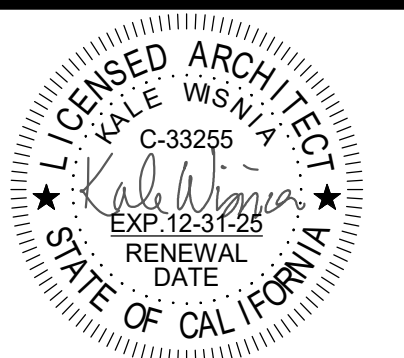
(N) WALL

XX --- INDICATES GRIDLINE AT FACE OF STUD OR TO CONCRETE. SEE DETAIL

XX --- INDICATES GRIDLINE AT CENTER OF COLUMN.



Stamp:



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No.	Description	Date

Title:  
**SECOND FLOOR**

Checked by: **KW** Scale: **As indicated**

Sheet no:

**A2-01**

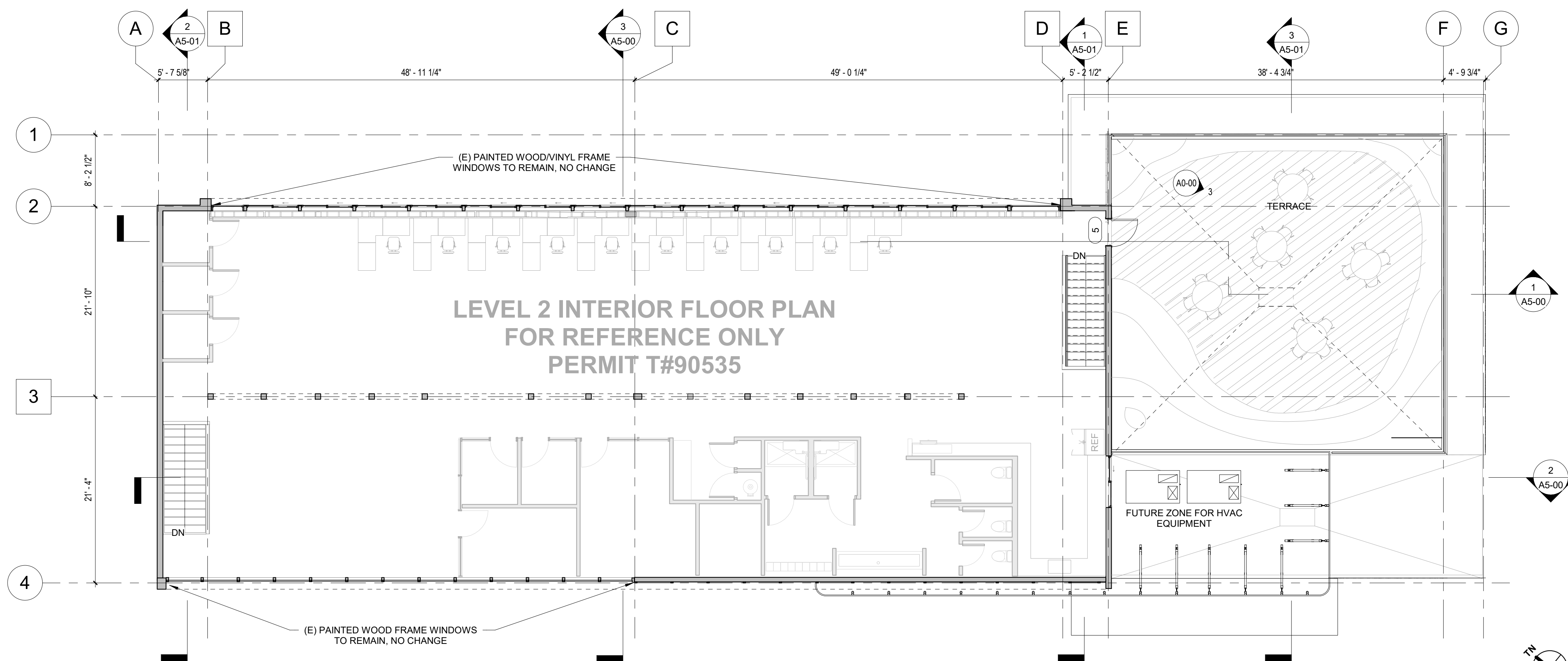
**WALL LEGEND:**

(E) WALL TO REMAIN

(N) WALL

XX --- INDICATES GRIDLINE AT FACE OF STUD OR TO CONCRETE, SEE DETAIL

XX --- INDICATES GRIDLINE AT CENTER OF COLUMN.

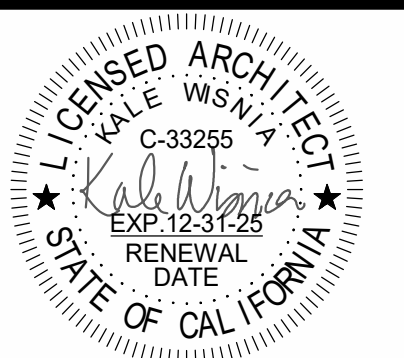


SECOND FLOOR

1/8" = 1'-0"

1
A2-01

Stamp:



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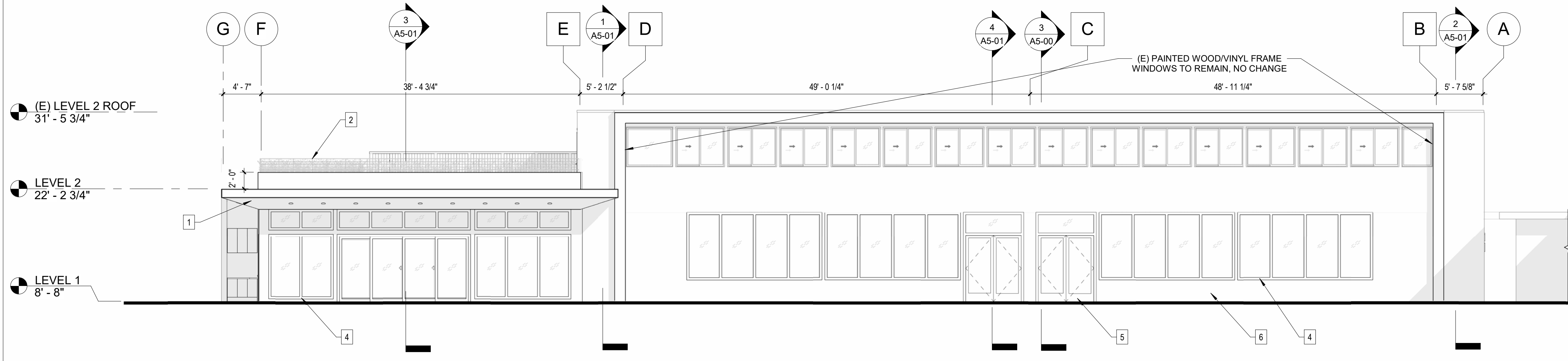
No.	Description	Date

Title:  
**ELEVATIONS**

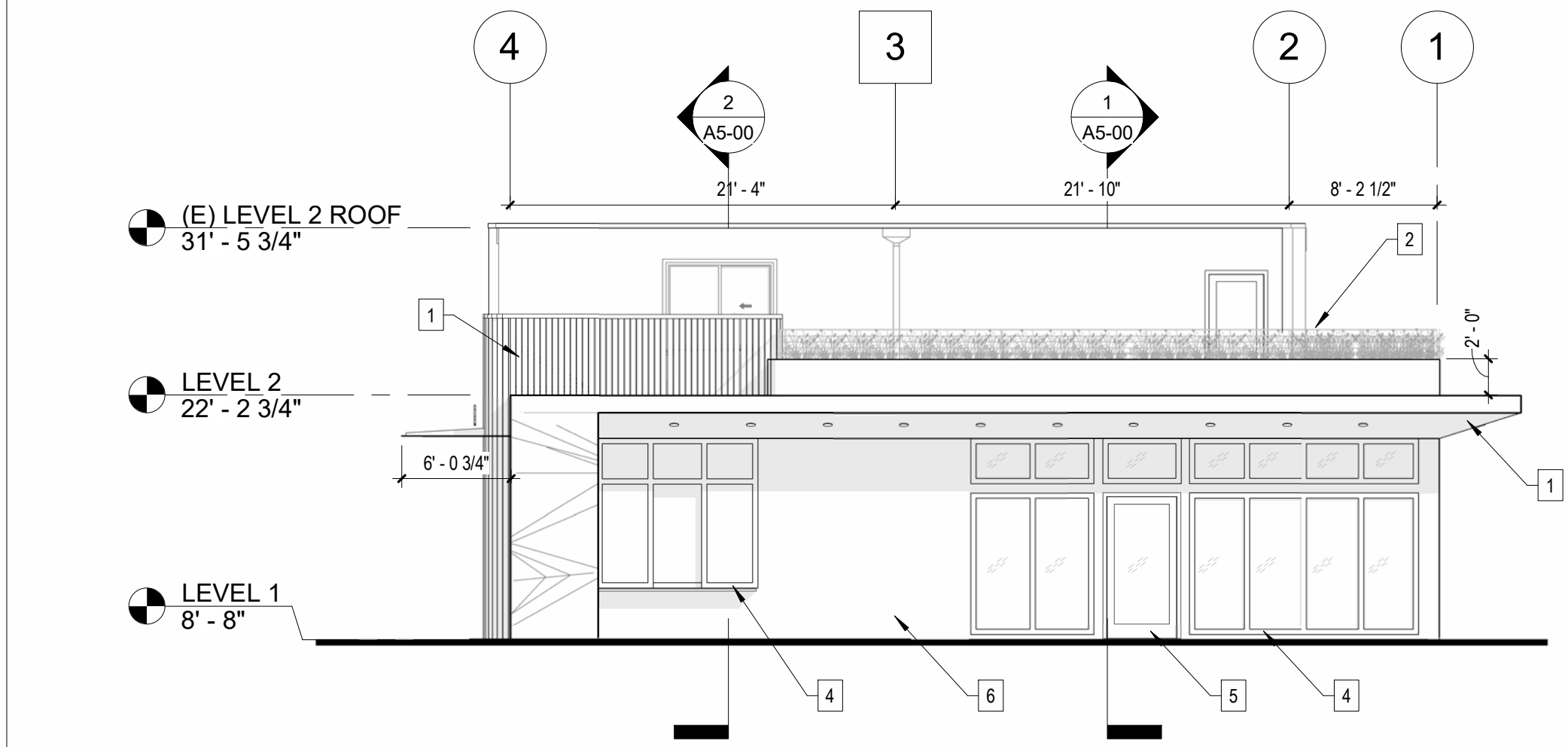
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Sheet no:

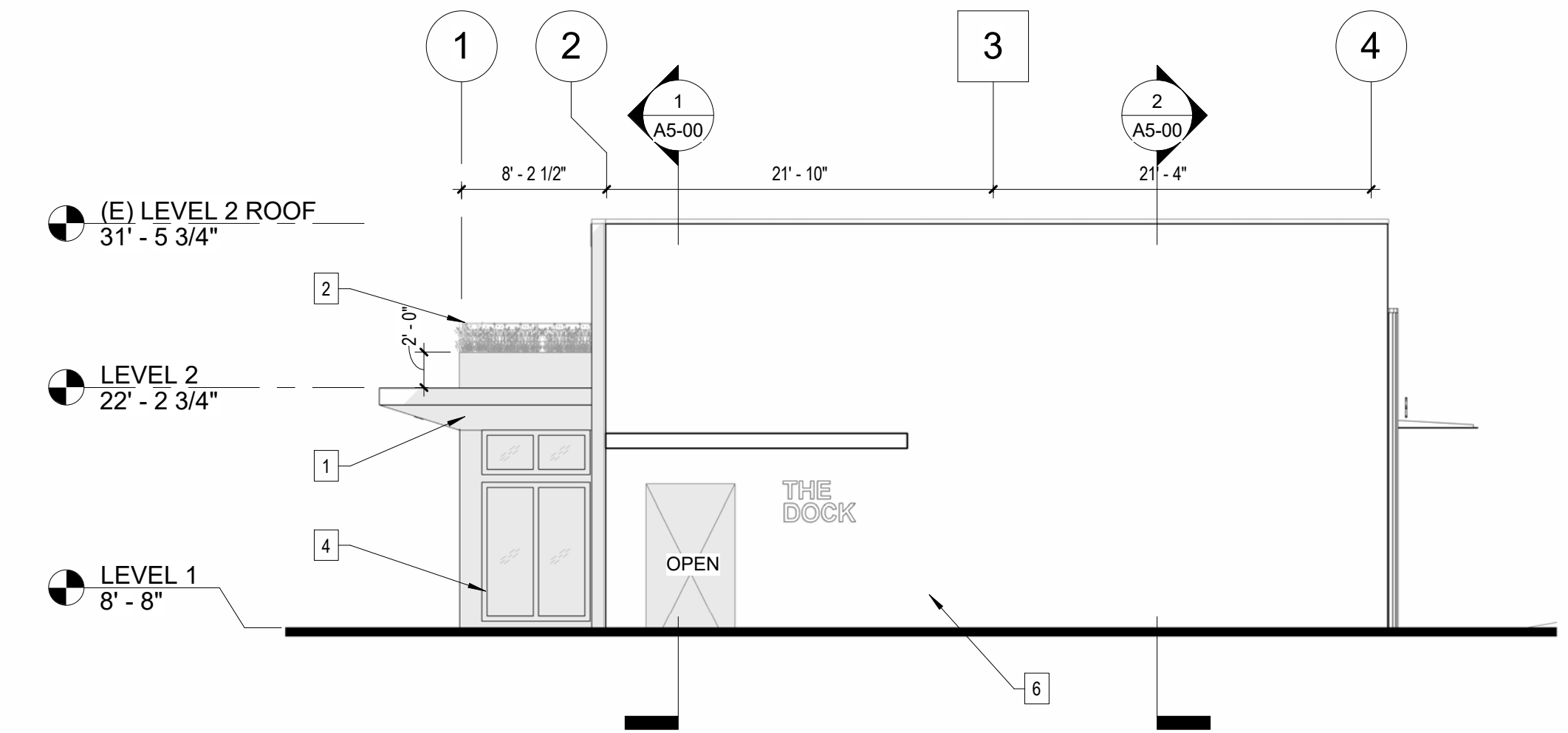
**A4-00**



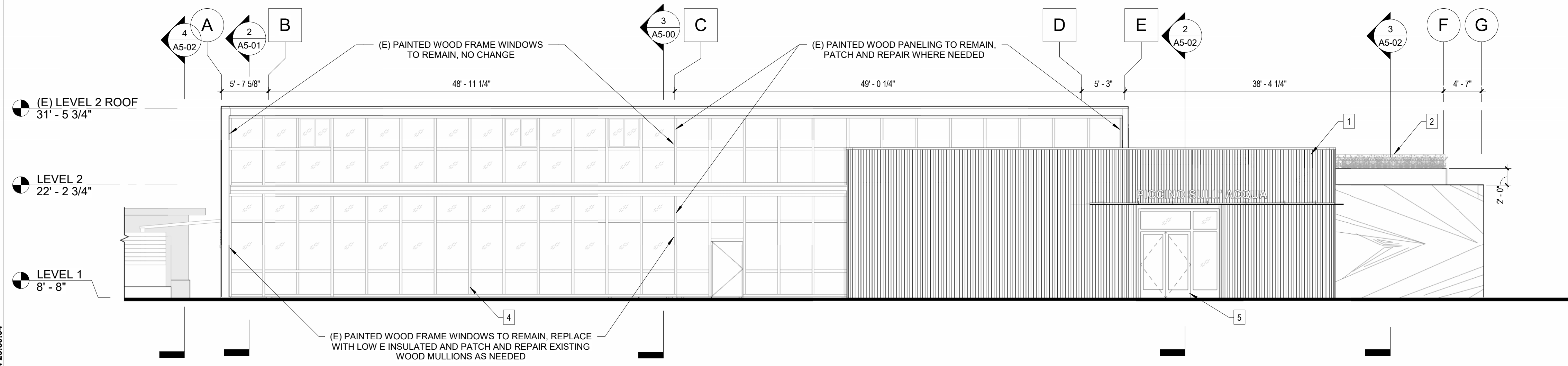
EAST ELEVATION 1/8" = 1'-0" 3 A4-00



SOUTH ELEVATION 1/8" = 1'-0" 4 A4-00



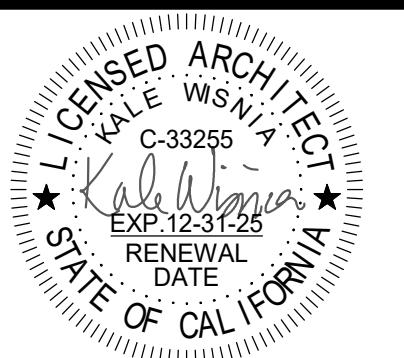
NORTH ELEVATION 1/8" = 1'-0" 2 A4-00



WEST ELEVATION 1/8" = 1'-0" 1 A4-00

11/06/2024 23:50:04

Stamp:



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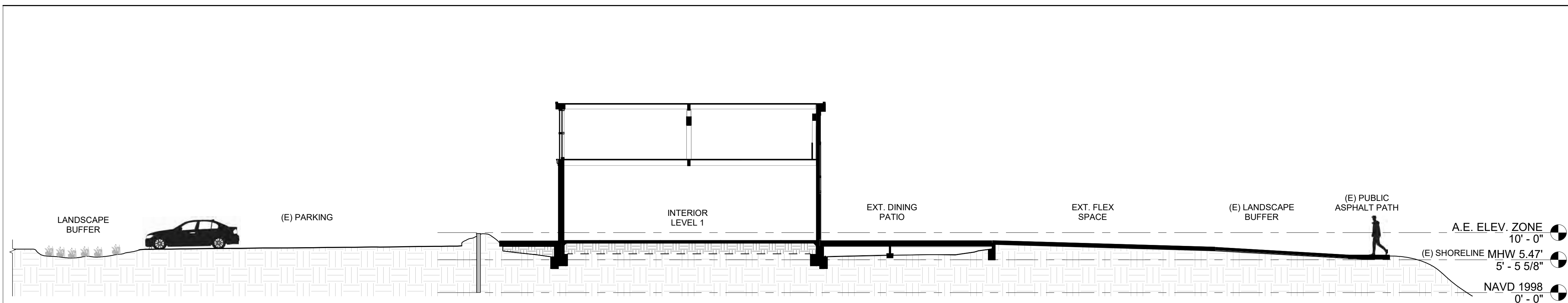
No.	Description	Date

Title:  
**SECTIONS**

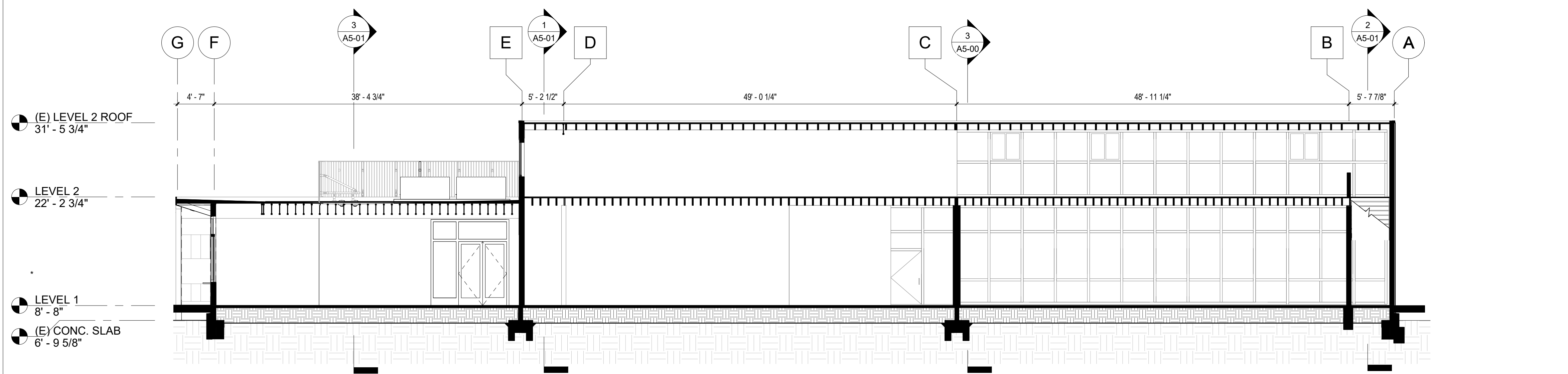
Checked by: **KW** Scale: **As indicated**

Sheet no:

**A5-00**



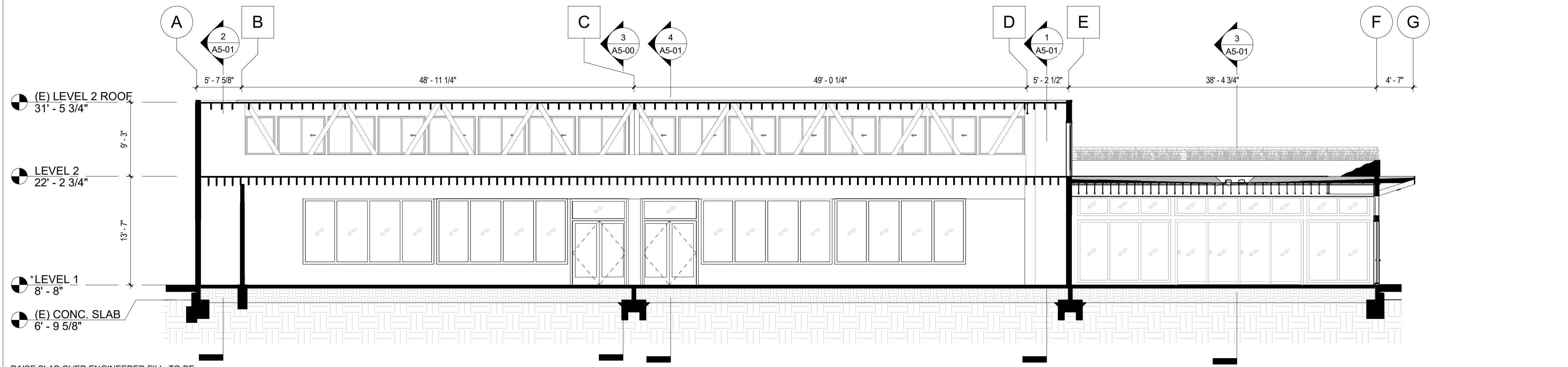
SITE SECTION 3/32" = 1'-0" 3 A5-00



WEST SECTION 1/8" = 1'-0" 2 A5-00

RAISE SLAB OVER ENGINEERED FILL, TO BE DETERMINED, SEE STUCT AND CIVIL

\*NOTE: ZONE AE-ELEV-10



WEST SECTION 1/8" = 1'-0" 1 A5-00

RAISE SLAB OVER ENGINEERED FILL, TO BE DETERMINED, SEE STUCT AND CIVIL

\*NOTE: ZONE AE-ELEV-10

11/06/2024 23:50:07

Stamp:



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No.	Description	Date

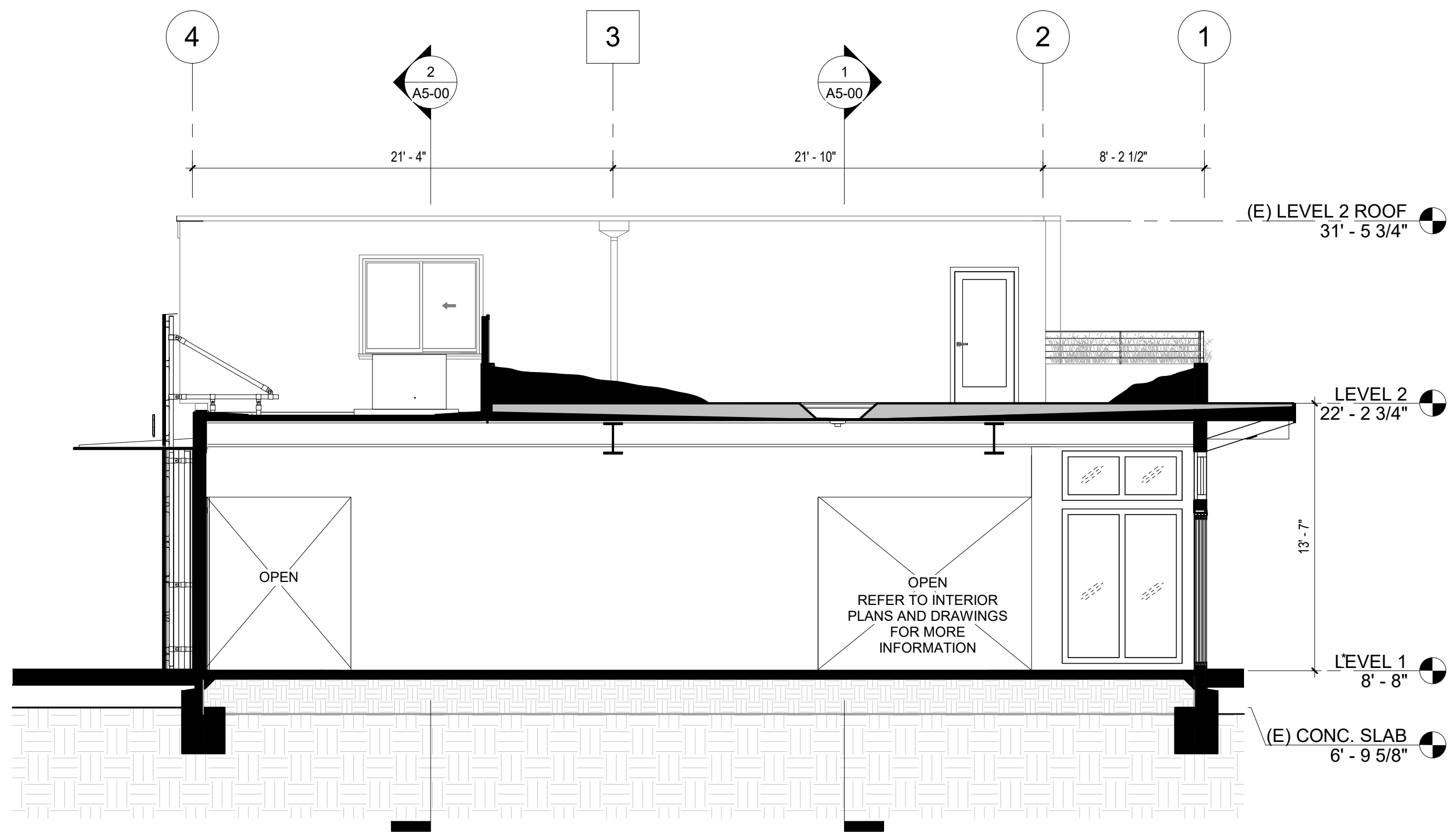
Title:  
**SECTIONS**

Checked by: **KW** Scale: **As indicated**

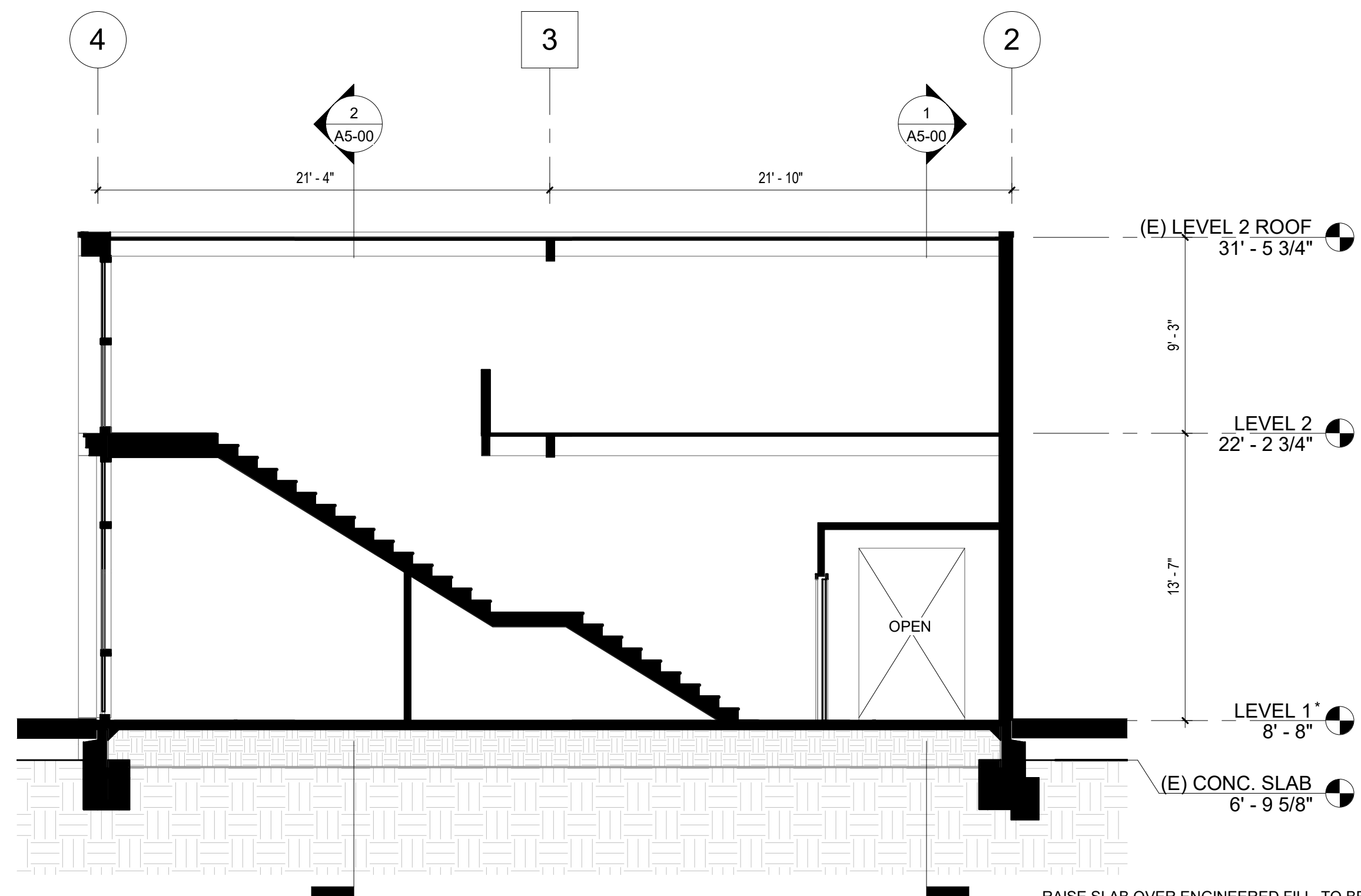
Sheet no:

**A5-01**

LITE WEIGHT FILL, SEE GEOTECH  
 (E) UNDISTURBED GRADE



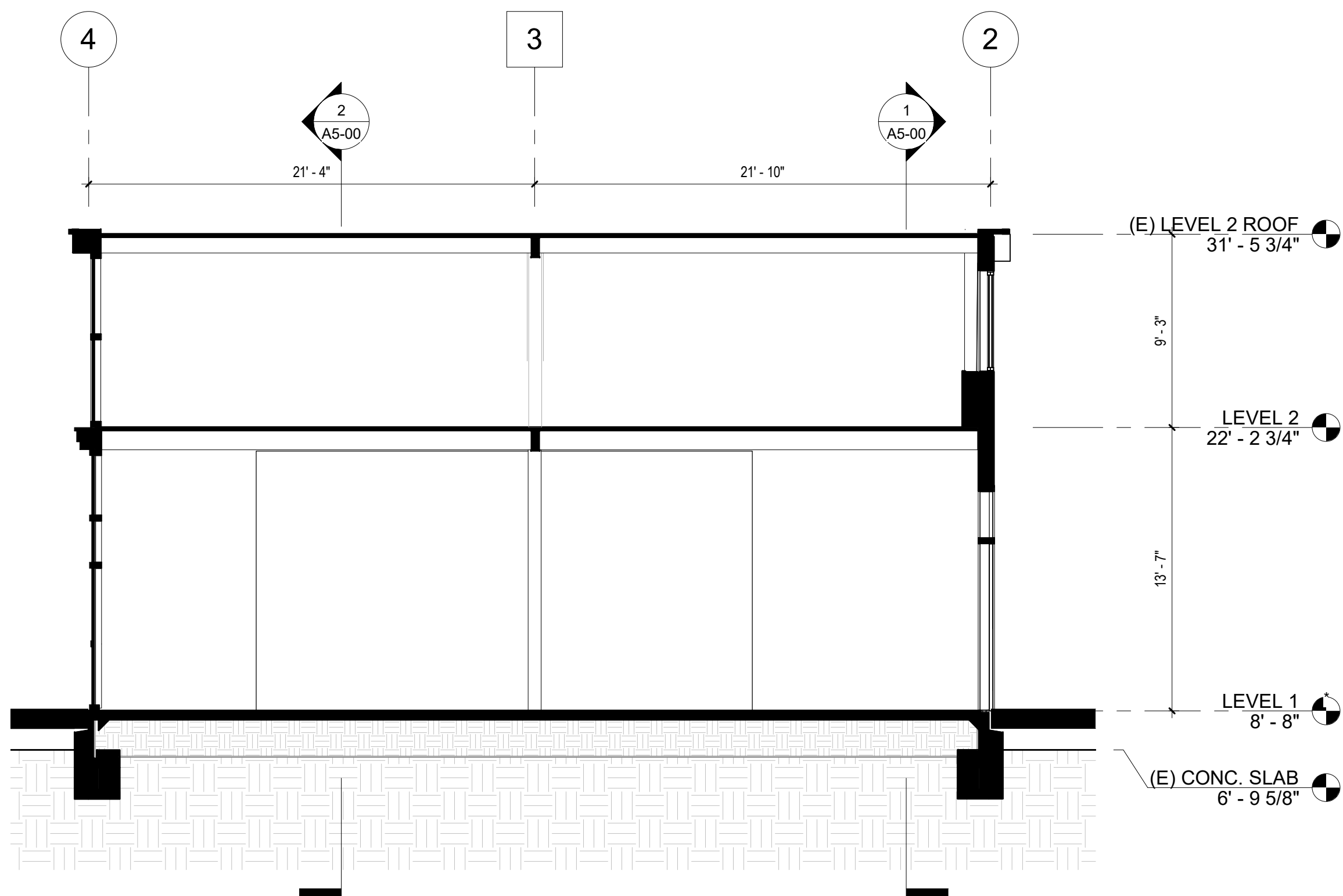
SECTION 4 3/16" = 1'-0" 3 A5-01



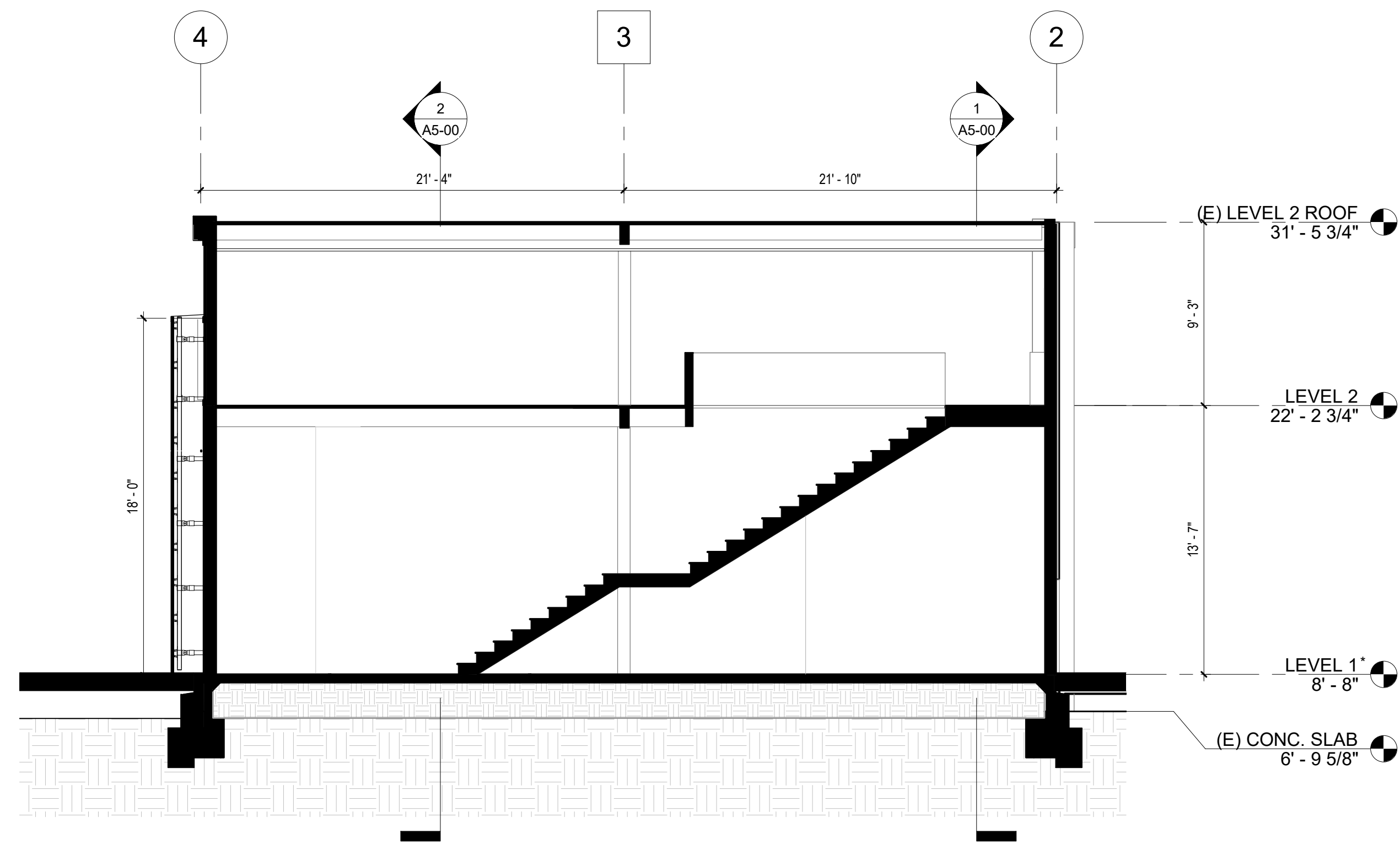
SECTION AT STAIR 2 3/16" = 1'-0" 2 A5-01

\*NOTE: ZONE AE-ELEV-10

RAISE SLAB OVER ENGINEERED FILL, TO BE DETERMINED, SEE STUCT AND CIVIL



SECTION AT SHEAR WALL 3/16" = 1'-0" 4 A5-01

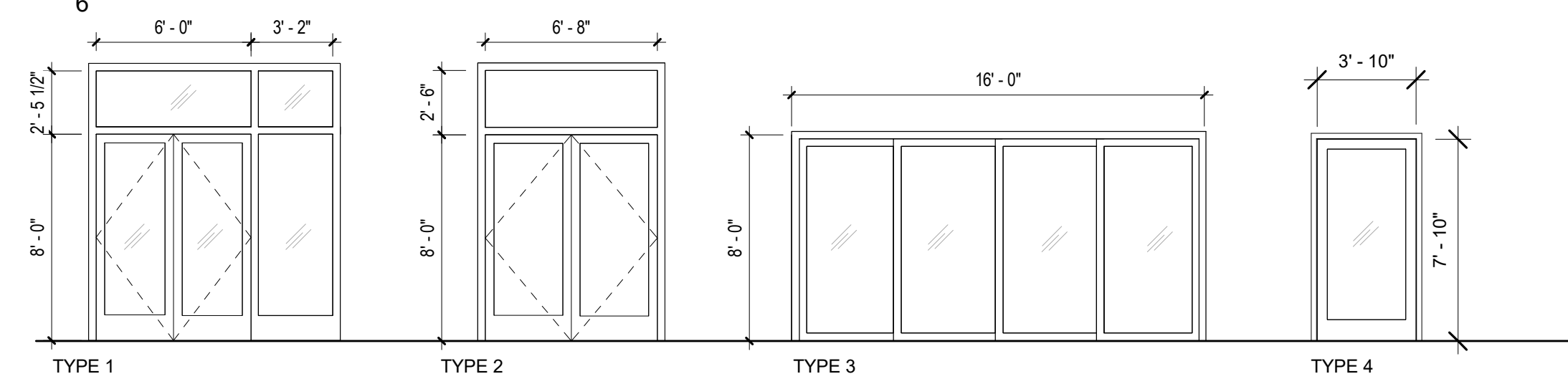


SECTION AT STAIR 1 3/16" = 1'-0" 1 A5-01

\*NOTE: ZONE AE-ELEV-10

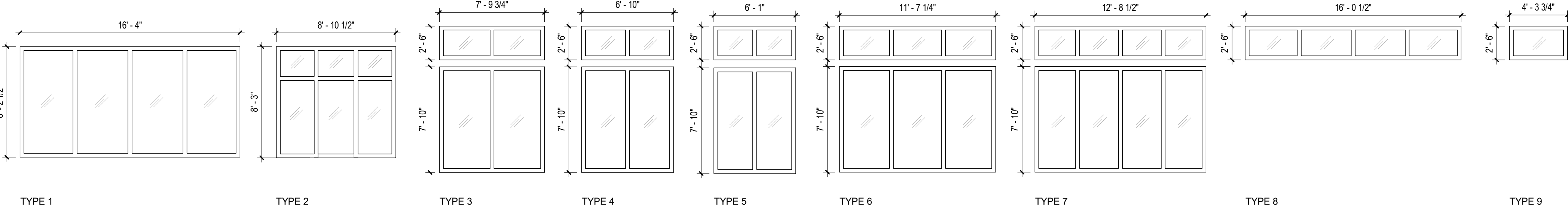
RAISE SLAB OVER ENGINEERED FILL, TO BE DETERMINED, SEE STUCT AND CIVIL

DOOR SCHEDULE										
COUNT	MARK	FAMILY	TYPE	HEIGHT	WIDTH	MANUFACTURER	DETAILS			FINISH COMMENTS
							HEAD	JAMB	SILL	
1	1	Double-Glass + window crkw main door	TYPE 1	8' - 0"	6' - 0"	TBD				
1	2	Double-Glass + window crkw	TYPE 2	8' - 0"	6' - 8"	TBD				
1	3	Door-Sliding-All_Weather-Series_8100-Single_Parting MODIFY	TYPE 3	8' - 0"	16' - 0"	All Weather Architectural Aluminum	9 / A6*00	8 / S6-00	N/A	
1	4	Door-Interior-Single-Full Glass-Wood	TYPE 4	7' - 10"	3' - 10"	TBD	4/A6-00	4/A6-00	3/ A6-00 SIM	EXTERIOR DOOR - TEMPERED GALSS
1	5	Door-Interior-Single-Full Glass-Wood	TYPE 4	6' - 8"	3' - 0"	TBD	4/A6-00	4/A6-00	3/ A6-00 SIM	EXTERIOR DOOR - TEMPERED GALSS
1	6	Double-Glass + window crkw	TYPE 2	8' - 0"	6' - 8"	TBD				



WINDOW SCHEDULE										
COUNT	MARK	OPPENING		FAMILY	TYPE	MANUFACTURE	Detail			COMMENTS
		WIDTH	HEIGHT				HEAD	JAMB	STILL	
1	A	16' - 4"	8' - 2 1/2"	window fixed 4 panels - crkw	TYPE 1	TBD				
1	A	16' - 4"	8' - 2 1/2"	window fixed 4 panels - crkw	TYPE 1	TBD				
1	A	16' - 4"	8' - 2 1/2"	window fixed 4 panels - crkw	TYPE 1	TBD				
1	A	16' - 4"	8' - 2 1/2"	window fixed 4 panels - crkw	TYPE 1	TBD				
1	B	8' - 10 1/2"	8' - 3"	window fixed 3 panels sliding - crkw	TYPE 2	TBD				
1	C	7' - 9 3/4"	7' - 10"	window fixed 2 panels - crkw	TYPE 3	TBD				
1	D	7' - 9 3/4"	2' - 6"	window fixed 2 panels - crkw	TYPE 3	TBD				
1	E	6' - 10"	7' - 10"	window fixed 2 panels - crkw	TYPE 4	TBD				
1	F	6' - 10"	2' - 6"	window fixed 2 panels - crkw	TYPE 4	TBD				
1	G	6' - 1"	2' - 6"	window fixed 2 panels - crkw	TYPE 5	TBD				
1	H	6' - 1"	7' - 10"	window fixed 2 panels - crkw	TYPE 5	TBD				
1	I	11' - 7 1/4"	7' - 10"	window fixed 3 panels - crkw	TYPE 6	TBD				
1	J	11' - 7 1/4"	2' - 6"	window fixed 3 panels - crkw	TYPE 6	TBD				
1	K	12' - 8 1/2"	7' - 10"	window fixed 4 panels - crkw	TYPE 7	TBD				
1	L	12' - 8 1/2"	2' - 6"	window fixed 4 panels - crkw	TYPE 7	TBD				
1	M	16' - 0 1/2"	2' - 6"	window fixed 4 panels - crkw	TYPE 8	TBD				
1	N	4' - 3 3/4"	2' - 6"	window fixed 1 panels - crkw	TYPE 9	TBD				

: 17



GENERAL DOOR NOTES

- ALL DOORS SHALL BE 1 3/4" THICK MINIMUM, UNLESS OTHERWISE NOTED
- ALL DOORS SHALL BE TRIMMED AT THRESHOLD TO PROVIDE CLEARANCE FOR FINISH FLOOR (U.O.N.) ABOVE FLOOR FINISH MATERIAL TO ALLOW FOR FULL DOOR SWING AND NOT EXCEED GAP WIDTH PER CAL HEALTH AND SAFETY CODE.
- G.C. TO VERIFY ACTUAL DOOR HEIGHT TO PROPERLY SIZE THE ROUGH OPENINGS
- PROVIDE LABELS FOR DOORS AND FRAMES IN RATED WALLS TO SATISFY FIRE RATING REQUIREMENT WHERE APPLICABLE
- DOOR AT FULLY OPEN POSITION SHALL NOT PROJECT MORE THAN 7 INCHES INTO THE REQUIRED PATH OF EGRESS TRAVEL WIDTH
- THE CLEAR MINIMUM WIDTH OF EACH DOOR OPENING SHALL NOT BE LESS THAN 32 INCHES. THE HEIGHT OF DOORS SHALL NOT BE LESS THAN 80 INCHES
- THERE SHALL NOT BE PROJECTIONS INTO THE REQUIRED CLEAR WIDTH LOWER THAN 34 INCHES ABOVE THE FLOOR OR GROUND. PROJECTIONS INTO THE CLEAR OPENING WIDTH BETWEEN 34 INCHES AND 80 INCHES ABOVE THE FLOOR OR GROUND SHALL NOT EXCEED 4 INCHES
- THE FORCE FOR PUSHING OR PULLING OPEN INTERIOR SWINGING EGRESS DOORS, OTHER THAN FIRE DOORS, SHALL NOT EXCEED 5 POUNDS (22N). THESE FORCES DO NOT APPLY TO THE FORCE REQUIRED TO RETRACT LATCH BOLTS OR DISENGAGE OTHER DEVICES THAT HOLD THE DOOR IN A CLOSED POSITION, FOR OTHER SWINGING DOORS AS WELL AS SLIDING AND FOLDING DOORS, THE DOORLATCH SHALL RELEASE WHEN SUBJECTED TO A 15 POUND (67N) FORCE THE DOOR SHALL BE SET IN MOTION WHEN SUBJECTED TO A 30 POUND (133N) FORCE. THE DOOR SHALL SWING TO A FULL OPEN POSITION WHEN SUBJECTED TO A 15 POUND (67n) FORCE
- THERE SHALL BE A FLOOR OR LANDING ON EACH SIDE OF A DOOR, SUCH FLOOR OR LANDING SHALL BE AT THE SAME ELEVATION ON EACH SIDE OF THE DOOR. LANDINGS SHALL BE LEVEL EXCEPT FOR EXTERIOR LANDINGS, WHICH ARE PERMITTED TO HAVE A SLOPE NOT TO EXCEED 0.25 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2-PERCENT SLOPE)
- DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES SHALL BE INSTALLED 34 INCHES MINIMUM AND 48 INCHES MAXIMUM ABOVE THE FINISHED FLOOR. LOCKS USED ONLY FOR SECURITY PURPOSES AND NOT USED FOR NORMAL OPERATION ARE PERMITTED AT ANY HEIGHT.
- DOOR HARDWARE: DOOR HARDWARE TO COMPLY WITH CBC 1010.1.9.1 AND CCR, TITLE 244, PART 12 SECTION 12-10-202
- THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 0.5 INCH IN HEIGHT. RAISED THRESHOLDS AND FLOOR LEVEL CHANGES GREATER THAN 0.25 INCH AT DOORWAYS SHALL BEVELED WITH A SLOPE NOT GREATER THAN ONE UNIT VERTICAL IN TWO UNITS HORIZONTAL (50PERCENT SLOPE)
- SWINGING DOOR WITHIN 10 INCHES OF THE FINISH FLOOR OR GROUND MEASURED VERTICALLY SHALL HAVE A SMOOTH SURFACE ON THE PUSH SIDE EXTENDING THE FULL WIDTH OF THE DOOR. CAVITIES CREATED BY ADDED KICK PLATES SHALL BE CAPPED
- ACCESS CONTROLLED EGRESS DOORS SHALL COMPLY WITH CBC 1008.1.9.8
- REQUIRED EXIT WIDTH SHALL BE MAINTAINED FOR ALL EGRESS PATH OF TRAVEL TO AND FROM EXIT DOORS
- EXIT DOORS SHALL NOT BE LOCKED OR BOLTED TO PREVENT TRAVEL IN THE DIRECTION OF EGRESS
- ALL MAGNETIC DOOR HOLDERS TIED TO FIRE ALARMS SHALL COMPLY WITH 2016 NFPA 72
- ALL SIZES INDICATED ON THE SCHEDULE ARE NOMINAL ONLY, REFER TO DETAILS AND FIELD CONDITIONS TO DETERMINE EXACT SIZES.
- ALL WINDOWS AND SLIDING GLASS DOORS SHALL BE DUAL GLAZED WITH WEATHER-STRIPPED OR LOW INFILTRATION FRAMES MEETING ANSI AIR FILTRATION STANDARDS.
- PROVIDE SAFETY GLAZING PER CBC SECTION 2406.3
- PROVIDE WEATHER STRIPPING PER TITLE 24 FOR ALL EXTERIOR DOORS

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PROJECT:  
**242 REDWOOD HWY**

242 Redwood Hwy., Mill Valley, CA 94941

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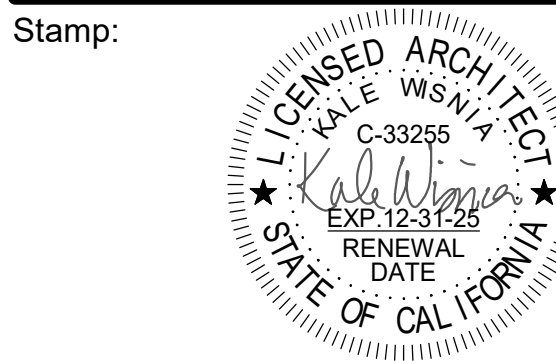
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No.	Description	Date

Title:  
**SCHEDULES & DETAILS**

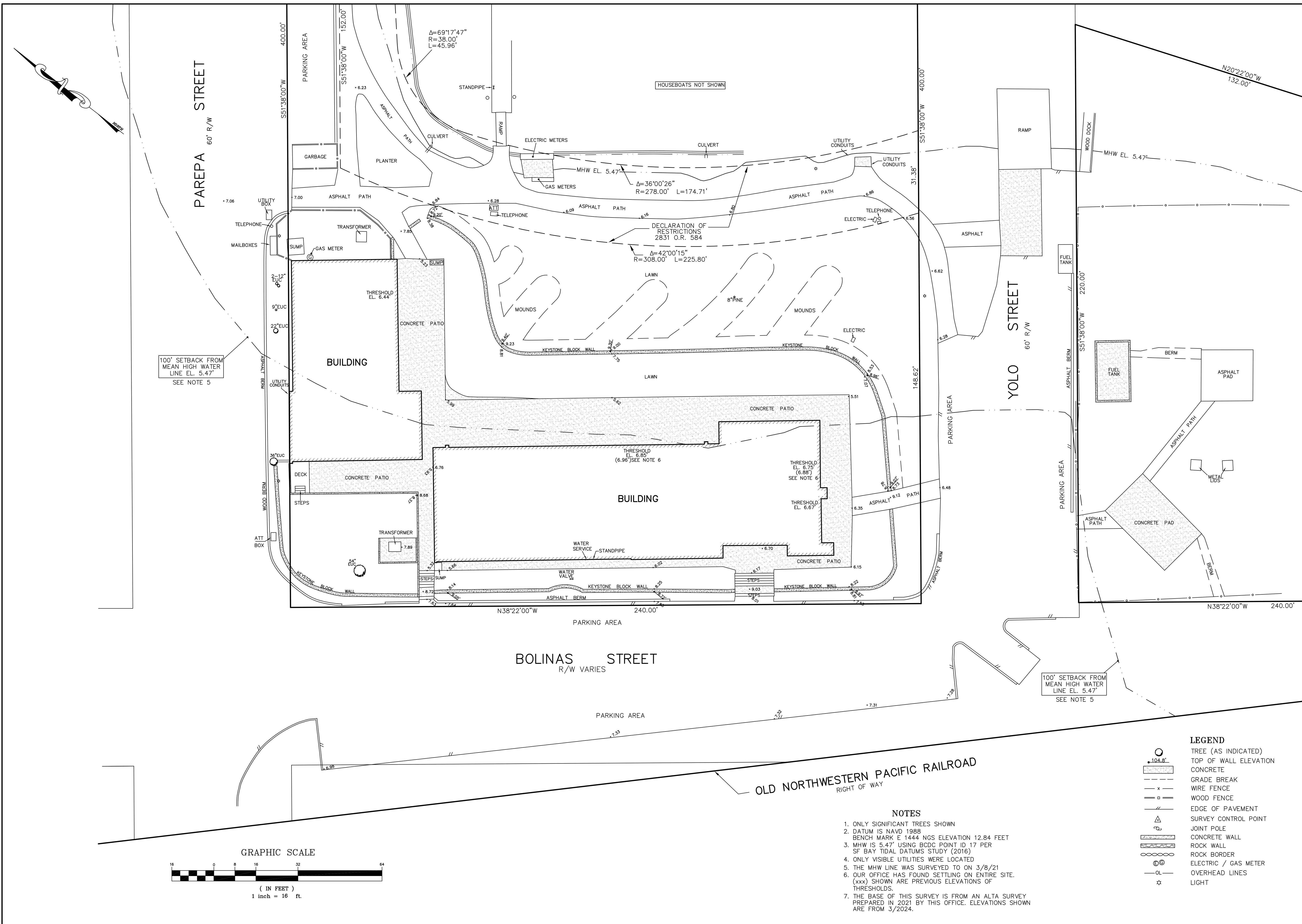
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**242 REDWOOD HWY**  
MILL VALLEY CALIFORNIA  
A.P. 052-247-01

**TOPOGRAPHIC SURVEY**

DRAWN BY: CPD  
DATE: 3/15/24  
ISSUE:

**C-1**  
DRAWING NUMBER: 3075  
SHEET 1 OF 1