CODE SUMMA	RY:				IND	EX:
	PROJEC	T DATA TABL	E		GENER	241
	(E) SQ. FT.	REMODEL (E) SQ. FT.	ADD/NEW SQ. FT.	TOTAL PROPOSED SQ. FT.	G0-00 G0-01	PROJECT INFORMATION GENERAL NOTES, ABBREVIATIONS AND SYMBO
242 REDWOOD HWY (E) BLDG, LEVEL 1	6,568	6,568	(10)	6,558	G0-05 G1-00 G1-01	EXISTING IMAGES AND MCC-SPPP EXISTING CONDITIONS FLOOR PLAN / DEMO PLA EXISTING ELEVATION AND DEMO
242 REDWOOD HWY (E) BLDG, LEVEL 2	4,500	0	*1,300	5,800	G1-02	(E) AND (N) ROOF SITE ELEVS AND AREAS
242 REDWOOD HWY (E) BLDG, NO CHANGE	3,700	0	0	3,700	ARCHITE A0-00	ECTURAL EXTERIOR RENDERINGS / MATERIAL BOARD
TOTAL BLDG FLOOR AREA	14,768	6,568	(10)	16,058	A0-01	SITE PLAN
242 REDWOOD HWY (E) BLDG, FOOTPRINT	6,568	6,568	(10)	6,558	A2-00 A2-01 A4-00	FLOORS PLANS SECOND FLOOR ELEVATIONS
242 REDWOOD HWY (E) BLDG, FOOTPRINT NO CHANGE	3,700	0	0	3,700	A5-00 A5-01	SECTIONS
(E) TRASH ENCLOSURE (NO CHANGE)	161	0	0	161	A6-00	SCHEDULES & DETAILS
TOTAL BLDG FOOT PRINT	10,429	6,568	(10)	10,419	LANDSC	CAPE
LOT AREA	96.000	-	-	96,000	L1.01	SITE PLAN
LOT AREA ABOVE M.H.W.	46,700	_	-	46,700	L6.01	SITE SECTION
AREA OF DISTURBANCE	46,700	28,676	0	46,700	SURVEY	/
LOT COVERAGE, IMPERVIOUS SQ.FT.	24,700	-	-	20,830	C1	TOPOGRAPHIC SURVEY
LOT COVERAGE, PERVIOUS SQ.FT.	22,000	-	-	25,870		
GRADING - CUT (CY)	-	-	-	1,195		
GRADING - FILL (CY)	-	-	-	2,305		
GRADING - OFF HAUL (CY)	-	-	-	0		
FULL LOT BUILDING F.A.R.:	0.154 (15%)	-	-	0.168 (17%)		
DRY LAND BUILDING F.A.R.:	0.316 (32%)	-	-	0.344 (34%)		
EXTERIOR ROOF DECK OVER I ACCESSOR PARCEL NUMBER: CONING: ROR ASCE 24-14 TABLE 1-1 FLOOD I BUILDING TYPE: IV / II-B, NO CH SPRINKLERS: FULLY SPRINKLE (EAR BUILT: 1954	052 - 247 - 01 DESIGN CLASS: ANGE					
PARKING: MCC-24.04.340-B,(h): 1 SPACE/5( PARKING SPACES. PROVIDED ( 9 PARKING FLEX SPACES PROV MCC-24.04.340-A: 2 SPACES/SIN HOUSE BOATS - 22 SPACES PR	30 ON BOLINAS /IDED FOR SEA GLE FAMILY - 1	AND 20 ON PA	AREPA) JBLIC USE C			
ALL NEW WORK SHALL CONFO	RM TO THE FO	LLOWING COI	DES:			
2022 CBCCALIFORNIA BI2022 CECCALIFORNIA EI2022 CMCCALIFORNIA M2022 CPCCALIFORNIA PI2022 CPCCALIFORNIA EI2022 CHBCCALIFORNIA HI2022 CFCCALIFORNIA FI2022 CGBSCCALIFORNIA GI	LECTRIC CODE ECHANICAL CO LUMBING CODE NERGY CODE STORICAL BUIL RE CODE	DING CODE				

2022 CRC CALIFORNIA RESIDENTIAL CODE 2022 CBC, CMC, CEC, CPC (BASED ON THE 2018 IBC, 2018 CRC, 2018 UMC, 2018 UPC, 2017 NEC) 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (ALSO KNOWN AS THE CAL GREEN CODE) AND 2022 ENERGY STANDARDS, AS AMENDED BY STATE OF CALIFORNIA AND LOCAL JURISDICTION, ARE APPLICABLE TO THIS PROJECT. ALSO 2016 EDITION OF NFPA 13 - FIRE SPRINKLER SYSTEMS (2019 NOT ADOPTED), 2018 EDITION OF NFPA 10 -PORTABLE FIRE EXTINGUISHERS, 2020 EDITION NFPA 16 - FIRE PUMP INSTALLATION, 2016 EDITION NFPA 71 - FIRE ALARM SYSTEMS. SEE CHAPTER 80 OF CFC FOR ALL ADOPTED CODES AND STANDARDS.

### PROGRAMING - SCOPE OF WORK :

1. THE SCOPE OF WORK FOR THE CORE AND SHELL OF THE BUILDING UNDER THIS BUILDING PERMIT SHALL INCLUDE MATERIAL AND STRUCTURAL INTERIOR AND EXTERIOR WORK TO REPAIR AND IMPROVE THE EXISTING TWO STORY WOOD BUILDING. IT SHALL INCLUDE:

1.1. INSTALL A NEW INTERIOR LEVEL 1 SLAB ON GRADE OVER LIGHT WEIGHT FILL TO NAVD88 ELEVATION 8'-8".

1.2. INSTALL NEW PERIMETER FOUNDATION FOOTINGS.

1.3. REPLACE ALL OF LEVEL 1 DOORS AND WINDOWS SIMILAR TO EXISTING TO ACCOMODATE THE NEW LEVEL 1 FLOOR ELEVATION. 1.4. REPLACE EXISTING ROOF OF SINGLE STORY SOUTHERN PORTION OF THE BUILDING WITH NEW STRUCTURAL FRAMING, ROOFING AND A ROOF DECK, WITH AN OCCUPANCY OF LESS THAN 49.

1.5, INSTALL NEW EXTERIOR LIGHTING ON BUILDING.

- 1.6. REPLACE EXISTING DECORATIVE WOOD PLANK SIDING ON WEST FACADE WITH NEW WOOD SIDING THAT WILL ALSO CONCEAL NEW 1.7. INSTALL DRY FLOODPROOFING TO 12'-0" ABOVE NAVD88 0-0" PER SLR ASSESSMENT YEAR 2050. SEE SLR RISK ASSESSMENT REPORT 2024
- 2. THE SCOPE OF THE WORK FOR THE SURROUNDING LANDSCAPE UNDER THIS BUILDING PERMIT SHALL INCLUDE:

2.1. REMOVE 3,690 SF OF EXISTING SLAB ON GRADE AND CONCRETE STAIRS AND ASPHALT TO BE REPLACED WITH PERVIOUS SURFACE

LEVEL WITH LEVEL 1 OF THE BUILDING. 2.2. RETROFIT OF EXISTING LANDSCAPE BERM PER RECOMMENDATIONS IN SLR RISK ASSESSMENT REPORT 2024 TO DRY FLOODPROOF AROUND THE BUILDING.

2.3. INSTALLATION OF LEVEL PERVIOUS DECK AND PATIO AND LANDSCAPE SURFACES FOR ACCESSIBILITY TO AND FROM THE PUBLIC PATH, THE EXISTING PARKING AND THE BUILDING AND REPLANT AND REUSE NATIVE SOIL TO PRESERVE AND ENHANCE THE NATIVE COASTAL TIDAL PLANT HABITAT BUFFER AREAS BETWEEN THE PUBLIC AREAS AND PRIVATE AREAS ON THE SITE. 2.4. INSTALLATION OF EXTERIOR SEATING AND TABLES ACCESSIBLE FROM THE PUBLIC PATH AND THE BUILDING TO PROVIDE LOCATIONS

TO VIEW RICHARSON BAY TO THE SOUTH AND WHERE POSSIBLE MT. TAMALPAIS TO THE NORTH WEST. 2.5. INSTALLATION OF SHORELINE SIGNAGE AT SITE ENTRANCES AND ALONG PUBLIC PATHWAYS TO PROVIDE CUSTOMERS AND THE PUBLIC DIRECTIONAL AND EDUCATIONAL INFORMATION ABOUT THE SHORLINE AMENITIES, VIEWS AND HABITAT.

2.6. INSTALLATION OF SHORT TERM PUBLIC BICYCLE PARKING AND LONG TERM BICYCLE PARKING FOR ON SITE EMPLOYEES.

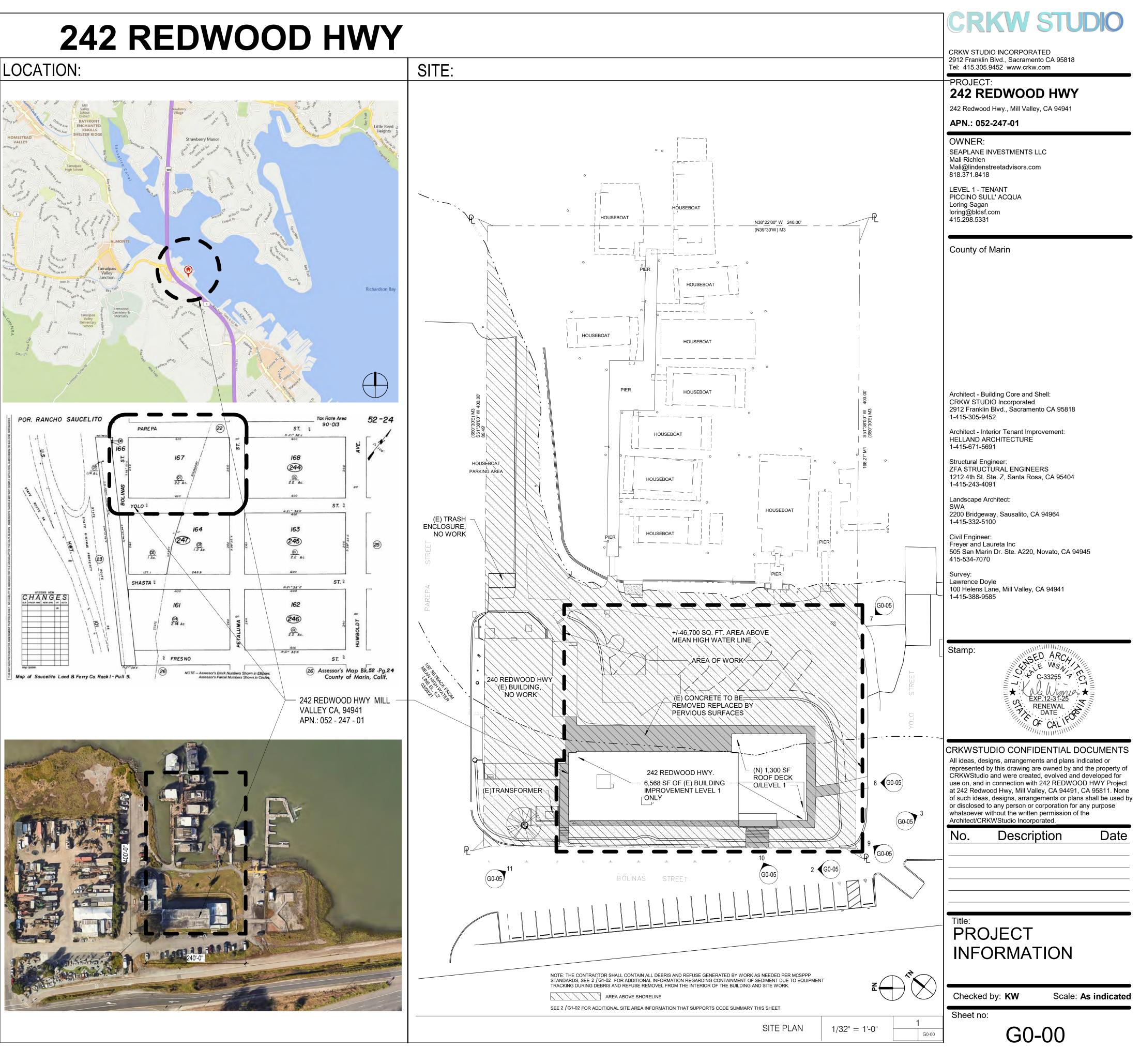
2.7. INSTALLATION OF EV SCOOTER PARKING AREA 2.8. MECHANICAL UNITS LOCATED ON THE LOWER PORTION OF THE ROOF.

3. THE SCOPE OF WORK FOR THE RESTAURANT UNDER THIS BUILDING PERMIT SHALL INCLUDE ALL THE WORK NECESSARY TO BUILD A FULL-

SERVICE RESTAURANT & BAR ON THE GROUND FLOOR OF THE EXISTING 2-STORY BUILDING WITH BUILDING OCCUPANCY ON LEVEL 1 OF 195. WORK SHALL INCLUDE:

- 3.1, CONSTRUCTION OF NON-LOAD BEARING INTERIOR PARTITION WALLS
- 3.2. INSTALLATION OF NEW FINISHES, INCLUDING FLOORING, SOUND DAMPENING WALL PANELING, WALL TILE, AND PAINT.
- 3.3. INSTALLATION OF NEW BAR WITH ACCESSIBLE SEATING 3.4. INSTALLATION OF NEW OPEN KITCHEN DINING COUNTER WITH ACCESSIBLE SEATING
- 3.5. INSTALLATION OF NEW LIGHTING
- 3.6. INSTALLATION OF NEW DISHWASHING, COOKING, AND KITCHEN EQUIPMENT INCLUDING; TYPE-I, TYPE-II, AND DISHWASHING VENTILATION HOOD WITH EXHAUST DUCTS VENTING TO ROOF
- 3.7. INSTALLATION OF FIXED AND NON-FIXED FURNISHINGS

REFERENCE PERMIT: T#90535



#### GENERAL NOTES

- THE CONTRACT DOCUMENTS CONSISTS OF THE AGREEMENT BETWEEN 31 ALL GLASS AND GLAZING USED IN THIS PROJECT SHALL CONFORM 47 CONTRACTOR SHALL ORDER AND SCHEDULE THE OWNER AND THE CONTRACTOR, CONDITIONS OF THE CONTRACT (GENERAL, SUPPLEMENTARY, AND OTHER CONDITIONS), DRAWINGS. SPECIFICATIONS, ADDENDA, AND MODIFICATIONS ISSUED PRIOR TO OR AFTER EXECUTION OF THE CONTRACT AND OTHER DOCUMENTS LISTED 32 SUBMIT REQUIRED SHOP DRAWINGS AND SUBMITTALS FOR ALL IN THE AGREEMENT
- 2 THE CONTRACT DOCUMENTS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY THE ARCHITECT. WHETHER THE PROJECT FOR WHICH THEY ARE PREPARED IS EXECUTED OR NOT. THE 33 CONTRACTOR SHALL FOLLOW MANUFACTURERS' RECOMMENDED CONTRACT DOCUMENTS ARE NOT TO BE USED BY THE LANDLORD TENANT, SUBTENANT, OR PROPERTY OWNER, ET AL, FOR OTHER EXTENSIONS TO THE PROJECT NOR ARE THEY TO BE MODIFIED IN ANY MANNER WHATSOEVER, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.
- THE WORK SHALL CONFORM WITH THE REQUIREMENTS OF THE CALIFORNIA BUILDING CODE (CBC), 2022 EDITION, AND ALL OTHER REQUIREMENTS OF THE GOVERNING AGENCIES HAVING JURISDICTION OVER THE WORK.
- \* "LANDLORD," "BASE BUILDING OWNER," OR "SHELL BUILDING OWNER" SHALL MEAN THE LEGAL OWNER OF THE EXISTING BUILDING OCCUPIED BY THE TENANT.
- "TENANT," "PROJECT OWNER," OR "OWNER" SHALL MEAN THE LEGAL OWNER OF THE PROJECT.
- 3 "CONTRACTOR" SHALL MEAN GENERAL CONTRACTOR OR ITS SUBCONTRACTORS, AS APPLICABLE.
- 7 "FURNISH" SHALL MEAN SUPPLY ONLY; FOR OTHERS TO INSTALL
- 8 "INSTALL" SHALL MEAN SUPPLIED BY OTHER; TO BE INSTALLED BY CONTRACTOR.
- 9 "PROVIDE" SHALL MEAN FURNISH AND INSTALL, COMPLETE AND IN PLACE.
- 10 "SIMILAR" SHALL MEAN COMPARABLE CHARACTERISTICS FOR CONDITION(S) NOTED, CONTRACTOR SHALL VERIFY DIMENSIONS, ORIENTATION, AND VARIATION FROM THE REFERENCED CONDITION.
- 11 "TYPICAL" SHALL MEAN IDENTICAL FOR CONDITION(S) NOTED.
- 12 "OFFSITE" SHALL MEAN OUTSIDE THE PROPERTY BOUNDARY OF THE PROJECT PARCEL OR SITE.
- 13 "SITE" SHALL MEAN THE ENTIRE AREA WITHIN THE PARCEL BOUNDARY/PROPERTY LINES.
- 14 "SITE WORK" SHALL MEAN ALL WORK UP TO A DISTANCE FIVE (5) FEET FROM THE FACE OF THE BUILDING, UNLESS OTHERWISE NOTES OR PROVIDED IN THE CONTRACT.
- 15 DO NOT SCALE DRAWINGS; DIMENSIONS GOVERN. VERIFY DIMENSIONS GIVE WITH FIELD CONDITIONS. IF DISCREPANCIES ARE DISCOVERED BETWEEN FIELD CONDITIONS AND DRAWINGS OR BETWEEN INDIVIDUAL DRAWINGS, CONTACT THE ARCHITECT FOR RESOLUTION BEFORE PROCEEDING. DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS SHALL LIKEWISE BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR RESOLUTION.
- 16 HORIZONTAL DIMENSIONS INDICATED ARE TO/FROM FINISHED FACE OF 40 THE FINISHED WORK SHALL BE FIRM, WELL ANCHORED, IN TRUE CONSTRUCTION, UNLESS OTHERWISE NOTED.
- 17 VERTICAL DIMENSIONS ARE FROM TOP OF FLOOR SLAB, EXCEPT WHERE NOTED TO BE FROM ABOVE FINISHED FLOOR.
- 18 DIMENSIONS ARE NOT ADJUSTABLE WITHOUT APPROVAL OF THE ARCHITECT UNLESS NOTED "+/-."
- 19 ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB. LEVEL, SQUARE. AND TRUE AND IN PROPER ALIGNMENT AND ADJUSTMENT.
- 20 PROPERLY CUT AND FIT COMPONENTS FOR ALTERATION OF EXISTING WORK AND INSTALLATIONS OF NEW WORK. PATCH DISTURBED AREAS TO MATCH ADJACENT MATERIALS AND FINISHES.
- 21 PATCH AND REPAIR ALL FIREPROOFING AND FIRE SAFING DAMAGED OR REMOVED DURING PERFORMANCE OF THE WORK. FIREPROOF NEW PENETRATIONS REQUIRED BY THE WORK.
- 22 COORDINATE AND PROVIDE APPROPRIATE STRUCTURAL BACKING AND REINFORCING IN PARTITIONS BEHIND ALL WALL-MOUNTED ITEMS. ALL CONCEALED WOOD SHALL BE FIRE RETARDANT TREATED.
- 23 MAKE ALL NECESSARY PROVISIONS FOR ITEMS TO BE FURNISHED OR INSTALLED BY TENANT. PROVIDE PROTECTION FOR THESE PROVISIONS 43 THE CONTRACTOR SHALL CONTINUOUSLY CHECK ARCHITECTURAL UNTIL COMPLETION OF THE PROJECT. GENERAL CONTRACTOR SHALL COORDINATE NOT-IN-CONTRACT ITEMS WITH APPROPRIATE TRADES.
- 24 GC SHALL INSPECT ALL EXISTING AS-BUILT CONDITIONS AT THE PROJECT SITE AND SHALL REVIEW AS-BUILT DOCUMENTS AND COMPARE EACH IN TERMS OF THE OTHER TO DETERMINE IF DISCREPANCIES EXIST.
- 25 GC SHALL REVIEW THE BASE BUILDING CONTRACT DOCUMENTS AND SHALL COMPLY WITH ALL BASE BUILDING REQUIREMENTS AND DESIGN CRITERIA, AS APPLICABLE.
- 26 GC SHALL BE RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS, AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT WORK IS AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. CLARIFICATIONS REGARDING ANY CONFLICTS SHALL BE ACHIEVED PRIOR TO RELATED WORK BEING STARTED.
- 27 GC SHALL VERIFY THAT NO CONFLICTS EXIST IN LOCATIONS OF ANY AND ALL MECHANICAL, TELEPHONE, ELECTRICAL, PLUMBING, AND SPRINKLER EQUIPMENT (TO INCLUDE ALL PIPING, DUCTWORK, AND CONDUIT) AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF ABOVE EQUIPMENT ARE PROVIDED. ELEMENTS TO BE EXPOSED TO VIEW SHALL BE DETERMINED BY OR REVIEWED WITH ARCHITECT PRIOR TO CONSTRUCTION OR FABRICATION PROCEEDING.
- 28 GC AND SUBCONTRACTORS SHALL COORDINATE THE LAYOUT AND EXACT LOCATIONS OF ALL PARTITIONS AND DOORS.
- 29 GC IS RESPONSIBLE FOR AND SHALL PROVIDE PROTECTION FOR ALL E EXISTING FINISHES AND SURFACES TO REMAIN.
- 30 MECHANICAL, ELECTRICAL, PLUMBING, AND AUTOMATIC FIRE SPRINKLER DESIGN-BUILD DRAWINGS AND/OR SHOP DRAWINGS, LAYOUT, AND COMPOSITE COORDINATION DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT AS SOON AS POSSIBLE AFTER AWARD OF THE CONTRACT FOR CONSTRUCTION, ALLOWING A MINIMUM OF FIVE 46 CONTRACTOR SHALL WAIVE COMMON PRACTICE AND "COMMON (5) WORKING DAYS FOR REVIEW (IF APPLICABLE). NO FABRICATION OR CONSTRUCTION SHALL PROCEED UNTIL THE REVIEW/APPROVAL OF THESE DRAWINGS. GC SHALL ALLOW SUFFICIENT TIME FOR REVIEW, COORDINATION, AND RESUBMITTAL, IF NECESSARY, OF THE DESIGN-BUILD SUBCONTRACTORS' DOCUMENTS TO ENSURE SATISFACTORY DESIGN AND ENGINEERING COORDINATION.

- TO THE REQUIREMENTS OF CBC 2019 AND ALL FEDERAL REGULATIONS
- TRADES AS SOON AS POSSIBLE TO THE ARCHITECT BEFORE ORDERING ANY MATERIALS OR FABRICATIONS OR PROCEEDING WITH THE WORK.
- SPECIFICATIONS AND INSTALLATION PROCEDURES. IF THESE ARE CONTRARY TO CONTRACT DOCUMENTS, CONTRACTOR SHALL NOTIFY ARCHITECT IN WRITING IMMEDIATELY TO RESOLVE DISCREPANCIES BEFORE PROCEEDING.
- 34 CONTRACTOR SHALL EXERCISE EXTREME CARE AND PRECAUTION DURING CONSTRUCTION OF THE WORK TO MINIMIZE THE DISTURBANCES OR DISRUPTION TO ADJACENT STRUCTURES. PROPERTY, OCCUPANTS, AND PUBLIC THOROUGHFARES, ETC. CONTRACTOR SHALL TAKE ALL NECESSARY AND PRUDENT PRECAUTIONS TO PROTECT BUILDING OCCUPANTS FROM CONSTRUCTION PROCEDURES AND WORK AND BE RESPONSIBLE FOR THE SAFETY OF ALL BUILDING OCCUPANTS.
- 35 WITHIN FIVE (5) DAYS OF THE CONTRACT DATE. PREPARE AND SUBMIT AN ESTIMATED CONSTRUCTION SCHEDULE FOR THE WORK, WITH SUBSCHEDULES OF RELATED ACTIVITIES WHICH MAY AFFECT THE PROGRESS OF THE WORK
- 36 ALL WORK SHALL COMPLY WITH APPLICABLE CODES. AMENDMENTS, RULES, REGULATIONS, ORDINANCES, LAWS, ORDERED, APPROVALS, ETC, THAT ARE REQUIRED BY PUBLIC AUTHORITIES. IN THE EVENT OF CONFLICT, THE MOST STRINGENT REQUIREMENTS SHALL APPLY. REFER TO APPLICABLE BUILDING STANDARDS LISTED ON GF-0-00
- 37 COMMON ABBREVIATIONS ARE LISTED UNDER "ABBREVIATIONS" SEE INDEX AS NEED
- 38 IN THE EVENT OF CONFLICT BETWEEN DATA SHOWN ON DRAWINGS AND DATA SHOWN ON THE SPECIFICATIONS, THE SPECIFICATIONS SHALL GOVERN. DIMENSIONS NOTED ON DRAWINGS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS DETAIL DRAWINGS TAKE PRECEDENCE OVER DRAWINGS OF SMALLER SCALE. SHOULD THE CONTRACTOR AT ANY TIME DISCOVER AN ERROR IN A DRAWING OR SPECIFICATION OR A DISCREPANCY OR VARIATION BETWEEN DIMENSIONS ON DRAWINGS AND MEASUREMENTS AT SITE OR LACK OF DIMENSIONS OR OTHER INFORMATION, CONTRACTOR SHALL REPORT AT ONCE TO THE ARCHITECT FOR CLARIFICATION AND SHALL NOT PROCEED WITH THE WORK AFFECTED UNTIL CLARIFICATION HAS BEEN MADE.
- 39 ONLY NEW ITEMS OF RECENT MANUFACTURE, OF STANDARD EQUALITY, FREE FROM DEFECTS, WILL BE PERMITTED ON THE WORK. REJECTED ITEMS SHALL BE REMOVED IMMEDIATELY FROM 53 THE CONTRACTOR SHALL NOTIFY THE OWNER IN THE WORK AND REPLACED WITH ITEMS OF THE QUALITY SPECIFIED. FAILURE TO REMOVE REJECTED MATERIALS AND EQUIPMENT SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY FOR QUALITY AND CHARACTER OF ITEMS USED NOR FROM ANY OTHER OBLIGATION IMPOSED ON CONTRACTOR BY THE CONTRACT.
- ALIGNMENT, PLUMB, AND LEVEL WITHOUT WAVES, DISTORTIONS, HOLES, MARKS, CRACKS, STAINS, OR DISCOLORATION. JOINTS SHALL BE CLOSE FITTING, NEAT, AND WELL SCRIBED. THE FINISH WORK SHALL NOT HAVE EXPOSED, UNSIGHTLY ANCHORS OR FASTENERS AND SHALL NOT PRESENT HAZARDOUS, UNSAFE CORNERS. ALL WORK SHALL HAVE THE PROVISION FOR EXPANSION, CONTRACTION, AND SHRINKAGE AS NECESSARY TO PREVENT CRACKS. BUCKLING. AND WARPING DUE TO TEMPERATURE AND HUMIDITY CONDITIONS.
- 1 ATTACHMENTS, CONNECTIONS, OR FASTENINGS OF ANY NATURE SHALL BE PROPERLY AND PERMANENTLY SECURED IN CONFORMANCE WITH BEST PRACTICE, AND THE CONTRACTOR IS RESPONSIBLE FOR IMPROVING THEM ACCORDING TO THESE CONDITIONS
- 42 THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE DIMENSIONS AND ELEVATIONS AT THE SITE. THE CONTRACTOR AND SUBCONTRACTORS SHALL COORDINATE THE LAYOUT AND EXACT LOCATIONS OF ALL PARTITIONS, DOORS, ELECTRICAL/TELEPHONE OUTLETS, LIGHT SWITCHES, AND THERMOSTATS WITH THE ARCHITECT IN THE FIELD BEFORE PROCEEDING WITH CONSTRUCTION
- AND STRUCTURAL CLEARANCES FOR ACCESSIBILITY OF EQUIPMENT AND MECHANICAL AND ELECTRICAL SYSTEMS. CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN LOCATIONS OF ANY KIND AND ALL MECHANICAL, TELEPHONE, ELECTRICAL, LIGHTING, PLUMBING, AND SPRINKLER EQUIPMENT (TO INCLUDE ALL PIPING, DUCTWORK, AND CONDUIT) AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF ABOVE EQUIPMENT ARE PROVIDED. NO ALLOWANCE OF ANY KIND WILL BE MADE FOR THE CONTRACTOR'S NEGLIGENCE IN NOT FORESEEING MEANS OF INSTALLING EQUIPMENT INTO POSITION INSIDE STRUCTURE
- 44 NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY OR DEFICIENT IN ANY REQUIREMENTS OF DRAWINGS AND SPECIFICATIONS WILL BE ACCEPTABLE IN CONSEQUENCE OF OWNER'S OR ARCHITECT'S FAILURE TO DISCOVER OR TO POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION, NOR WILL PRESENCE OF INSPECTORS ON WORK SITE RELIEVE CONTRACTOR FROM RESPONSIBILITY FOR SECURING QUALITY AND PROGRESS OF WORK AS REQUIRED BY CONTRACT. DEFECTIVE WORK REVEALED WITHIN TIME REQUIRED BY GUARANTEES SHALL BE REPLACED BY WORK CONFORMING WITH INTENT OF CONTRACT. NO PAYMENT, WHETHER PARTIAL OR FINAL, SHALL BE CONSTRUED AS AN ACCEPTANCE OF DEFECTIVE WORK OR IMPROPER MATERIALS.
- 45 MATERIALS AND WORKMANSHIP SPECIFIED BY REFERENCE TO NUMBER SYMBOL, OR TITLE OF SUCH SPECIFICATION AS COMMERCIAL STANDARDS, FEDERAL SPECIFICATIONS, TRADE ASSOCIATION STANDARDS, OR OTHER SIMILAR STANDARD SHALL COMPLY WITH REQUIREMENTS IN LATEST EDITION OR REVISION THEREOF AND WITH ANY AMENDMENT OR SUPPLEMENT THERETO IN EFFECT ON DATE OF ORIGIN OF THIS PROJECT'S CONTRACT DOCUMENTS. SUCH STANDARD, EXCEPT AS MODIFIED HEREIN, SHALL HAVE FULL FORCE AND EFFECT AS THOUGH PRINTED IN CONTRACT DOCUMENTS.
- USAGE AS CONSTRUCTION CRITERIA WHEREVER DETAILS AND CONTRACT DOCUMENTS OR GOVERNING CODE, ORDINANCES, ETC., REQUIRE GREATER QUANTITY OR BETTER QUALITY THAN COMMON PRACTICE OR COMMON USAGE WOULD REQUIRE

- DELIVERY OF MATERIALS IN AMPLE TIME TO AVOID DELAYS IN CONSTRUCTION. IF AN ITEM IS FOUND TO BE UNAVAILABLE, CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY TO ALLOW ARCHITECT A REASONABLE AMOUNT OF TIME TO SELECT A SUITABLE SUBSTITUTE.
- OR DURING PROGRESS THEREOF CONTRACTOR'S METHODS, EQUIPMENT, OR APPLIANCES ARE INEFFICIENT OR INAPPROPRIATE FOR SECURING QUALITY OF WORK OR RATE OF PROGRESS INTENDED BY CONTRACT DOCUMENTS, OWNER MAY AFG ORDER CONTRACTOR TO IMPROVE THEIR QUALITY OR INCREASE THEIR EFFICIENCY. SUCH ORDER WILL AGGR NOT RELIEVE CONTRACTOR OR HIS SURETIES FROM ALUM THEIR OBLIGATIONS TO SECURE QUALITY OF WORK
- 49 WITH REFERENCE TO REFLECTED CEILINGS. CONTRACTOR SHALL REVIEW ALL SUBCONTRACTOR AND CONSULTANT ELECTRICAL AND MECHANICAL DRAWINGS TO ENSURE LOCATIONS AND CLEARANCES FOR FIXTURES, CEILINGS, SPRINKLER HEADS, GRILLES, ETC., NECESSARY TO SPHNTAIN THE SPECIFIED FINISH CEILING HEIGHT ABOVE THE FINISER FLOOR AS NOTED ON THE DRAWINGS. CLARIFY CONFLICTS AND LOCATIONS WITH THE ARCHITECT BEFORE PROCEEDING
- 50 ALL TELEPHONE AND DATA WORK SHALL BE COORDINATED BY THE CONTRACTOR WITH OWNER OR OWNER'S REPRESENTATIVE.
- 51 ARCHITECT, ACTING AS OWNER'S DESIGNATED AGENT FOR DESIGN OF THIS PROJECT, WILL EXERCISE SOLE AUTHORITY FOR DETERMINING CONFORMANCE OF MATERIALS, EQUIPMENT, AND SYSTEMS WITH THE INTENT OF THE DESIGN. REVIEW AND ACCEPTANCE OF ALL ITEMS PROPOSED BY CONTRACTOR FOR INCORPORATION INTO THIS WORK WILL BE BY ARCHITECT. THIS FUNCTION OF THE ARCHITECT WILL APPLY BOTH TO THE CONTRACT AS INITIALLY SIGNED AND TO CHANGES TO THE CONTRACT BY MODIFICATION DURING PROGRESS OF WORK.
- 52 REFERENCES TO MAKES, BRANDS, MODELS, ETC., IS TO ESTABLISH TYPE AND QUALITY DESIRED. SUBSTITUTION OF ACCEPTABLE EQUALS WILL NOT BE PERMITTED, UNLESS SPECIFICALLY NOTED OTHERWISE OR WHEN MADE ACCORDING TO PROCEDURES FOR SUBSTITUTIONS.
- WRITING OF ANY DEFICIENCIES IN BASE BUILDING WORK PRIOR TO THE COMMENCEMENT OF HIS WORK. ANY UNREPORTED DEFICIENCIES WILL BECOME THE RESPONSIBILITY OF THE CONTRACTOR CNTR TO CORRECT
- 54 CORING, DRILLING, OR OTHER SUCH WORK IN OR ADJACENT TO OCCUPIED AREAS SHALL BE PERFORMED AT OTHER THAN NORMAL WORKING HOURS FOR THE AFFECTED OCCUPANCY, UNLESS OTHERWISE INDICATED.
- 55 UTILITY OUTAGES SHALL BE SCHEDULE OUTSIDE NORMAL WORKING HOURS FOR THE AFFECTED OCCUPANCY, UNLESS OTHERWISE INDICATED.
- 56 ALL WORK IN OCCUPIED AREAS SHALL BE PERFORMED AT OTHER THAN NORMAL WORKING HOURS, UNLESS OTHERWISE INDICATED. THE AFFECTED PREMISES SHALL BE CLEAN AND **RESTORED TO NORMAL OPERATING CONDITIONS** PRIOR TO THE NEXT REGULARLY SCHEDULED WORKING PERIOD, UNLESS OTHERWISE INDICATED.
- 57 THE CONTRACTOR SHALL TAKE ALL REASONABLE CONTROL AND PRECAUTION TO ELIMINATE DUST, NOISE, ODOR NUISANCE, AND THE LIKE TO THE PREMISES AND OCCUPANCY.
- 58 CONTRACTOR SHALL "STRIKE OUT LOCATION OF ALL WALLS, DOORS, MULLIONS, SOFFITS, RAISED FLOOR GRIDS, HOUSEKEEPING AND UTILITY EQUIPMENT PODS, AND OTHER MAJOR ELEMENTS AS DIRECTED BY ARCHITECT AT THE BEGINNING OF THE PROJECT BEFORE PROCEEDING WITH CONSTRUCTION.
- NOTES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION OR RESOLUTION
- 60 OCCASIONAL REFERENCE TO ONE OR MORE SPECIFIC NOTES WITHIN THE GENERAL PLAN OR SHEET NOTES SHALL NOT IN ANY WAY DIMINISH OR ELIMINATE THE FULL FORCE AND EFFECT OF ALL OTHER NOTES IN RELATION TO ONE ANOTHER OR NOT SPECIFICALLY REFERENCED.
- 61 COORDINATE AND PROVIDE APPROPRIATE STRUCTURAL BLOCKING, BACKING, FRAMING, AND REINFORCING IN PARTITIONS BEHIND ALL WALL-MOUNTED ITEMS AND ABOVE CEILING FOR CEILING-MOUNTED/HUNG ITEMS AS REQUIRED.

#### ABBREVIATIONS

AB ACT ACP AD 48 IF AT ANY TIME, BEFORE COMMENCEMENT OF WORK ADDL ADH AD.I AD.I

AFS AI T AND RATE OF PROGRESS SPECIFIED IN CONTRACT

> AVG BB BD

BM

BOT

BRG

CCR

CLG

CLR

COL

CSK

СТ

CU

(E)

FΡ

EQ

EXH

EXF

EXP JT

EXT

EXPANSION JOINT

EXTERIOR

CG CEM CER CFCI

DISP 59 DISCREPANCIES BETWEEN GENERAL PLAN OR SHEET DIST

ANCHOR BOLT ACCESSORY ACCY ACOUSTICAL CEILING TILE ACOUSTICAL CEILING PANEL ACS PNL ACCESS PANEL AREA DRAIN ADDITIONAL ADHESIVE ADJUSTABLE ADJACENT ABOVE FINISH FLOOR ABOVE FINISH GRADE ABOVE FINISH SLAB AGGREGATE ALUMINUM ALTERNATE ANOD ANODIZED APPROX APPROXIMATE(LY ARCHITECT(URAL) ARCH ASPH ASPHAL AVERAGE **BULLETIN BOARD** BOARD BTWN BETWEEN BITUMINOUS BITUM BLDG BUILDING BENCHMARK BOTTOM BOTTOM OF STEEL BEARING BASEMENT BUR BUILT UP ROOFING SYSTEM CABINET CATCH BASIN CARD CONTROL READER CCT CUBICLE CURTAIN TRACK CCTV CLOSED CIRCUIT TELEVISION CORNER GUARD CEMENT, CEMENTITIOUS CERAMIC CONTRACTOR FURNISHED CONTRACTOR INSTALLED CH BD CHALKBOARD CAST IRON CONTROL JOINT CENTER LINE CEILING CLEAR CMU CONCRETE MASONRY UNIT COUNTER COLUMN CONCRETE CONC CONFERENCE CONF CONNECTION CONN CONSTR CONSTRUCTION CONT CONTINUOUS CONTRACTOR CONTR CORRUGATED CORR CPT CARPET COUNTERSUNK CSP COMBINATION STANDPIPE CSWK CASEWORK CERAMIC TILE CUBIC COLD WATER DEPTH DOUBLE DBL ACT DOUBLE ACTING DEGREE DEG DEMO DEMOLISH DEPT DEPARTMENT DETAIL DRINKING FOUNTAIN DIAMETER DIAGONAL DIFFUSER DIMENSION DIMENSION POINT DISPENSER DISTANCE DOWN DRAIN DOWNSPOU DRY STANDPIPE DRAPERY TRACK DWG DRAWING DWGS DRAWINGS EXISTING EACH EDR EQUIPMENT DRAWING EDGE GUARD EIFS EXTERIOR INSULATION FINISH SYSTEM ELEVATION ELAST ELASTOMERIC ELECTRICAL FLEC **FLEV** ELEVATOR EMER EMERGENCY ENCL ENCLOSURE ENGR ENGINEER EOS EDGE OF SLAB ELECTRICAL PANEL EPB ELECTRICAL PANEL BOARD EPDM ETHYLENE PROPYLENE DIENE MONOMER EQUAL EQL SP EQUALLY SPACED EQUIP EQUIPMENT EQUIV EQUIVALENT ESCAL ESCALATOR EST ESTIMATE(D) EWC ELECTRIC WATER COOLER EXCAVATED EXC EXHAUST EXPANSION

F/F FACE TO FACE MACH FIRE ALARM FA FIRE ALARM STATION MATL FAS MATV FB FLAT BAR FCU FAN COIL UNIT MAX FLOOR DRAIN FD MB FIRE DEPARTMENT CONNECTION FDC MC MDO FDN FOUNDATION FEC FIRE EXTINGUISHER CABINET MECH MED FIRE EXTINGUISHER FE FINISH FACE MEMB FF FHC FIRE HOSE CABINE MFR FIRE HOSE / FIRE EXTINGUISHER CABINET | MH FH/FEC FHMS FLAT HEAD MACHINE SCREW MIN FHWS FLAT HEAD WOOD SCREW MISC FHY FIRE HYDRAN MLDG FLAM FLAMMABLE MM FLASH | MKYT FLASHING MO FLEX FLEXIBLE MOD FLUOR FLUORESCEN MTD FO FACE OF MTG FSB FOLDING SHOWER BENCH MVBL FSTNR FASTENER MULL FT FOOT, FEE FTG FOOTING IN FURN FURNITURI (N) FXTR FIXTURE NAT G I NE NIC NO GAUGE, GAGE GA NOM GAL GALLON NRC GALV GALVANIZED NTS GRAB BAR GB NW **GENERAL CONTRACTOR** GC GFRC GLASS FIBER REINFORCED CONCRETE GFRG GLASS FIBER REINFORCED GYPSUM GLASS GL 00 GLU LAM GLUE LAMINATED GLAZING GLZ SELF ADHERING WATERPROOF MEMBRANE WTPFG GRADE OR GRADING GR OFOI GVL GRAVEL OFVI GYP GYPSUM 1 OPP GYP BD GYPSUM BOARD ORD GYP PLAS GYPSUM PLASTER OVHD ΟZ HIGH HOSE BIBB PART HOLLOW CORE | PBD HC | PBX HEAD HD HDBD HARDBOARD PCF HDW HARDWARE PCI PERF HDWD HARDWOOD HGT PERIM HEIGHT HM PERM HOLLOW META HNDRL HANDRAI PERP HORIZ HORIZONTAL HPT HIGH POINT HOUR PLAM HVAC HEATING-VENTILATION-AIR CONDITIONING | PLAS HOT WATER | PLBG HW | PLF PLYWD PNEU PNL INSIDE DIAMETER INCH **PNT** INCANDESCENT INCAND PORT INCL INCLUDE, INCLUDING INFO INFORMATION PPM INSUL INSULATION PR INTERIOR INTR PRCST INVERT INV PREP INTRAVENOUS TRACK IVT PRKG PROJ PROP JAN JANITOR PSF JST JOIST | PSI JOINT | PT PTN PTS PVC KG KILOGRAM PVG KIT KITCHEN | PVMT KPL KICK PLATE PWR KNEE SPACE 1 O | QT | QTR LENGTH, LONG LABORATORY QTY LAB LAM LAMINATE, LAMINATION LAV LAVATORY POUND LB LIGHT EMITTING DIODE LED LINEAR FOOT RAD LENGTH RB **I INFAR** LIN RCP LEAD LINED RCPT LPT LOW POIN RD LIGHT RECT LT WT LIGHT WEIGHT REF LTG LIGHTING REFR LVR LOUVER REG REINF REQD REQT RESIL RET REV RF | RH RHMS RHWS RM RND RO ROW

RWL

S METERS SOUTH SUPPLY AIR MACHINE SA MATERIAL SPLASH BLOCK MASTER ANTENNA TELEVISION SYSTEM SC SOLID CORE MAXIMUM SCHED SCHEDULE MACHINE BOLT SCREEN SCRN MEDICINE CABINET STORM DRAIN SD MEDIUM DENSITY OVERLAY SOUTHEAST MECHANICAL SECT SECTION SEG SEGMENT MEDIUM MEMBRANE SEP SEPARATION OR SEPAR MANUFACTURER SEP JT SEPARATION JOINT SHT MANHOLE SHEET, SHEETING MINIMUM SHWR SHOWFR MISCELLANEOUS SHV SHELVES, SHELVING MOLDING SIM SIMILAR MILLIMETERS SK SINK MONKEY TEST SMS SHEET METAL SCREW MASONRY OPENING SP SPACE, SPACED, SPACIN MODULE, MODULAR SPEC SPECIFICATION MOUNTED SPKLR SPRINKLER MOUNTING SPKR SPEAKER MOVABLE SQUARE SQ MULLION SANITARY SEWER SS SSD SEE STRUCTURAL DRAV SSK S.S.D.) SERVICE SINK NEW SST STAINLESS STEEL NOT APPLICABLE STREET ST NATURAI STA STATION NORTHEAST STAG STAGGERED NOT IN CONTRACT STC SOUND TRANSMISSION NUMBER STD STANDARD NOMINAI STEEL STL NOICE REDUCTION COEFFICIENT STOR STORAGE NOT TO SCALE STRUCTURA STRUCT NORTHWEST STS SELF-TAPPING STEEL SUSPENDED SUSP SUSP CLG SUSPENDED CEILING SVCE SERVICE ON CENTER SW SOUTHWEST OVERALL SYMM SYMMETRICAL OUTSIDE DIAMETER SYST SYSTEM OWNER FURNISHED-CONTRACTOR OWNER FURNISHED-OWNER INSTALLED OWNER FURNISHED-VENDOR INSTALLED OPPOSITE TREAD OVERFLOW ROOF DRAIN T&B TOP AND BOTTOM OVERHEAD T&G TONGUE AND GROOVE OUNCE TOP OF CONCRETE, TOP TC TD TRENCH DRAIN TEL TELEPHONE PUBLIC ADDRESS TFMP TEMPORAR' PARTIAL THERM THERMAL PARTICLEBOARD THK THICK, THICKNESS PRIVATE TELEPHONE EXCHANGE THRES THRESHOLD POUNDS PER CUBIC FOOT THRU THROUGH POUNDS PER CUBIC INCH TLT TOILET PERFORATED TMPD GL TEMPERED GLASS PERIMETER TO TOP OF PERMANENT TOR TOP OF RAILING PERPENDICULAR TOS TOP OF STEEL POINT OF INTERSECTION TOT TOTA PROPERTY LINE TOW TOP OF WALL PLASTIC LAMINIATE TOP OF PAVEMEN PLASTER TTB **TELEPHONE TERMINAL** PLUMBING TELEVISION POUNDS PER LINEAR FOOT TYP TYPICAL PLYWOOD PNEUMATIC PANEL PNI BD PANEL BOARD UNDER COUNTER PAINT UL UNDERWRITERS LABOR PORTABLE UNLESS OTHERWISE NO UON PUSH PLATE UNINTERRUPTABLE POW UPS PARTS PER MILLION UTIL UTILITY PAIR PRECAST PREPARATION PREFAB PREFABRICATION VAC VACUUM PARKING VALVE BOX VB PROJECT VCT VINYL COMPOSITION TY PROPERTY VERT VERTICAL POUNDS PER SQUARE FOOT VEST VESTIBULE POUNDS PER SQUARE INCH VIT VITREOUS POINT VENT PIPE VP PARTITION VOLUME VOL PNEUMATIC TUBE STATION VWC VINYL WALL COVERING POLYVINYL CHLORIDE PAVING PAVEMENT POWER W WEST WITH W/ WITHOUT W/O QUARRY TILE WALL TO WALL W/W QUARTER WATER CLOSET OR WAI WC QUANTITY WD WOOD WDW WINDOW WGL WIRE GLASS WН WATER HEATER RISFR WCHR WHEELCHAIR **RETURN AIR** WIRE MESH WM RADIUS WHERE OCCURS, ALSO WO RESILIENT BASE WORKING POINT WPT REFLECTED CEILING PLAN WATER RESISTANT WR RECEPTACLE WSCT WAINSCOT ROOF DRAIN WSP WET STANDPIPE RECTANGULAR WΤ WEIGHT REFERENCE WTHPRF WEATHERPROOF REFRIGERATOF WTRPRF WATERPROOF REGISTER WELDED WIRE FABRIC WWF REINFORCE (D) (ING) (MENT) WELDED WIRE MESH WWM REQUIRED REQUIREMENT RESILIENT RETURN XFMR TRANSFORMER REVISION RESILIENT FLOORING RIGHT HAND ROUND HEAD MACHINE YD YARD ROUND HEAD WOOD SCREW ROOM ROUND ROUGH OPENING **RIGHT OF WAY** RAIN WATER LEADER

#### SYMBOLS

## CRKW SI

				CRKW STUDIO INCORPORATED 2912 Franklin Blvd., Sacramento CA 95818
	FLOOR -	NAME - FINISHE LEVEL	OR ROOF LEVEL D FLOOR OR ROOF AL ELEVATION	Tel: 415.305.9452 www.crkw.com PROJECT: 242 REDWOOD HWY 242 Redwood Hwy., Mill Valley, CA 94941
RATE	(XXX 10'-0")		TYPE SEE 090600 SCHEDULE TAG	<b>APN.: 052-247-01</b> OWNER:
			HEIGHT A.F.F.	SEAPLANE INVESTMENTS LLC Mali Richlen Mali@lindenstreetadvisors.com
	(100-A)	DOORC	PENING NUMBER	818.371.8418 LEVEL 1 - TENANT
CING		SHEET I APPLIC	NOTE WHERE ABLE	PICCINO SULL' ACQUA Loring Sagan loring@bldsf.com
		Demoli Applic <i>i</i>	TION NOTE WHERE	415.298.5331
AWINGS (ALSO			ARROW UE NORTH ROJECT NORTH	County of Marin
N COEFFICIENT		DRAWIN	IG REVISION	
	FF1 WW1	BB1	WALL FINISH BASE FINISH ROOM FINISH TAG FLOOR FINISH	
	ROOM N		M NAME	
	<1t>	15	WINDOW TAG	Architect - Building Core and Shell: CRKW STUDIO Incorporated 2912 Franklin Blvd., Sacramento CA 95818 1-415-305-9452
DP OF CURB	A01 -	]	PARTITION TYPE	Architect - Interior Tenant Improvement: HELLAND ARCHITECTURE 1-415-671-5691
	BG 36"		CASEWORK TAG	Structural Engineer: ZFA STRUCTURAL ENGINEERS 1212 4th St. Ste. Z, Santa Rosa, CA 95404
	< <u> </u>	$\geq$	FURNITURE TAG	1-415-243-4091 Landscape Architect:
	(IG1)		GLAZING TAG	SWA 2200 Bridgeway, Sausalito, CA 94964 1-415-332-5100
L BOARD				Civil Engineer: Freyer and Laureta Inc 505 San Marin Dr. Ste. A220, Novato, CA 94945 415-534-7070
		SIM	DETAIL NUMBER	Survey: Lawrence Doyle 100 Helens Lane, Mill Valley, CA 94941 1-415-388-9585
NATORIES NOTED OWER SUPPLY			SHEET ON WHICH DETAIL IS SHOWN	
		<b>`</b>	ELEVATION NUMBER	Stamp:
YLE		*	SHEET ON WHICH ELEVATION IS SHOWN	C-33255 ▼ C
3		SIM	SECTION NUMBER	OF CAL IFO
	A909		SECTION / DETAIL	CRKWSTUDIO CONFIDENTIAL DOCUMENTS All ideas, designs, arrangements and plans indicated or
	D		SECTION IS SHOWN	represented by this drawing are owned by and the property of CRKWStudio and were created, evolved and developed for use on, and in connection with 242 REDWOOD HWY Project
ALL COVERING	<u></u>			at 242 Redwood Hwy, Mill Valley, CA 94491, CA 95811. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person or corporation for any purpose whatsoever without the written permission of the
			SETBACK LINE OBJECTS ABOVE	Architect/CRKWStudio Incorporated.   No. Description Date
O W.O.	LOCATION ANI PROJECT AT T CONTRACTOR CONFIRM REA	CT DOCUM D POSITIC THE TIME R SHALL C L TIME LC	OF DESIGN. THE ROSS CHECK AND DCATIONS AND	
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ADDITIONAL INFORMATION.

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NO SCALE

NO SCALE

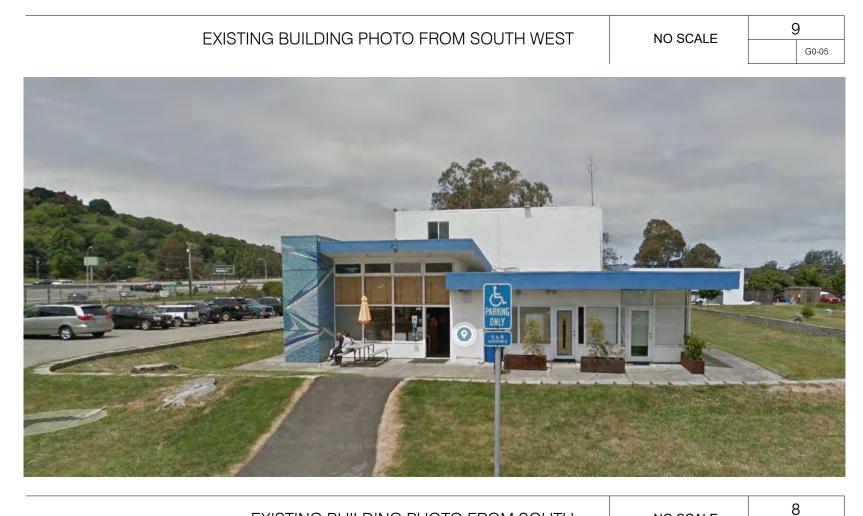
11 G0-05

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G0-05



EXISTING BUILDING PHOTO FROM WEST



G0-05



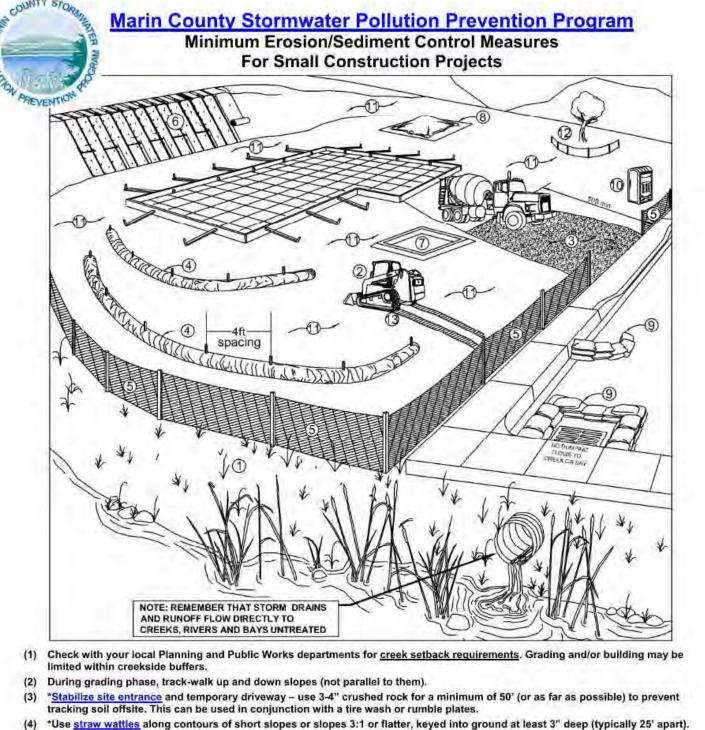
EXISTING BUILDING PHOTO FROM SOUTH EAST

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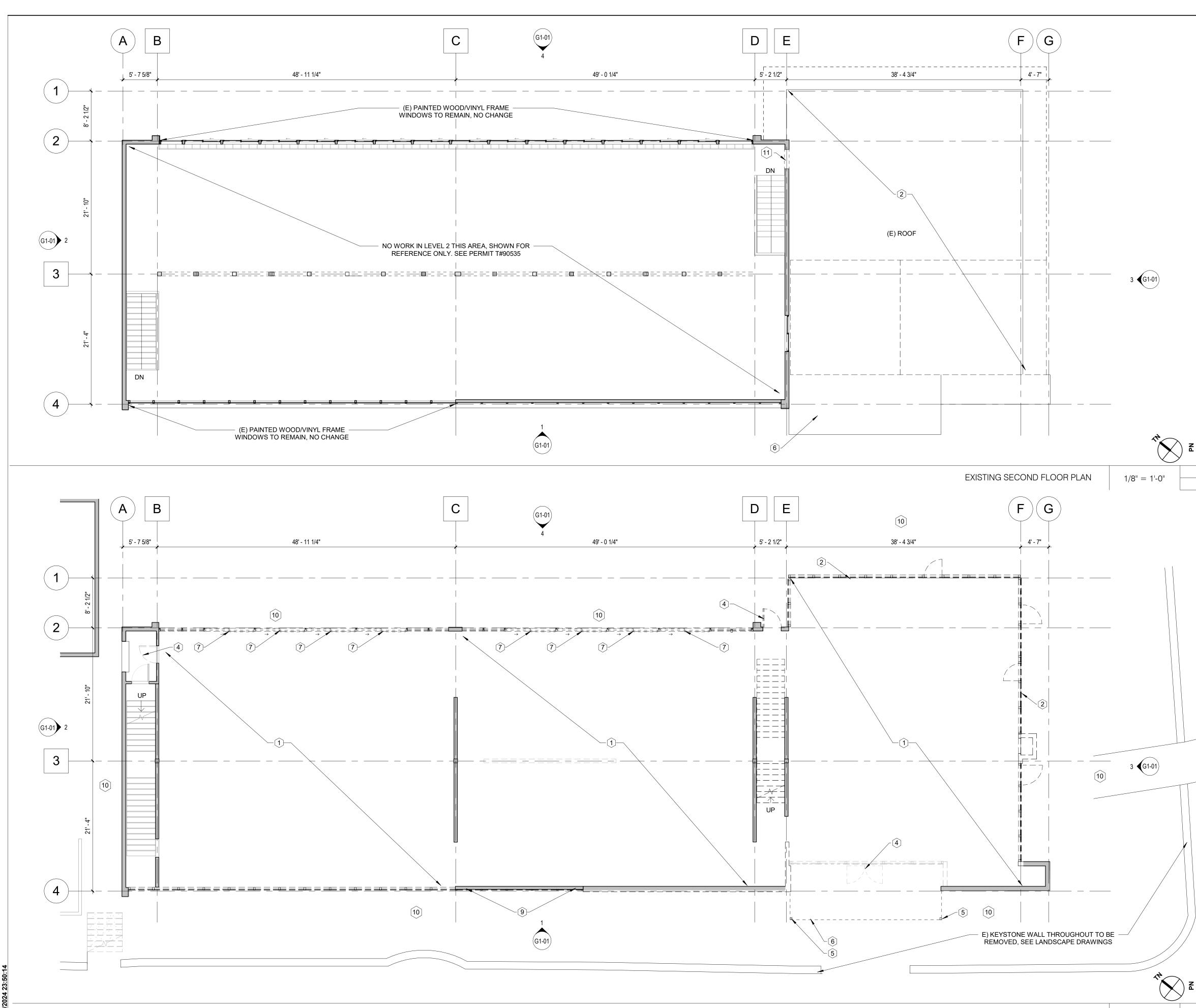


(5) \*Install silt fence along contours as secondary measure to keep sediment onsite and to minimize vehicle and foot traffic beyond limits of site disturbance. Silt fencing must be keyed in.

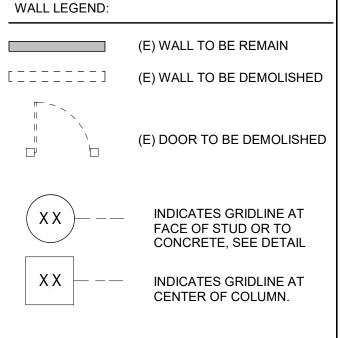
- (6) \*Install erosion control blankets (or equivalent) on any disturbed site with 3:1 slopes or steeper, keyed into the ground at least 3". (7) \*Construct a concrete washout site adjacent to stabilized entrance. Clean as needed and remove at end of project. (8) Cover all stockpiles and landscape material and burm properly with straw wattles or sand bags. Keep behind silt fence, away from water bodies. Hazardous materials must be kept in closed containers that are covered and utilize secondary containment,
- not directly on soil.
- (9) \*Use pea-gravel bags, (or similar product) around drain inlets located both onsite and in gutter as a last line of defense. (10) Place port-a-potty near stabilized site entrance, behind the curb and away from gutters, storm drain inlets, and water bodies.
- (11) Cover all exposed soil with straw mulch and tackifier (or equivalent).
- (12) Existing vegetation should be preserved as much as possible. Areas of disturbed soil/vegetation should be revegetated as soon as practical. (13) Prevent equipment fluid leaks onto ground by placing drip pans or plastic tarps under equipment.

Note: <u>Schedule construction activities</u> to reduce erosion potential. Sediment and erosion control shall be continually maintained throughout the rainy season (October 15<sup>th</sup> – April 15<sup>th</sup>) and must remain effective through the construction and landscape phases. Inspect and maintain Best Management Practices (BMPs) before and after rain events. \*See reverse for detail drawings. Visit <u>www.mcstoppp.org</u> for more information on construction site management.





G1-00



#### DEMO NOTES

- 1 SECURE EXISTING FRAMING AND WINDOW WALLS AND FLOOR ABOVE AND REMOVE EXISTING CONCRETE SLAB AND BOTTOM PORTION OF WALL AND WINDOW SECTIONS WHERE APPLICABLE PER NEW LEVEL 1 ELEVATIONS. ALSO SEE GEOTECHNICAL REQUIREMENTS AND LANDSCAPE DRAWINGS FOR SITE ELEVATIONS AS WELL AS MEASURES FOR CONTAINMENT OF EXISTING CONCRETE AND SOIL FOR NEW AREAS OF SITE FILL WHERE POSSIBLE.
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- (3) INTERIOR WALL TO BE REMOVED
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- (9) EXTERIOR WOOD FRAME WALL AND EXT. PLASTER FINISH AND PAINTED WOOD PANELING TO REMAIN, PATCH AND REPAIR LIKE AND KIND WHERE NEEDED
- 10 REMOVE CONCRETE PATIO SURROUNDING BUILDING, SEE SITE AND LANDSCAPE DRAWINGS
- 11 CUT ROUGH OPENING FOR NEW DOOR TO EXTERIOR. SEE PLANS AND SCHEDULES FOR MORE INFORMATION
- (12) (E) WINDOWS TO REMAIN, PATCH REPAIR AND TOUCH UP PAINT ON WALLS AND PERIMETER AS NEEDED

#### **GENERAL NOTES:**

G1-00

1. ALL STRUCTURAL AND SHEAR ELEMENTS TO Stamp: REMAIN U.O.N.

2. PATCH AND REPAIR DAMAGED PLASTER WALLS, REPLACE WITH GYPSUM BOARD WHERE NECESSARY. PRIME AND PAINT.

3. ALL DIMENSIONS ARE TAKEN AS ROUGH DIMENSIONS OF THE EXISTING BUILDING AND MAY VARY. IT WAS OBSERVED THAT DUE TO THE AGE OF THE BUILDING SOME DIMENSIONS SUGGESTED NATURAL SETTLEMENT AND OUT OF PLUMB SURFACES. ADDITIONALLY, ALL THE DIMENSIONS WHERE TAKEN FROM THE INSIDE FINISH WALLS AND THE EXTERIOR WALL THICKNESS WAS ESTIMATED TO ACHEIVE THE OVERALL DIMENSIONS.

## CRKW ST

CRKW STUDIO INCORPORATED 2912 Franklin Blvd., Sacramento CA 95818 Tel: 415.305.9452 www.crkw.com

#### PROJECT: 242 REDWOOD HWY

242 Redwood Hwy., Mill Valley, CA 94941

APN.: 052-247-01

OWNER: SEAPLANE INVESTMENTS LLC Mali Richlen

Mali@lindenstreetadvisors.com 818.371.8418 LEVEL 1 - TENANT

PICCINO SULL' ACQUA Loring Sagan loring@bldsf.com 415.298.5331

#### County of Marin

Architect - Building Core and Shell: CRKW STUDIO Incorporated 2912 Franklin Blvd., Sacramento CA 95818 1-415-305-9452

Architect - Interior Tenant Improvement: HELLAND ARCHITECTURE 1-415-671-5691

Structural Engineer: ZFA STRUCTURAL ENGINEERS 1212 4th St. Ste. Z, Santa Rosa, CA 95404 1-415-243-4091

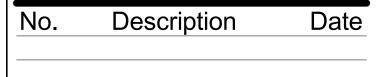
Landscape Architect: SWA 2200 Bridgeway, Sausalito, CA 94964 1-415-332-5100

Civil Engineer: Freyer and Laureta Inc 505 San Marin Dr. Ste. A220, Novato, CA 94945 415-534-7070

Survey: Lawrence Doyle 100 Helens Lane, Mill Valley, CA 94941 1-415-388-9585



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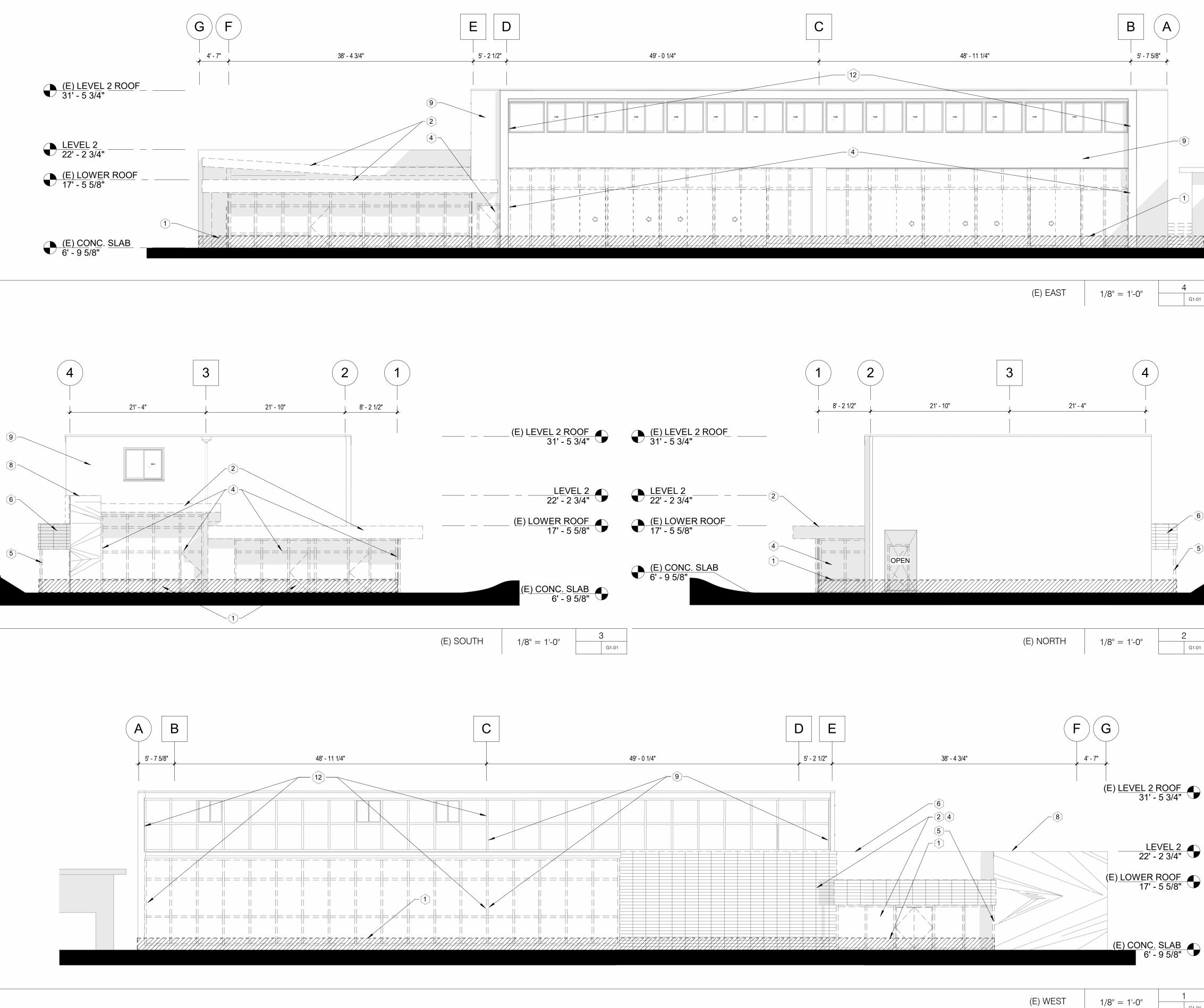


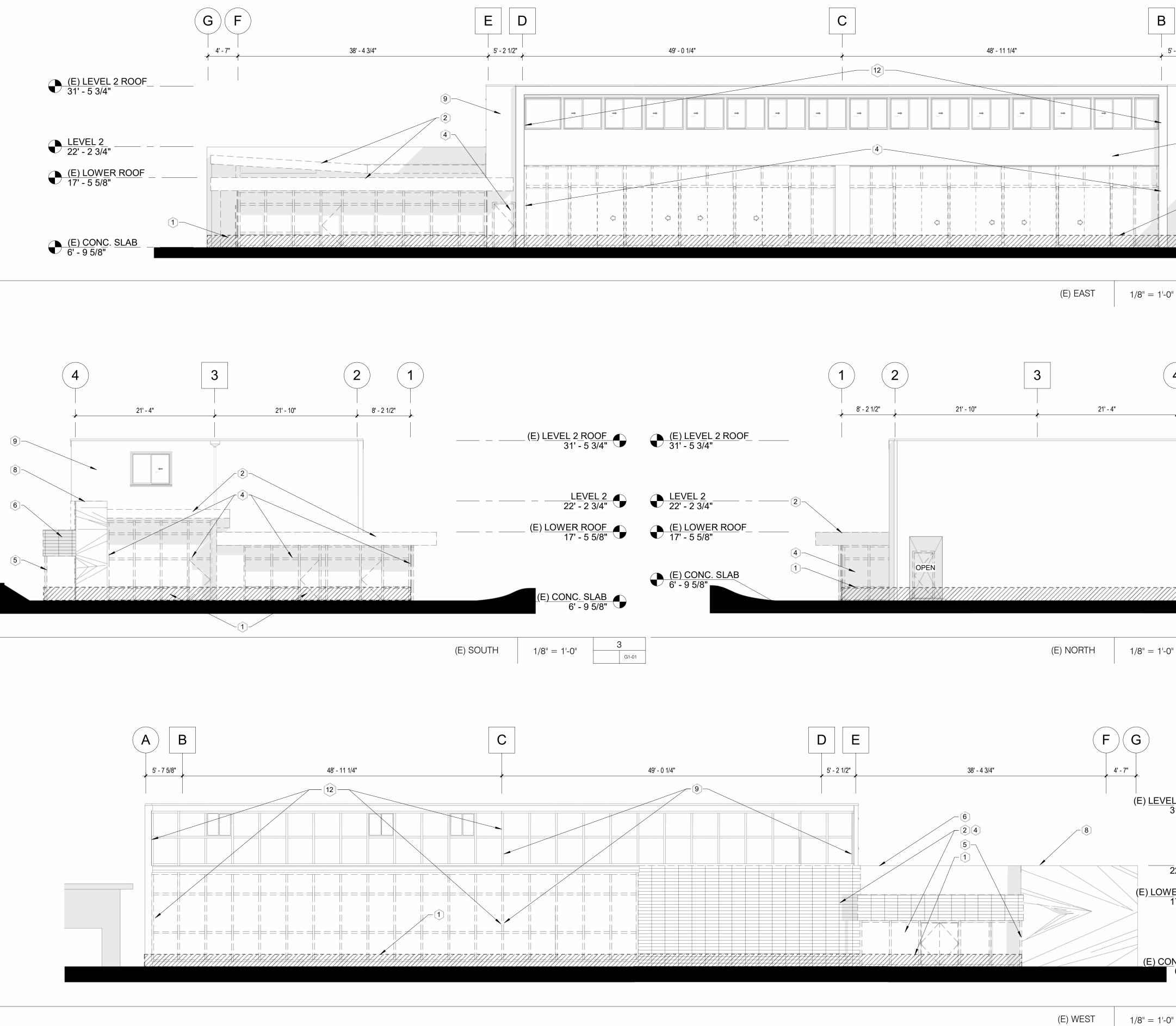
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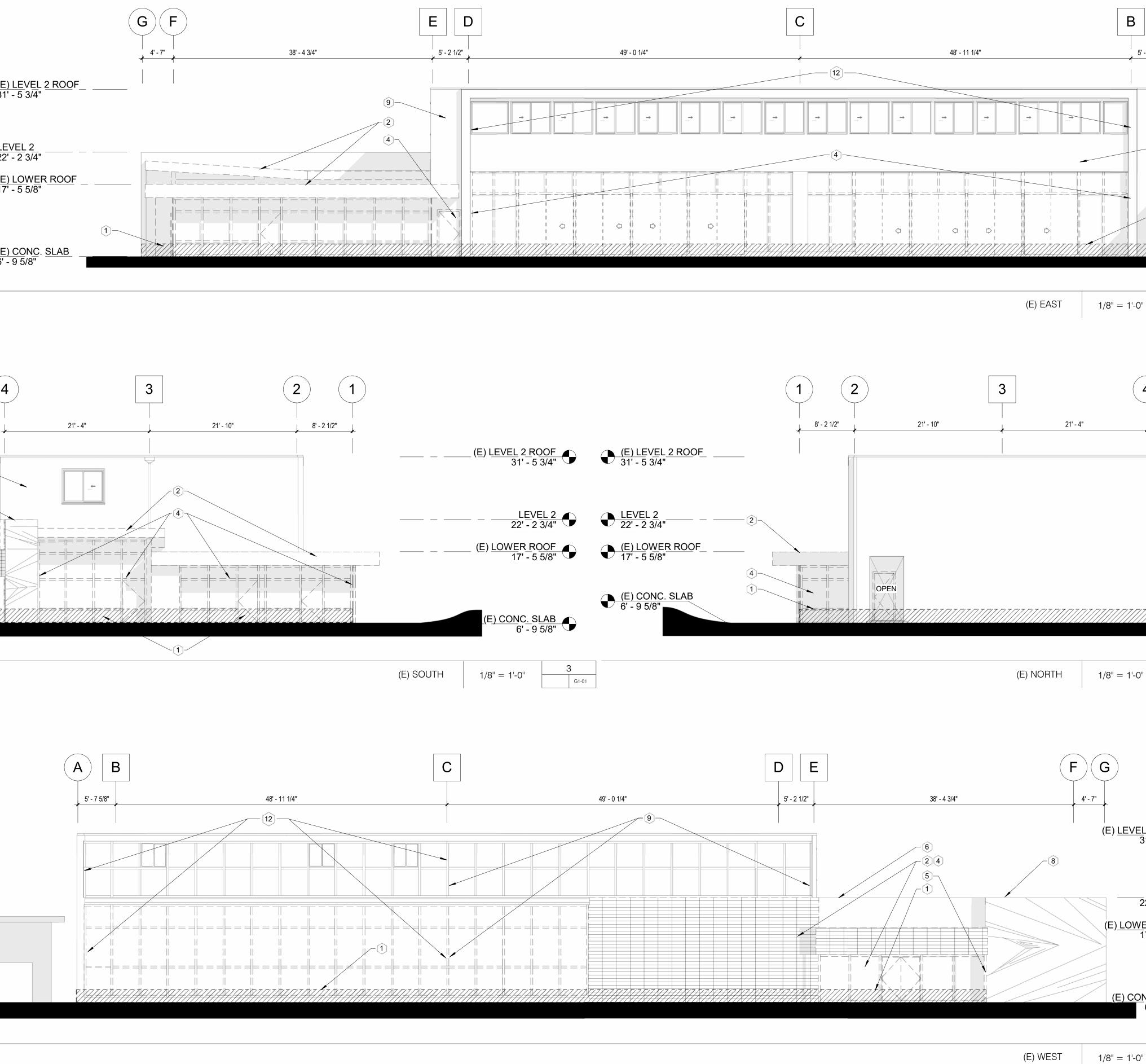
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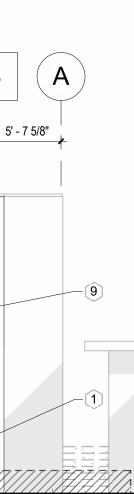
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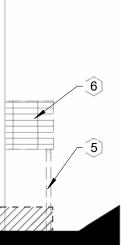












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G1-01

INDICATES GRIDLINE AT FACE OF STUD OR TO CONCRETE, SEE DETAIL

INDICATES GRIDLINE AT CENTER OF COLUMN.

### DEMO NOTES

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LEVEL 1 - TENANT PICCINO SULL' ACQUA Loring Sagan loring@bldsf.com 415.298.5331

#### County of Marin

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Stamp:



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	RKWStudio Incorporated.	
No.	Description	Date

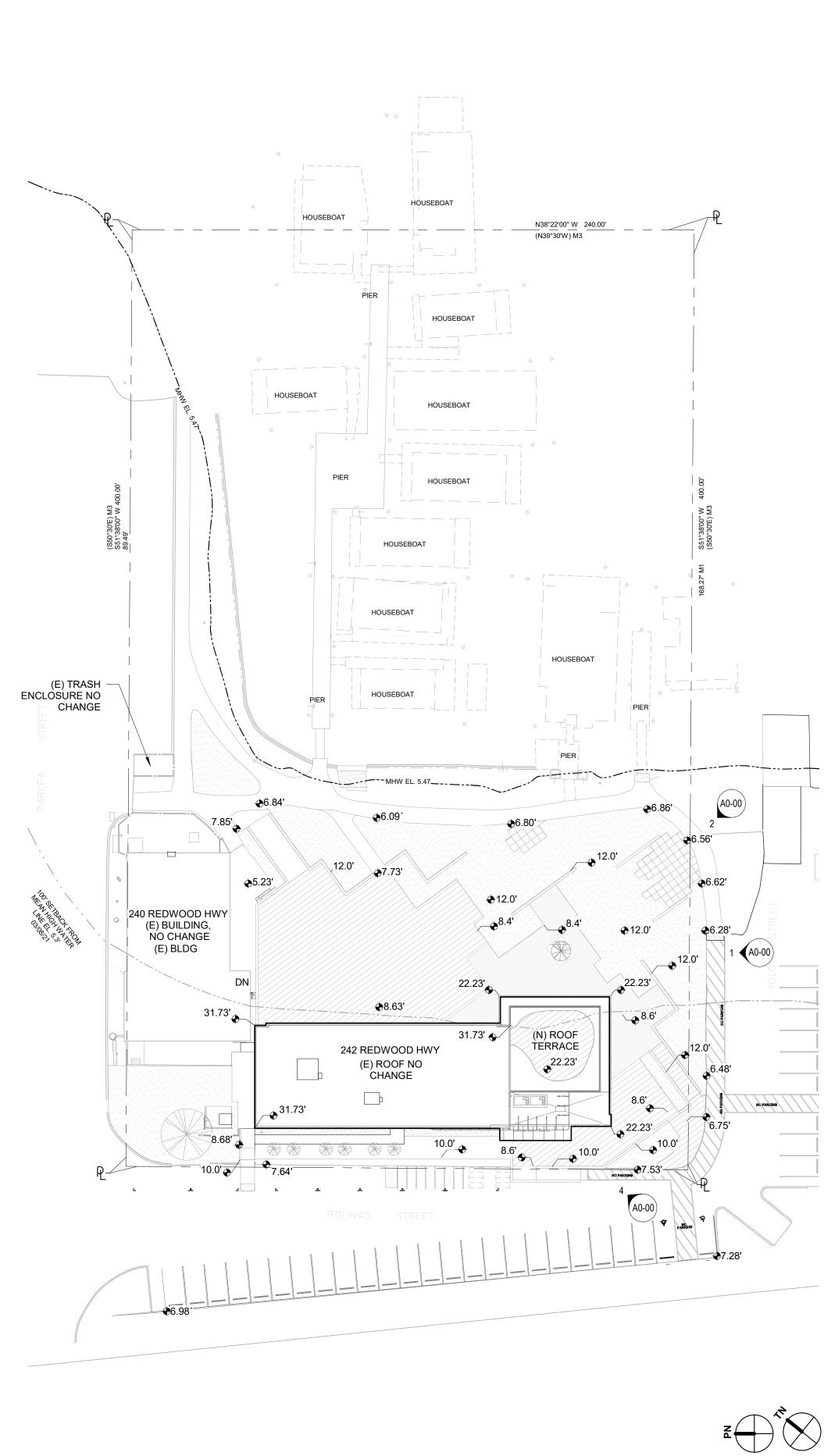
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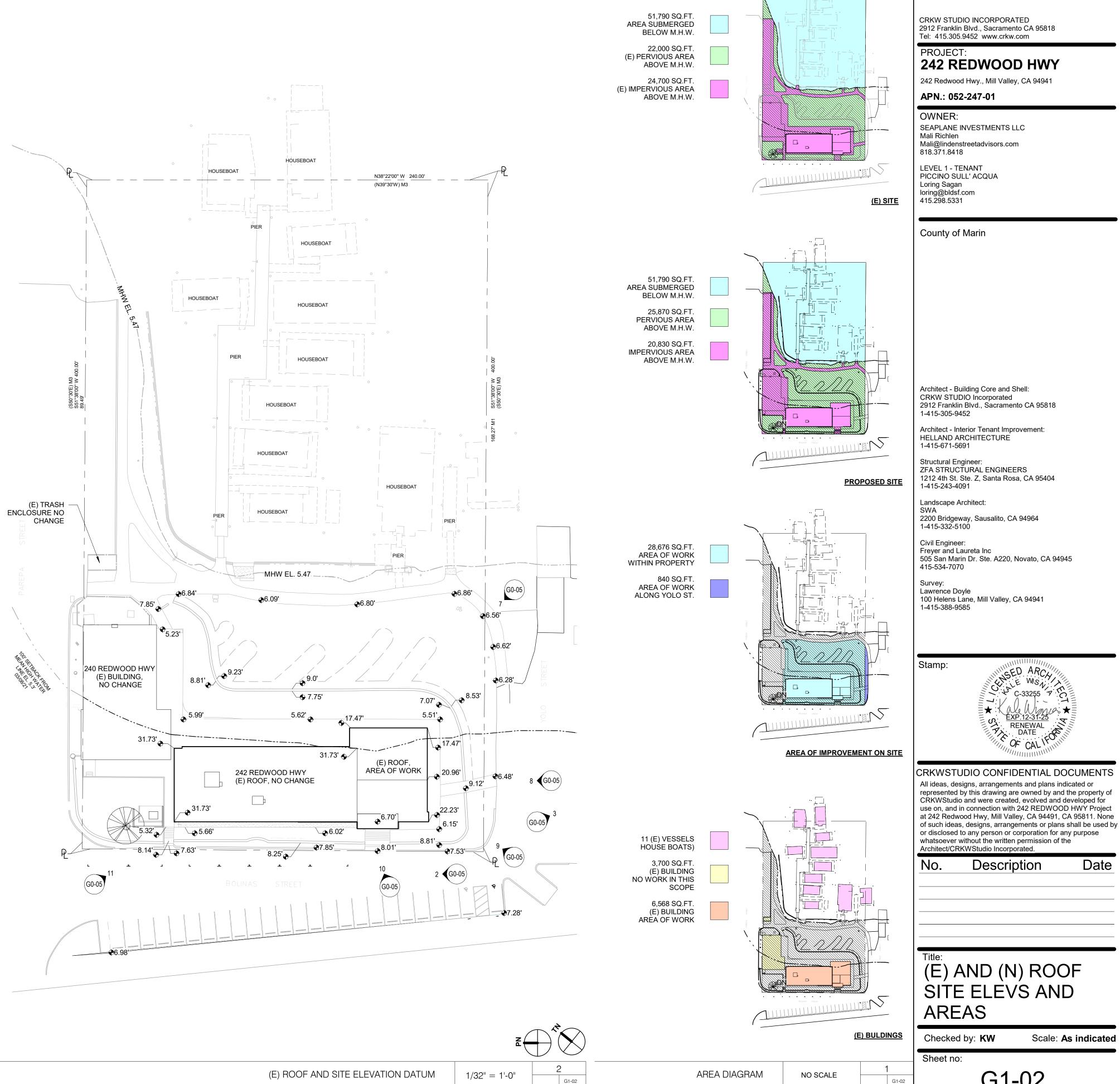
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Date

CRKW ST

G1-02





SOUTH WEST PERSPECTIVE



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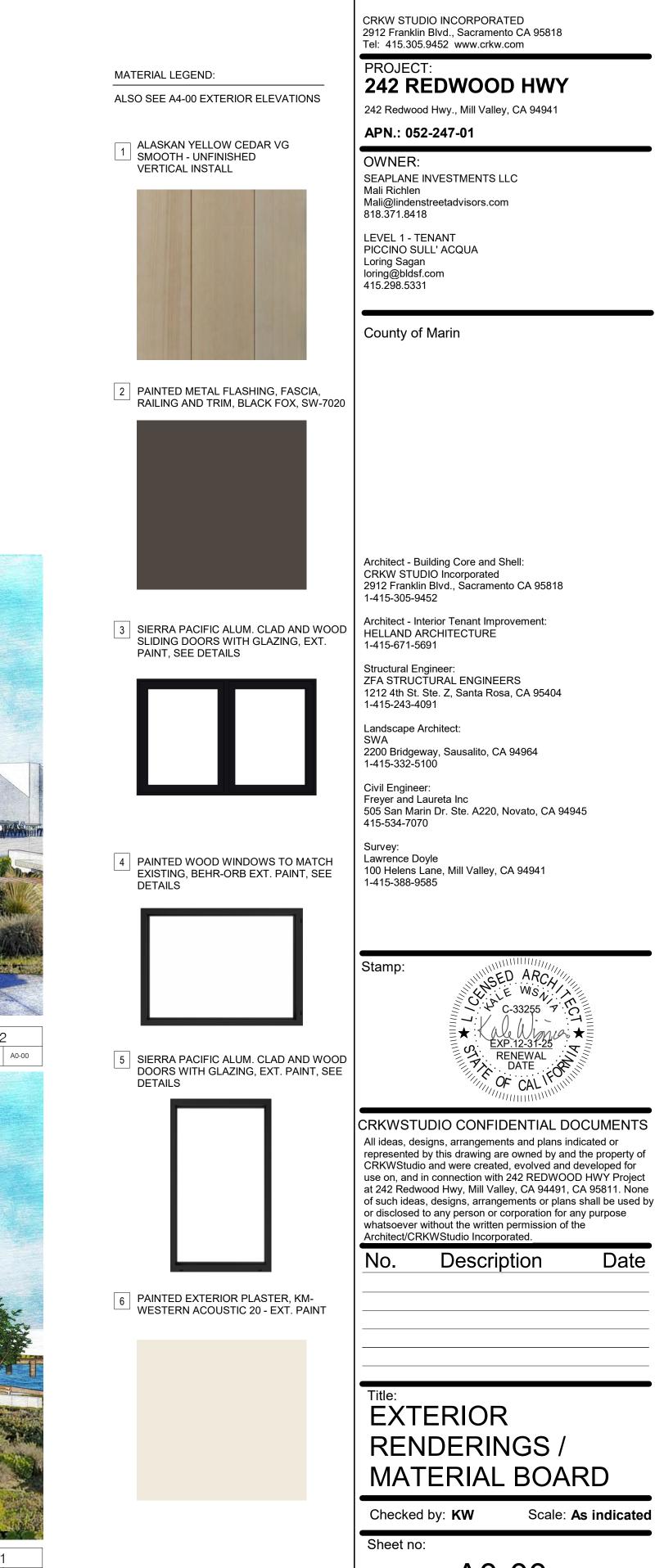


SOUTH EAST PERSPECTIVE

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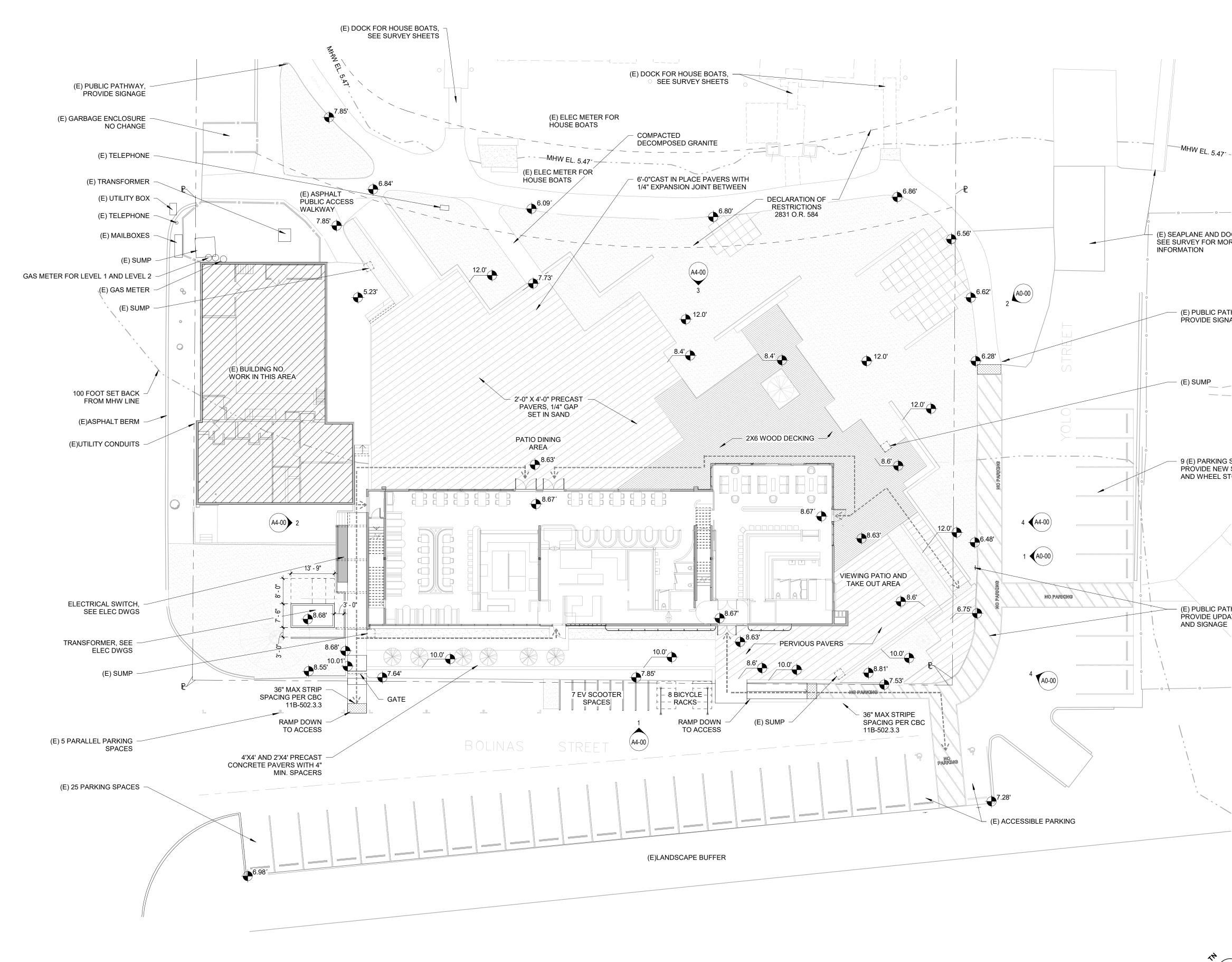


VIEW FROM ACCESSIBLE PEDESTRIAN PATH TOWARD OUTSIDE SEATING AND LANDSCAPE BUFFER



**CRKW STUDIO** 

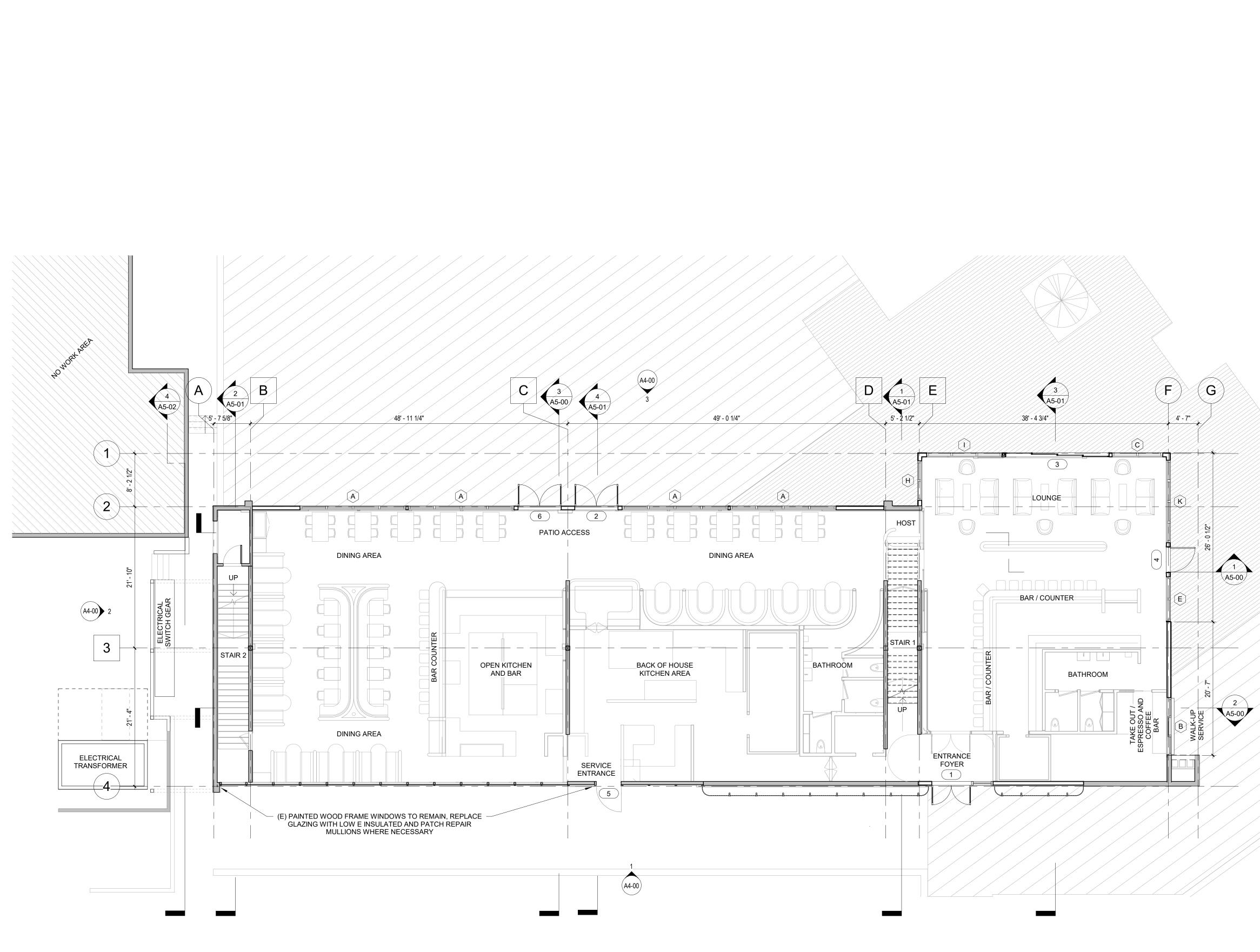
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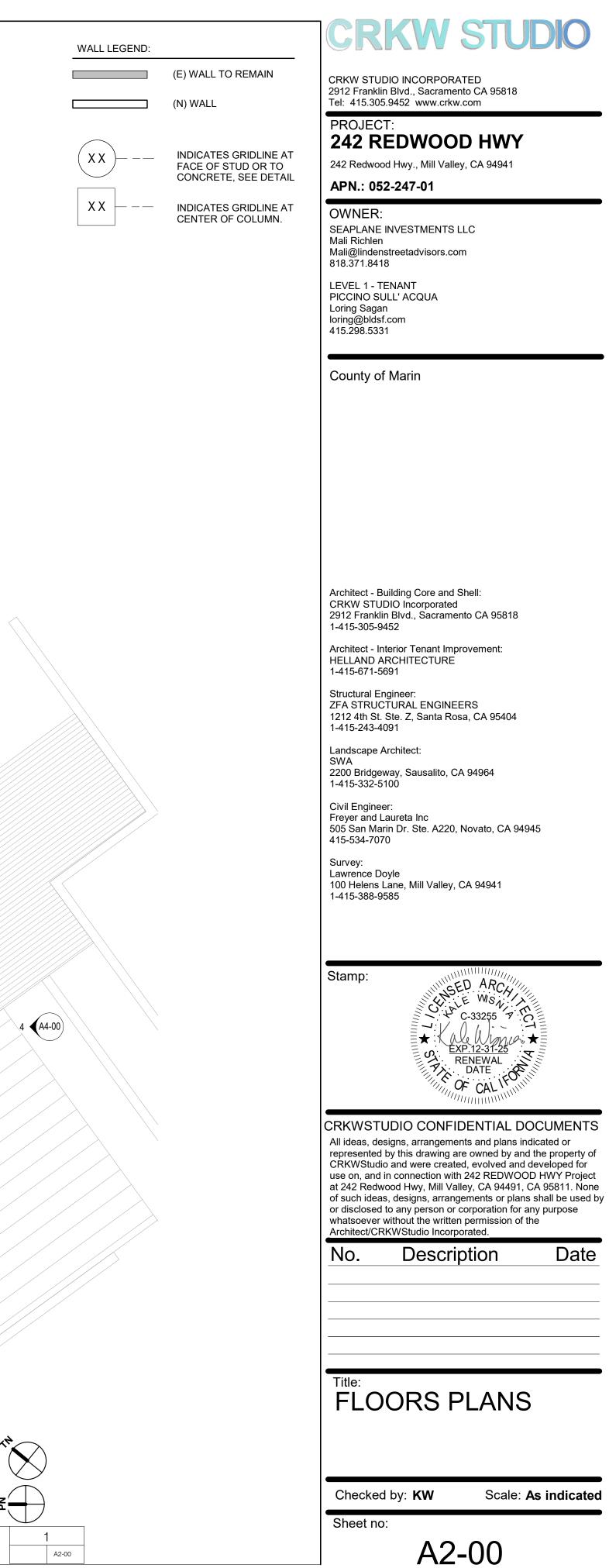


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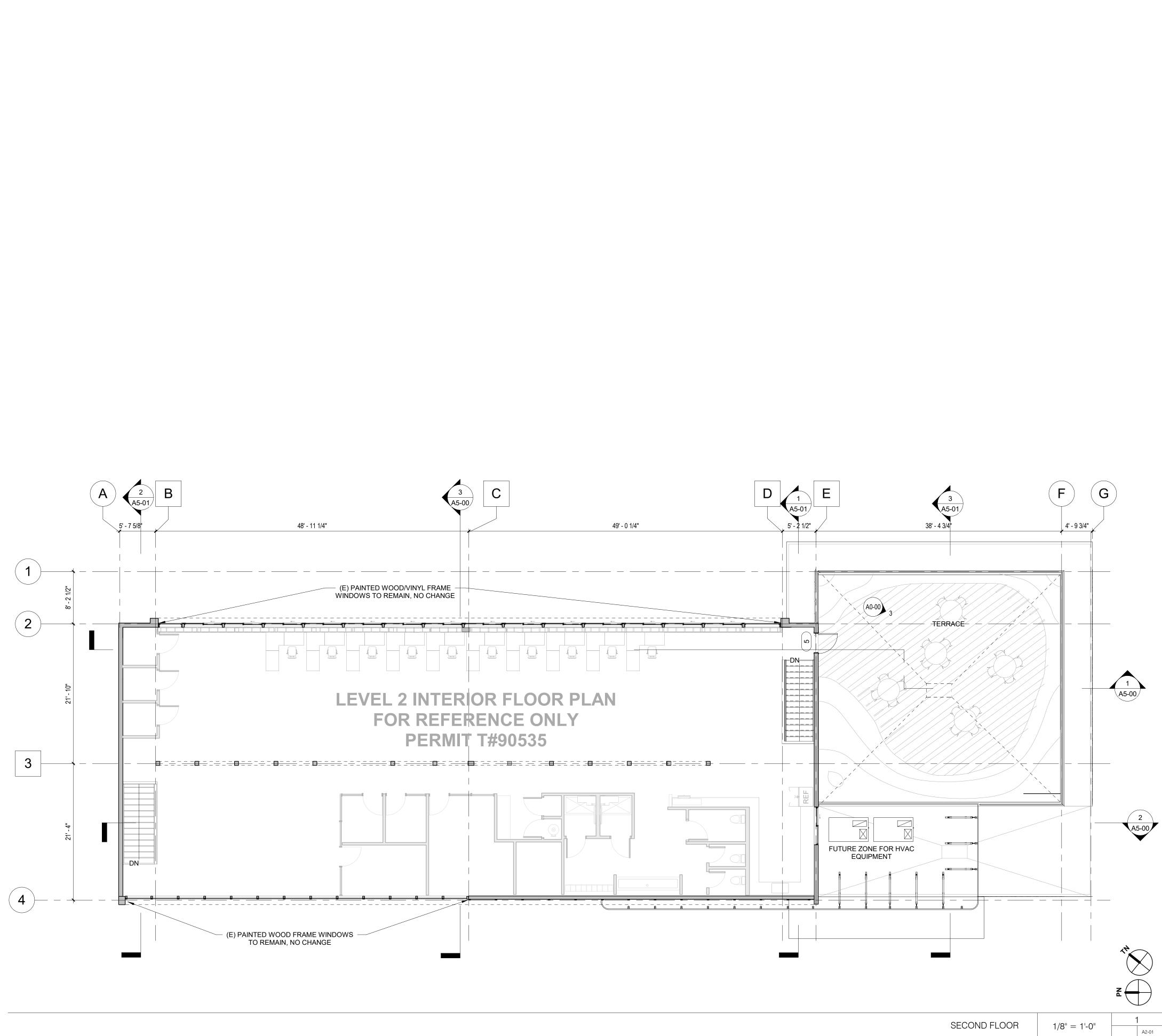
PERVIOUS LANDSCAPE SURFACE	CRKW STUDIO INCORPORATED 2912 Franklin Blvd., Sacramento CA 95818 Tel: 415.305.9452 www.crkw.com
PERVIOUS PAVERS	PROJECT:
PERVIOUS DECK SURFACE	242 REDWOOD HWY
//////// PERVIOUS DECK SURFACE	242 Redwood Hwy., Mill Valley, CA 94941 APN.: 052-247-01
	OWNER:
	SEAPLANE INVESTMENTS LLC
47' -	Mali Richlen Mali@lindenstreetadvisors.com 818.371.8418
	LEVEL 1 - TENANT
	PICCINO SULL' ACQUA Loring Sagan
	loring@bldsf.com 415.298.5331
>	
D DOCK MORE	County of Marin
PATHWAY,	
SIGNAGE	
	Architect - Building Core and Shell:
	CRKW STUDIO Incorporated 2912 Franklin Blvd., Sacramento CA 95818
	1-415-305-9452
	Architect - Interior Tenant Improvement: HELLAND ARCHITECTURE 1-415-671-5691
	Structural Engineer:
ING SPACES NEW STIPES	ZFA STRUCTURAL ENGINEERS 1212 4th St. Ste. Z, Santa Rosa, CA 95404
EL STOPS	1-415-243-4091
	Landscape Architect: SWA 2200 Bridgewey, Seugelite, CA 04064
	2200 Bridgeway, Sausalito, CA 94964 1-415-332-5100
	Civil Engineer: Freyer and Laureta Inc
X	505 San Marin Dr. Ste. A220, Novato, CA 94945 415-534-7070
	Survey: Lawrence Doyle
	100 Helens Lane, Mill Valley, CA 94941 1-415-388-9585
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	CRKWSTUDIO CONFIDENTIAL DOCUMENTS
	All ideas, designs, arrangements and plans indicated or represented by this drawing are owned by and the property of
	CRKWStudio and were created, evolved and developed for use on, and in connection with 242 REDWOOD HWY Project
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	or disclosed to any person or corporation for any purpose whatsoever without the written permission of the
	Architect/CRKWStudio Incorporated.   No. Description Date
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**CRKW STUDIO** 

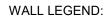




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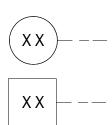


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(E) WALL TO REMAIN

(N) WALL



INDICATES GRIDLINE AT FACE OF STUD OR TO CONCRETE, SEE DETAIL

INDICATES GRIDLINE AT CENTER OF COLUMN.

# CRKW STUDIO

CRKW STUDIO INCORPORATED 2912 Franklin Blvd., Sacramento CA 95818 Tel: 415.305.9452 www.crkw.com

#### PROJECT: 242 REDWOOD HWY

242 Redwood Hwy., Mill Valley, CA 94941

APN.: 052-247-01

OWNER:

SEAPLANE INVESTMENTS LLC Mali Richlen Mali@lindenstreetadvisors.com 818.371.8418

LEVEL 1 - TENANT PICCINO SULL' ACQUA Loring Sagan loring@bldsf.com 415.298.5331

County of Marin

Architect - Building Core and Shell: CRKW STUDIO Incorporated 2912 Franklin Blvd., Sacramento CA 95818 1-415-305-9452

Architect - Interior Tenant Improvement: HELLAND ARCHITECTURE 1-415-671-5691

Structural Engineer: ZFA STRUCTURAL ENGINEERS 1212 4th St. Ste. Z, Santa Rosa, CA 95404 1-415-243-4091

Landscape Architect: SWA 2200 Bridgeway, Sausalito, CA 94964 1-415-332-5100

Civil Engineer: Freyer and Laureta Inc 505 San Marin Dr. Ste. A220, Novato, CA 94945 415-534-7070

Survey: Lawrence Doyle 100 Helens Lane, Mill Valley, CA 94941 1-415-388-9585

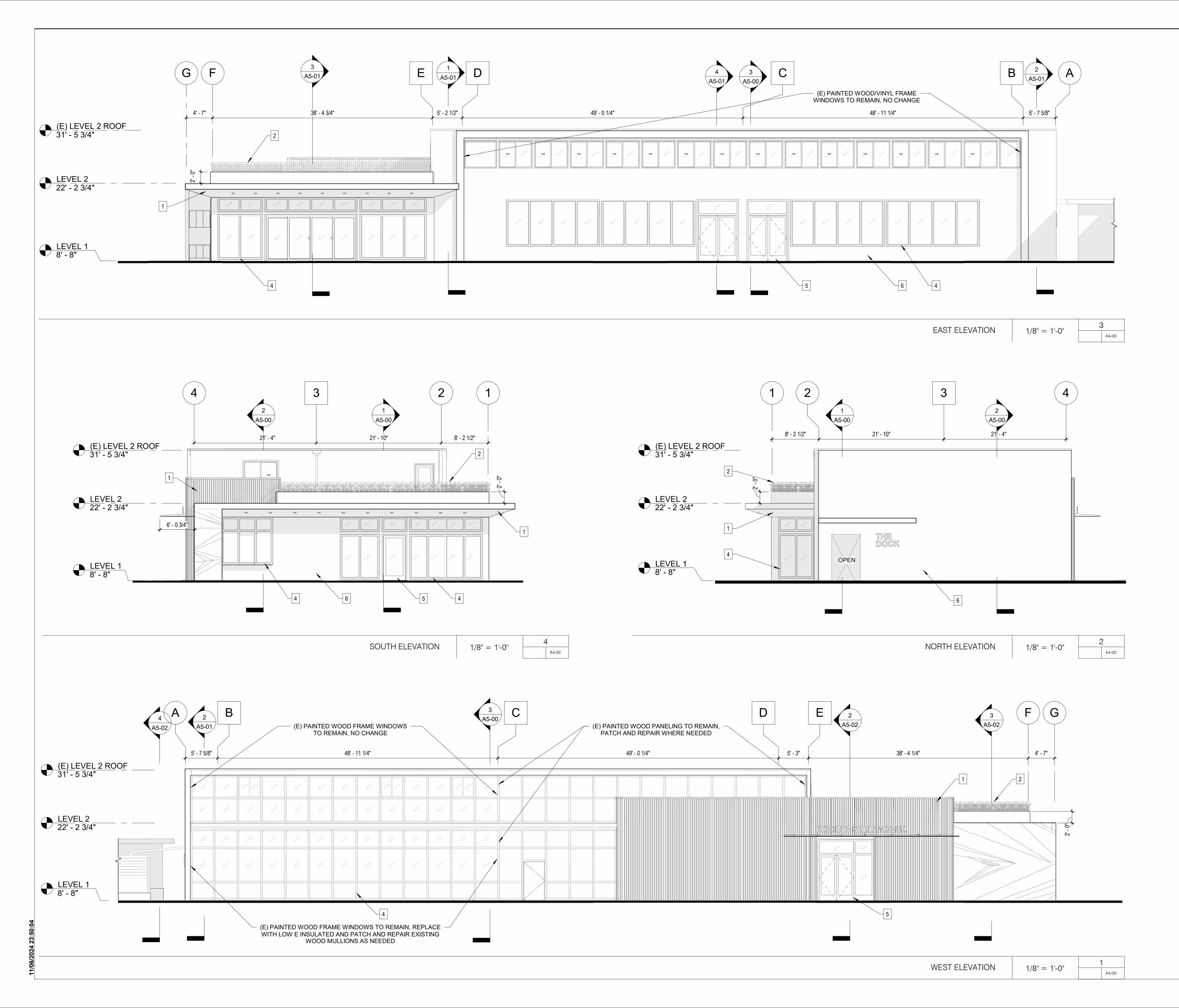
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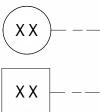


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No.	Descrip	otion	Date
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INDICATES GRIDLINE AT FACE OF STUD OR TO CONCRETE, SEE DETAIL

INDICATES GRIDLINE AT CENTER OF COLUMN.

MATERIAL LEGEND:

ALSO SEE G1-00 EXTERIOR MATERIALS

- ALASKAN YELLOW CEDAR VG SMOOTH -UNFINISHED VERTICAL INSTALL
- 2 PAINTED METAL FLASHING, FASCIA, RAILING AND TRIM, BLACK FOX, SW-7020
- 3 SIERRA PACIFIC ALUM. CLAD AND WOOD SLIDING DOORS WITH GLAZING, EXT. PAINT, SEE DETAILS
- 4 PAINTED WOOD WINDOWS TO MATCH EXISTING, BEHR-ORB EXT. PAINT, SEE DETAILS
- 5 SIERRA PACIFIC ALUM. CLAD AND WOOD DOORS WITH GLAZING, EXT. PAINT, SEE DETAILS
- 6 PAINTED EXTERIOR PLASTER, KM-WESTERN ACOUSTIC 20 - EXT. PAINT

# CRKW STUDIO

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## PROJECT: 242 REDWOOD HWY

242 Redwood Hwy., Mill Valley, CA 94941

APN.: 052-247-01

OWNER: SEAPLANE INVESTMENTS LLC Mali Richlen Mali@lindenstreetadvisors.com 818.371.8418

LEVEL 1 - TENANT PICCINO SULL' ACQUA Loring Sagan loring@bldsf.com 415.298.5331

County of Marin

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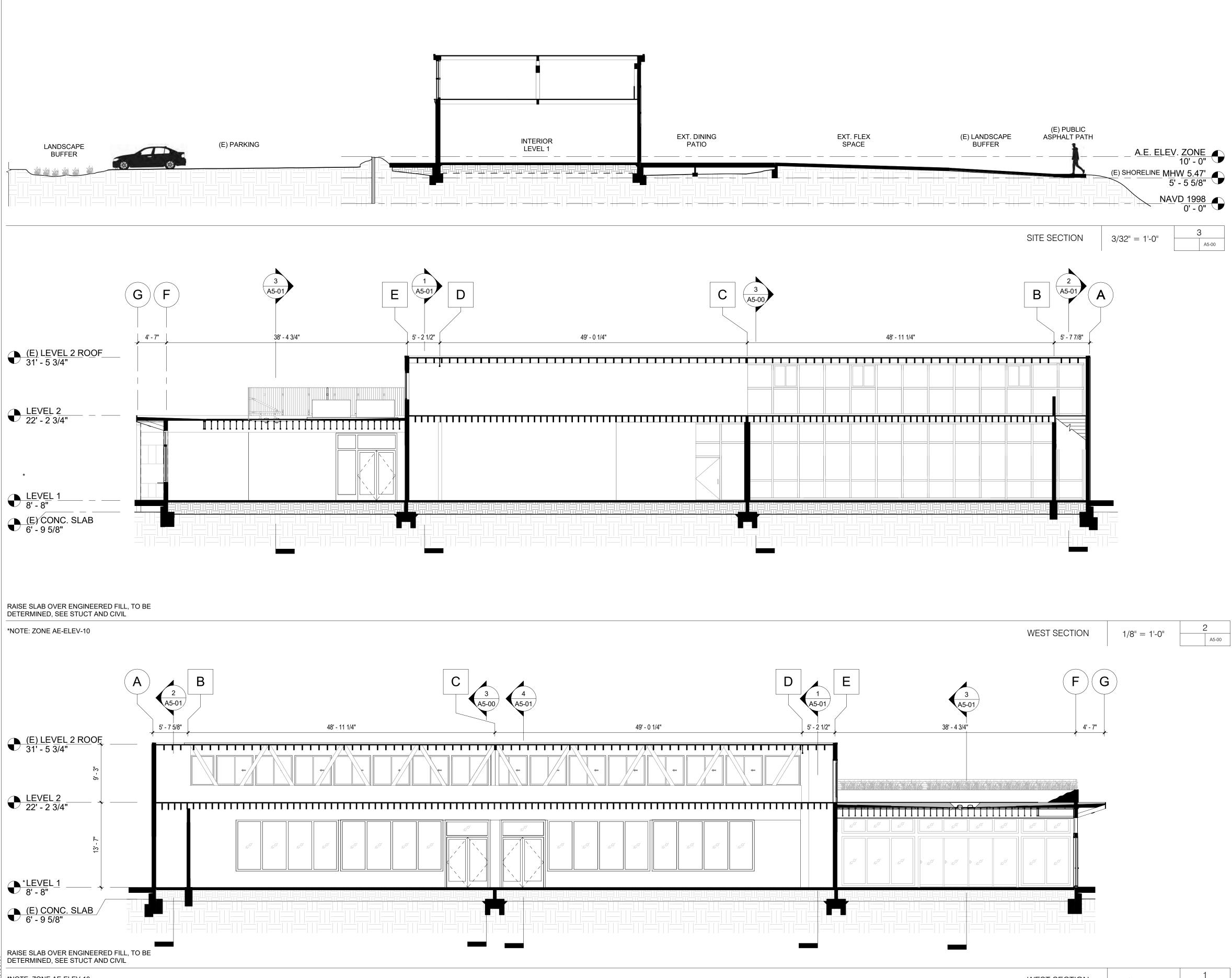
Survey: Lawrence Doyle 100 Helens Lane, Mill Valley, CA 94941 1-415-388-9585

Stamp:



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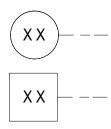
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C VCUCIS

WEST SECTION

1/8" = 1'-0"

A5-00



INDICATES GRIDLINE AT FACE OF STUD OR TO CONCRETE, SEE DETAIL

INDICATES GRIDLINE AT CENTER OF COLUMN.

LITE WEIGHT FILL, SEE GEOTECH

(E) UNDISTURBED GRADE

# CRKW STUDIO

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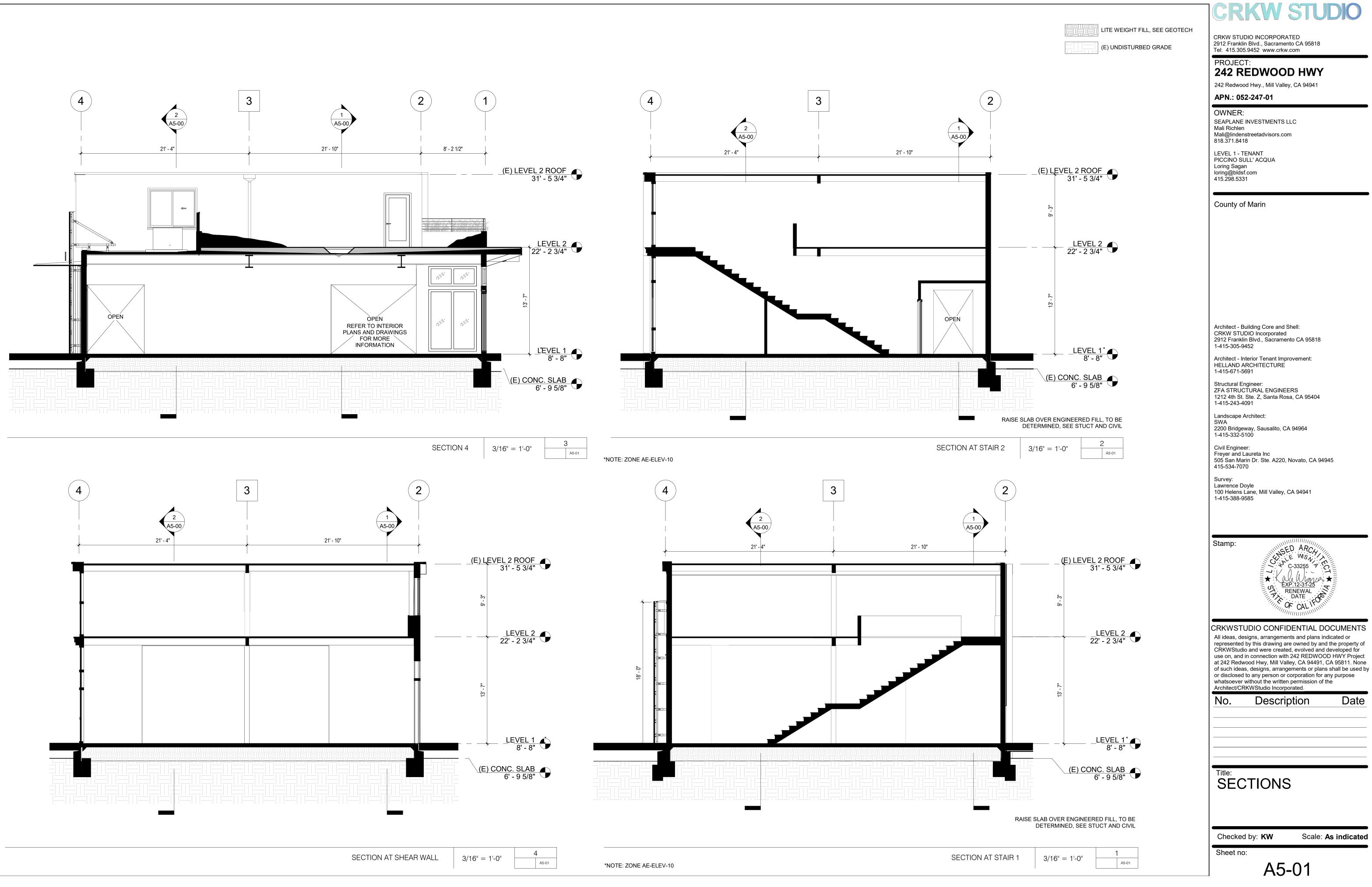
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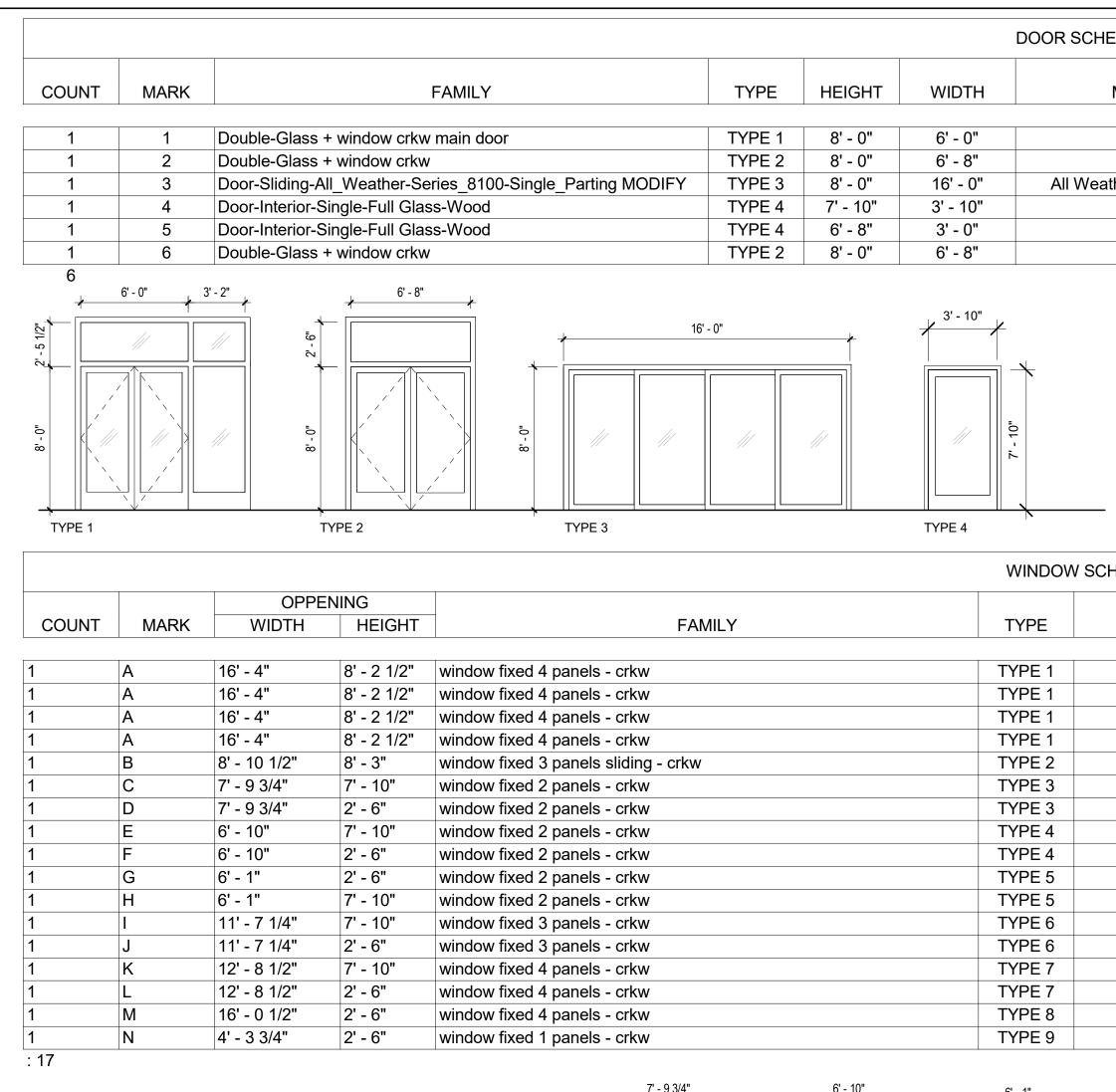


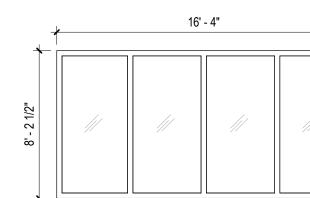
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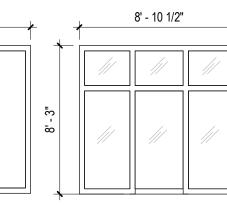
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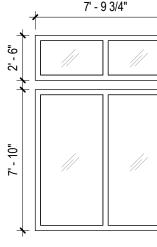
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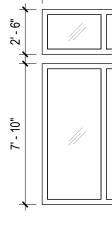
















TYPE 1

TYPE 2



TYPE 3

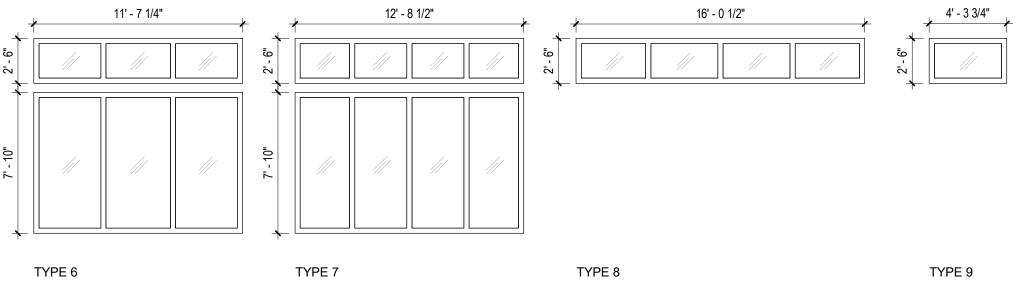






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		DETAILS	8	FINISH	
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/eather Architectural Aluminum	9 / A6*00	8 / S6-00	N/A		
TBD	4/A6-00	4/A6-00	3/ A6-00 SIM	EXTERIOR DOOR - TEMPERED GALSS	
TBD	4/A6-00	4/A6-00	3/ A6-00 SIM	EXTERIOR DOOR - TEMPERED GALSS	
TBD					

SCHEDULE				
	Detail			
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INCHES

#### GENERAL DOOR NOTES

1. ALL DOORS SHALL BE 1 3/4" THICK MINIMUM, UNLESS OTHERWISE NOTED 2. ALL DOORS SHALL BE TRIMMED AT THRESHOLD TO PROVIDE CLEARANCE FOR FINISH FLOOR (U.O.N.) ABOVE FLOOR FINISH MATERIAL TO ALLOW FOR FULL DOOR SWING AND NOT EXCEED GAP WIDTH PER CAL HEALTH AND SAFETY CODE.

3. G.C. TO VERIFY ACTUAL DOOR HEIGHT TO PROPERLY SIZE THE ROUGH OPENINGS

4. PROVIDE LABELS FOR DOORS AND FRAMES IN RATED WALLS TO SATISFY FIRE RATING REQUIREMENT WHERE APPLICABLE 5. DOOR AT FULLY OPEN POSITION SHALL NOT PROJECT MORE THAN 7

INCHES INTO THE REQUIRED PATH OF EGRESS TRAVEL WIDTH 6. THE CLEAR MINIMUM WIDTH OF EACH DOOR OPENING SHALL NOT BE LESS THAN 32 INCHES. THE HEIGHT OF DOORS SHALL NOT BE LESS THAN 80

7. THERE SHALL NOT BE PROJECTIONS INTO THE REQUIRED CLEAR WIDTH LOWER THAN 34 INCHES ABOVE THE FLOOR OR GROUND. PROJECTIONS INTO THE CLEAR OPENING WIDTH BETWEEN 34 INCHES AND 80 INCHES ABOVE THE FLOOR OR GROUND SHALL NOT EXCEED 4 INCHES 8. THE FORCE FOR PUSHING OR PULLING OPEN INTERIOR SWINGING EGRESS DOORS, OTHER THAN FIRE DOORS, SHALL NOT EXCEED 5 POUNDS (22N). THESE FORCES DO NOT APPLY TO THE FORCE REQUIRED TO RETRACT LATCH BOLTS OR DISENGAGE OTHER DEVICES THAT HOLD THE DOOR IN A CLOSED POSITION, FOR OTHER SWINGING DOORS AS WELL AS SLIDING AND FOLDING DOORS, THE DOORLATCH SHALL RELEASE WHEN SUBJECTED TO A 15 POUND (67N) FORCE THE DOOR SHALL BE SET IN MOTION WHEN SUBJECTED TO A 30 POUND (133N) FORCE. THE DOOR SHALL SWING TO A FULL OPEN POSITION WHEN SUBJECTED TOA 15 OUNDN (67n) FORCE. 9. THERE SHALL BE A FLOOR OR LANDING ON EACH SIDE OF A DOOR. SUCH FLOOR OR LANDING SHALL BE AT THE SAME ELEVATION ON EACH SIDE OF THE DOOR. LANDINGS SHALL BE LEVEL EXCEPT FOR EXTERIOR LANDINGS, WHICH ARE PERMITTED TO HAVE A SLOPE NOT TO EXCEED 0.25 UNIT

VERTICAL IN 12 UNITS HORIZONTAL (2-PERCENT SLOPE) 10. DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES SHALL BE INSTALLED 34 INCHES MIMIMUM AND 48 INCHES MAXIMUM ABOVE THE FINISHED FLOOR. LOCKS USED ONLY FOR SECURITY PURPOSES AND NOT USED FOR NORMAL OPERATION ARE PERMITTED AT ANY HEIGHT. 11. DOOR HARDWARE: DOOR HARDWARE TO COMPLY WITH CBC 1010.1.9.1 AND CCR, TITLE 244, PART 12 SECTION 12-10-202

12. THRESHOLDS AT DOORWAYS SHAL NOT EXCEED 0.5 INCH IN HEIGHT RAISED THRESHOLDS AND FLOOR LEVEL CHANGES GREATER THAN 0.25 INCH AT DOORWAYS SHALL BEVELED WITH A SLOPE NOT GREATER THAN ONE UNIT VERTICAL IN TWO UNITS HORIZONTAL (50PERCENT SLOPE) 13. SWINGING DOOR WITHIN 10 INCHES OF THE FINISH FLOOR OR GROUND MEASURED VERTICALLY SHALL HAVE A SMOOTH SURFACE ON THE PUSH SIDE EXTENDING THE FULL WIDTH OF THE DOOR. CAVITIES CREATED BY ADDED KICK PLATES SHALL BE CAPPED

14. ACCESS CONTROLLED EGRESS DOORS SHALL COMPLY WITH CBC

1008.1.9.8 15. REQUIRED EXIT WITDH SHALL BE MAINTAINED FOR ALL EGRESS PATH OF TRAVEL TO AND FROM EXIT DOORS 16. EXIT DOORS SHALL NOT BE LOCKED OR BOLTED TO PREVENT TRAVEL IN

THE DIRECTION OF EGRESS 17. ALL MAGNETIC DOOR HOLDERS TIED TO FIRE ALARMS SHALL COMPLY

WITH 2016 NFPA 72 18. ALL SIZES INDICATED ON THE SCHEDULE ARE NOMINAL ONLY, REFER TO

DETAILS AND FIELD CONDITIONS TO DETERMINE EXACT SIZES. 19. ALL WINDOWS AND SLIDING GLASS DOORS SHALL BE DUAL GLAZED WITH WEATHER-STRIPPED OR LOW INFILTRATION FRAMES MEETING ANSI AIR FILTRATION STANDARDS.

20. PROVIDE SAFETY GLAZING PER CBC SECTION 2406.3 21.PROVIDE WEATHER STRIPPING PER TITLE 24 FOR ALL EXTERIOR DOORS

**CRKW STUDIO INCORPORATED** 2912 Franklin Blvd., Sacramento CA 95818 Tel: 415.305.9452 www.crkw.com

#### PROJECT: 242 REDWOOD HWY

242 Redwood Hwy., Mill Valley, CA 94941

APN.: 052-247-01

#### OWNER:

SEAPLANE INVESTMENTS LLC Mali Richlen Mali@lindenstreetadvisors.com 818.371.8418

LEVEL 1 - TENANT PICCINO SULL' ACQUA Loring Sagan loring@bldsf.com 415.298.5331

County of Marin

Architect - Building Core and Shell: CRKW STUDIO Incorporated 2912 Franklin Blvd., Sacramento CA 95818 1-415-305-9452

Architect - Interior Tenant Improvement: HELLAND ARCHITECTURE 1-415-671-5691

Structural Engineer: ZFA STRUCTURAL ENGINEERS 1212 4th St. Ste. Z, Santa Rosa, CA 95404 1-415-243-4091

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Stamp:



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No.	Description	Date

### SCHEDULES & DETAILS

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Scale: As indicated

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NOTES: 1. LANDSCAPE WATER USE - PROJECT WILL BE MWELO COMPLIANT IN ACCORDANCE WITH THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE

2. LIGHTING – ASIDE FROM CODE REQUIRED EGRESS LIGHTING, LIGHTING DESIGN WILL BE COMPLIANT WITH THE CONDITIONS OF CALIFORNIA GREEN BUILDING STANDARDS CODE

- 3. BICYCLE PARKING - CODE REQUIRED BICYCLE PARKING WILL BE PROVIDED IN ACCORDANCE WITH THE CONDITIONS OF CALIFORNIA GREEN BUILDING STANDARDS CODE
- 4. PROJECT WILL PROVIDE CLEAR DELINEATION FOR PUBLIC ACCESS TO AND ALONG SHORELINE TRAIL THE USE OF LANDFORM AND PLANTING WILL BE UTILIZED IN THE DESIGN TO ENHANCE TRAIL DELINEATION PER BCDC PUBLIC ACCESS DESIGN GUIDELINES.
- 5. BASIC PUBLIC AMENITIES (E.G. PICNIC TABLES) WILL BE PROVIDED ALONG THE PUBLIC SHORELINE TRAIL TO MAXIMIZE USER COMFORT. PUBLIC AMENITY SPACES TO BE LOCATED WITH CLEAR VIEWS TO THE BAY IN ACCORDANCE WITH BCDC PUBLIC ACCESS DESIGN GUIDELINES.
- 6. BIOLOGICAL REPORTS AND ANALYSIS WILL BE PROVIDED TO IDENTIFY ANY POTENTIAL THREATENED SPECIES
- 7. ADEQUATE SHORELINE TRAIL SIGNAGE WILL BE UTILIZED ON SITE TO ASSIST SHORELINE USERS IN TRAVELING TO AND ALONG THE BAY
- 8. SEA LEVEL RISE RISK ASSESSMENT WILL BE PROVIDED WITH PERMIT RELATED DOCUMENTATION.
- 9. NATIVE PLANTING WILL BE USED WHEREVER POSSIBLE AND APPROPRIATE. PLANT LISTS TO FOLLOW BCDC'S "SHORELINE PLANTS: A
- LANDSCAPE GUIDE FOR THE SAN FRANCISCO BAY" 10. THIS PROJECT ENDEAVORS TO USE A NATIVE AND ADAPTED PLAT PALETTE CONSISTING OF A MIX OF LOW WATER PLANTING FOR THIS PROJECT, THAT IS SUITABLE AND APPROPRIATE FOR THIS BAYSIDE CONDITION. THE PERIMETER WALL AND LANDFORMS PROVIDE A DEMARCATION, WHERE THE PLANT SPECIES OUTSIDE THE WALL ARE PRIMARILY FROM THE SALT GRASS FLATS PLANT COMMUNITY. THE ZONE FORMED BETWEEN THE PERIMETER ELEVATION DATUM CREATED FOR FLOOD PROTECTION AND THE Stamp: BUILDING WILL FEATURE SPECIES THAT ARE LESS SALT TOLERANT TO ADD ADDITIONAL DIVERSITY IN PLANT SPECIES.

# CRKW STUDIO

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### PROJECT: 242 REDWOOD HWY

APN.: 052-247-01

OWNER: SEAPLANE INVESTMENTS LLC loring@bldsf.com 415.298.5331

242 REDWOOD HWY MILL VALLEY CA 94941

TENANT 1 - 2ND LVL: SEAPLANE ADVENTURES aaron@seaplane.com 415.272.6540

TENANT 2 - GROUND LVL: PICCINO SULL'ACQUA (PSA) loring@bldsf.com 415.298.5331

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Date No. Description

Keyplan:

SITE PLAN

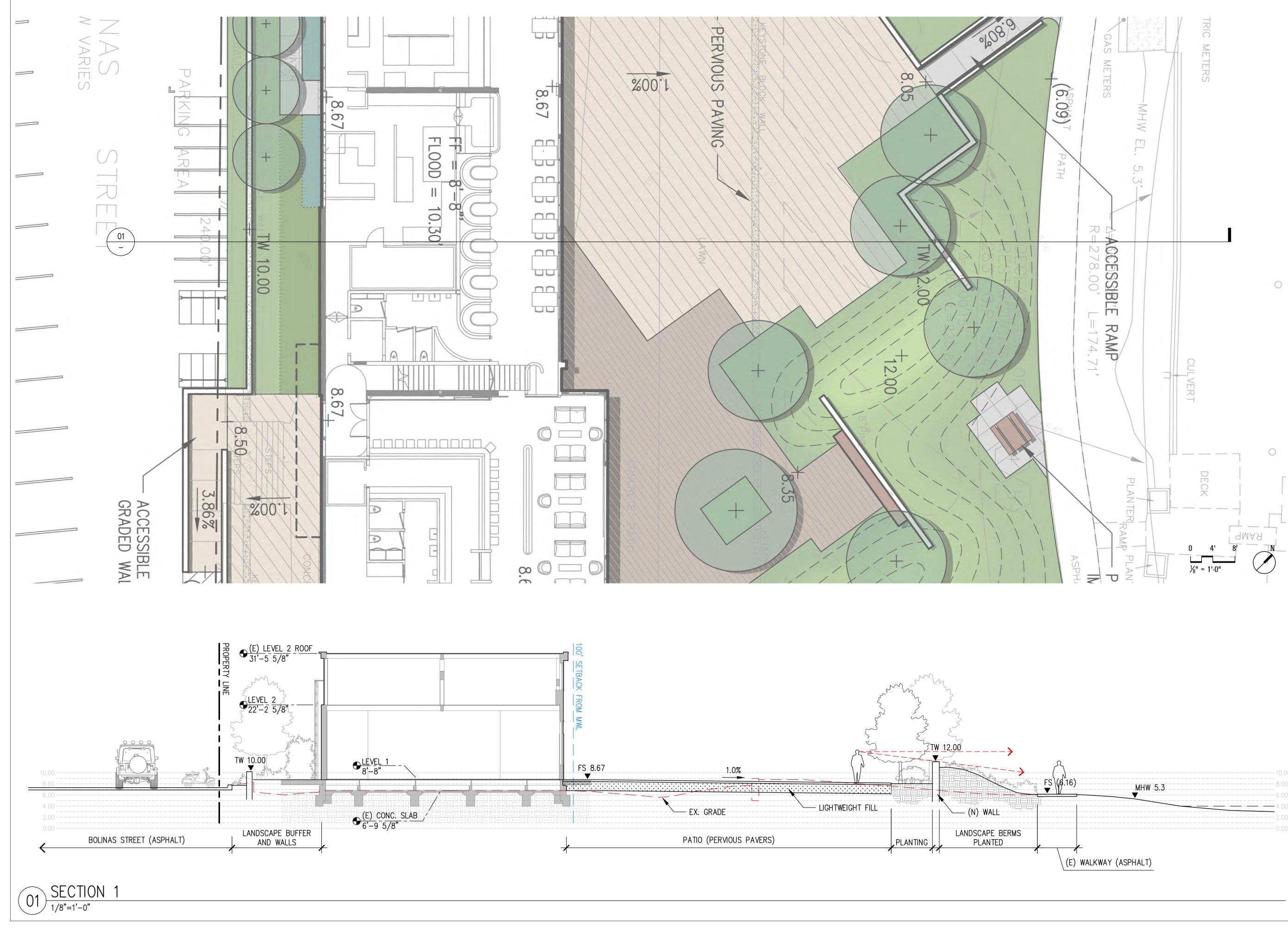
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Date No. Description

Keyplan:

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Title: SITE SECTION

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