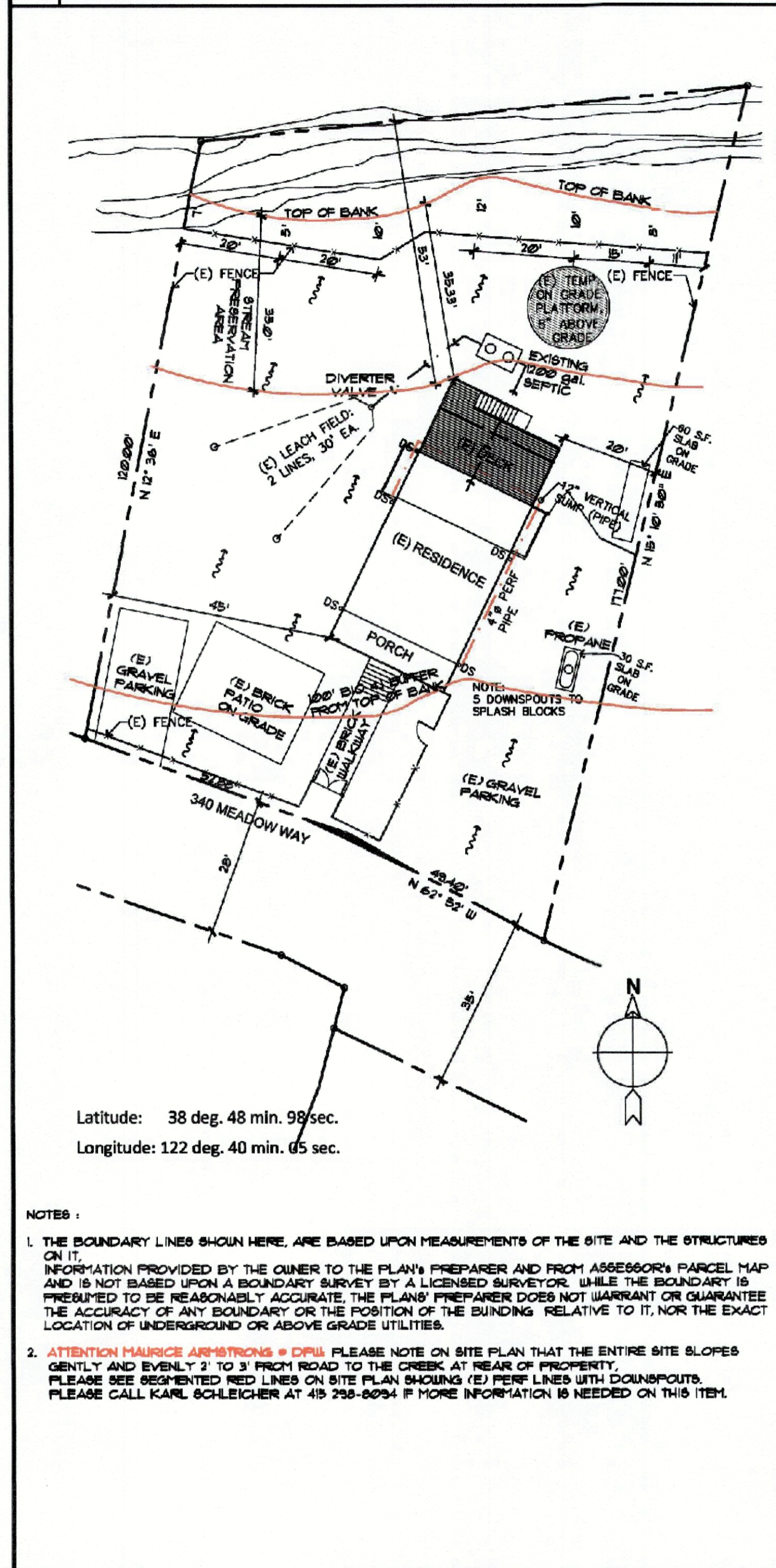


SITE PLAN SCALE 1" = 20'-0"

GENERAL NOTES

CODE COMPLIANCE INFORMATION

VICINITY MAP NOT TO SCALE



Latitude: 38 deg. 48 min. 99 sec.
Longitude: 122 deg. 40 min. 65 sec.

NOTES:

- THE BOUNDARY LINES SHOWN HERE, ARE BASED UPON MEASUREMENTS OF THE SITE AND THE STRUCTURES ON IT. INFORMATION PROVIDED BY THE OWNER TO THE PLANS' PREPARER AND FROM ASSESSOR'S PARCEL MAP AND IS NOT BASED UPON A BOUNDARY SURVEY BY A LICENSED SURVEYOR. WHILE THE BOUNDARY IS PRESUMED TO BE REASONABLY ACCURATE, THE PLANS' PREPARER DOES NOT WARRANT OR GUARANTEE THE ACCURACY OF ANY BOUNDARY OR THE POSITION OF THE BUILDING RELATIVE TO IT, NOR THE EXACT LOCATION OF UNDERGROUND OR ABOVE GRADE UTILITIES.
- ATTENTION MAURICE ARMSTRONGS - DPW:** PLEASE NOTE ON SITE PLAN THAT THE ENTIRE SITE SLOPES GENTLY AND EVENLY 2' TO 3' FROM ROAD TO THE CREEK AT REAR OF PROPERTY. PLEASE SEE RED LINES ON SITE PLAN SHOWING (E) REFR LINES WITH DOWNSPOUTS. PLEASE CALL KARL SCHLEICHER AT 415 298-8094 IF MORE INFORMATION IS NEEDED ON THIS ITEM.

- The contractor shall comply with all laws and regulations bearing on the work and shall notify the Designer if the drawings and/or notes are at variance therewith.
- Contractor shall investigate all field conditions prior to submitting bid. Any discrepancies shall be reported to the Designer for review and / or clarification prior to proceeding with the work.
- Contractor shall not consider plans complete until building permit is issued.
- Details of construction not shown or noted shall be considered of the same character shown for similar construction.
- These plans are not intended to show the method and means of execution of the work which is the responsibility of the General Contractor.
- It is the responsibility of the General Contractor to review and familiarize himself with the contract drawings, specifications, and site conditions prior to starting construction. It shall be the responsibility of the General Contractor to contact the Owner prior to performance, if any conflict exists between portions of the contract documents and/or any site conditions.
- All subcontractors shall bid and perform their work based on complete sets of plans. It is the responsibility of the sub-contractor to notify the general contractor of any possible conflicts between portions of the drawings and/or specifications.
- All new construction shall be governed by applicable codes and ordinances of the County of Marin and it shall be the responsibility of the General Contractor to ensure full compliance.
- The Contractor shall notify the appropriate utility companies prior to starting work and shall be responsible for keeping these utility companies apprised of his work schedule.
- The Owner, by accepting these plans, agrees to assume liability and to hold the Designer blameless for damages resulting from the existence of underground utilities, structures and/or hazardous materials discovered at the site.
- These drawings shall not be scaled. All work shall be governed by the dimensions indicated on the drawings. Any discrepancies shall be brought to the attention of the Contractor and Owner. All dimensions related to existing conditions shall be verified by the Contractor.
- Contractor shall coordinate all equipment and fixture requirements with Designer.
- The Designer assumes no responsibility for the location of property lines and / or easements and the presence of utilities.

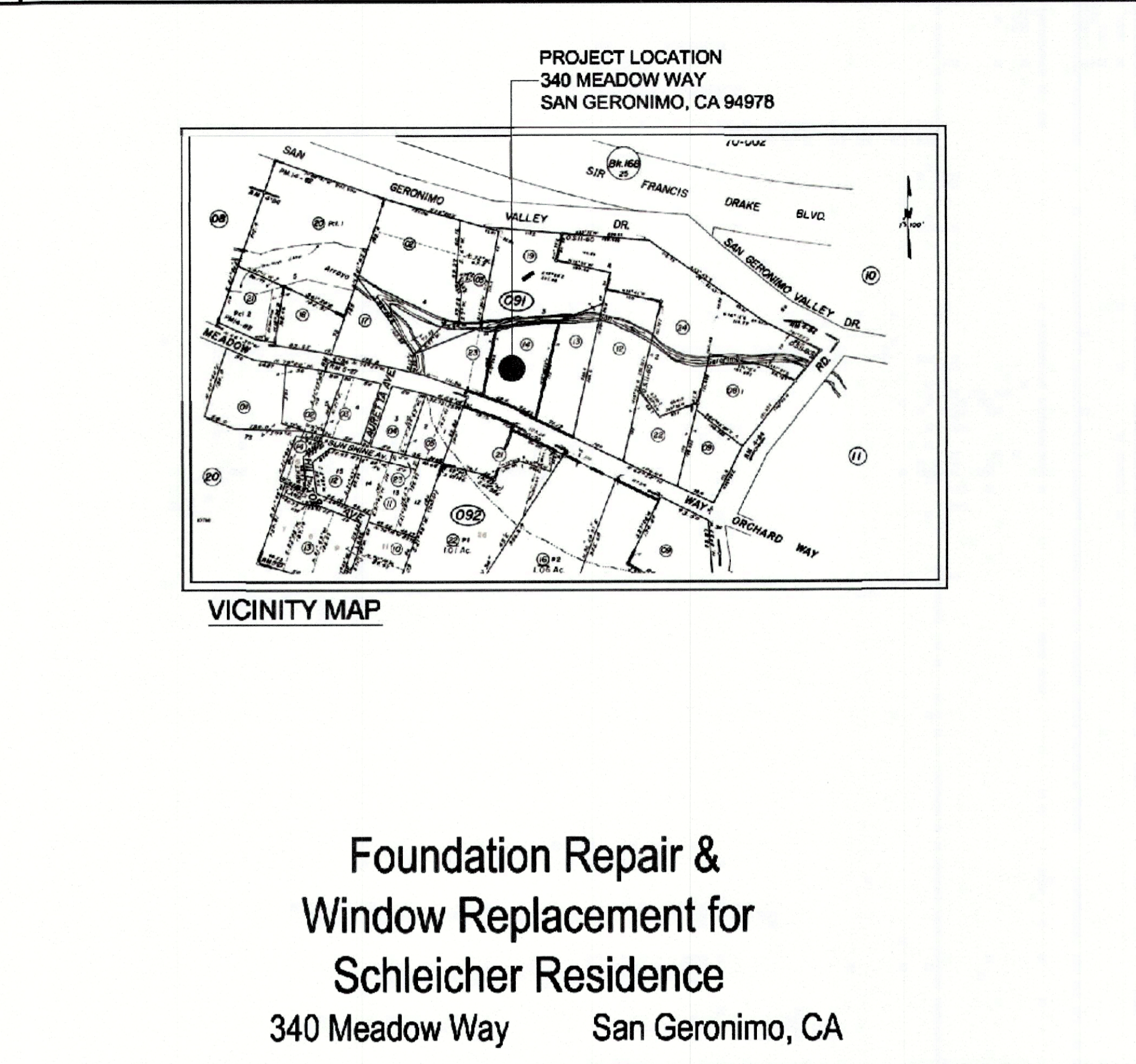
THE DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH:

- 2022 CALIFORNIA BUILDING CODE (BASED ON 2021 INTERNATIONAL BUILDING CODE)
- 2022 CALIFORNIA ELECTRICAL CODE (BASED ON THE 2020 NATIONAL ELECTRIC CODE)
- 2022 CALIFORNIA MECHANICAL CODE (BASED ON THE 2021 UNIFORM MECHANICAL CODE)
- 2022 CALIFORNIA PLUMBING CODE (BASED ON 2021 UNIFORM PLUMBING CODE)
- 2022 CALIFORNIA ENERGY CODE
- 2022 CALIFORNIA FIRE CODE
- 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
- 2022 CALIFORNIA RESIDENTIAL CODE (CRC)

AND ALL LOCAL CODES AND ORDINANCES THAT ARE APPLICABLE TO THIS PROJECT.

APPLICABLE STANDARDS:

- UL - Underwriters Laboratories Fire Resistive Directory & Building Materials Laboratories
- SMACNA - Fire, Smoke & Radiation damper installation guide for HVAC system, current edition



PROJECT DATA	
APN	169-091-14
ZONING	R1-B2-SGV
OCCUPANCY	R3 / U
CONSTRUCTION TYPE	VB
STORIES	2
FIRE SPRINKLERS	NO
LOT AREA	15,137 S.F.
EXISTING BUILDING FOOTPRINT	
UPPER FLOOR (E) LIVING AREA	875 S.F.
PORCH	175 S.F.
DECK	345 S.F.
GROUND FLOOR STORAGE	1,060 S.F.
TOTAL FOOTPRINT	1,395 S.F.
LOT COVERAGE	1,395 / 15,137 = 9.2% (INCLUDES ATTACHED REAR DECK)
F.A.R.	2,925 / 15,137 S.F. = 19.32% (EXCLUDING REAR DECK)
IMPERVIOUS SURFACE	1,140 S.F. = 7.53%
PERVIOUS SURFACE	13,997 S.F. = 92.47%
ESTIMATED EXCAVATION VOLUME: HAND DUG FOOTING TRENCHING; NO GRADING APPROX. 10 cu. yd. (Removed off site)	

SHEET INDEX	
GENERAL	GENERAL INFORMATION, SITE PLAN
01-A1	GENERAL INFORMATION, SITE PLAN
ARCHITECTURAL	
02-A2	EXISTING FLOOR PLANS
03-A3	EXTERIOR ELEVATIONS
04-A4	FOUNDATION PLAN, DETAILS, NOTES

SCOPE OF WORK

Scope of work regarding this application consists of maintenance and repair only, i.e. "replacement in kind", including window and door replacement in existing rough openings, replacing old aluminum siding over wood shingles with new fire rated Boral brand V-Rustic siding, and foundation repair/patching. All work to be performed within existing house footprint.

SYMBOLS

DETAIL OR PLAN NUMBER DRAWING SHEET NUMBER	WINDOW SYMBOL WINDOW TYPE - NUMBER
ELEVATION NUMBER DRAWING SHEET NUMBER	DOOR SYMBOL DOOR TYPE - NUMBER
SECTION NUMBER DRAWING SHEET NUMBER	FIXTURE OR EQUIPMENT SYMBOL AND DESIGNATION
NUMERICAL OR LETTER COORDINATE (USUALLY COLUMN ↓)	ROOM NUMBER FOR FINISH SCHEDULE
REVISION NUMBER REFERS TO REVISION WITH OPTIONAL CLOUD AROUND REVISION	KEY NOTE SYMBOL AND NUMBER
(E) = EXISTING (N) = NEW (ER) = EXISTING RELOCATED	POINT ELEVATION LOCATION ABBREVIATION
EXISTING WALLS TO BE REMOVED	(E) DOOR TO BE REMOVED
EXISTING WALLS TO REMAIN	(E) DOOR TO REMAIN
NEW PARTITION - 2X4 WOOD STUD, NON-BEARING - 1/2" G.C. WITH R-5 INSULATION	NEW DOOR

PROJECT DIRECTORY

Owner:
Karl Schleicher
Meadow Way/Thomas Court
San Geronimo, CA 94978
Cell: 415 298-8094
karl@schleicher.com

Designer:
F&G Design/Drafting Svcs.
Armando Franco
1663 Alan Drive
Penngrove, CA 94951
Ph: 707 763-3270
Fax: 707 939-4560
fgdrafting@btglobal.net

Figure 1. Proposed Site Plan for the Schleicher Residence, 340 Meadow Way, San Geronimo, CA.
(Large scale diagram submitted to the County of Marin under separate cover)

F&G
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E-MAIL: FGDRFTING@BTGLOBAL.NET

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10/6/23
For F&G Design/Drafting Services

No.	Revision	Date	By
1	Per County Request	2/1/24	AFB

APN: 169-091-014

FOUNDATION REPAIR & WINDOW REPLACEMENT FOR:

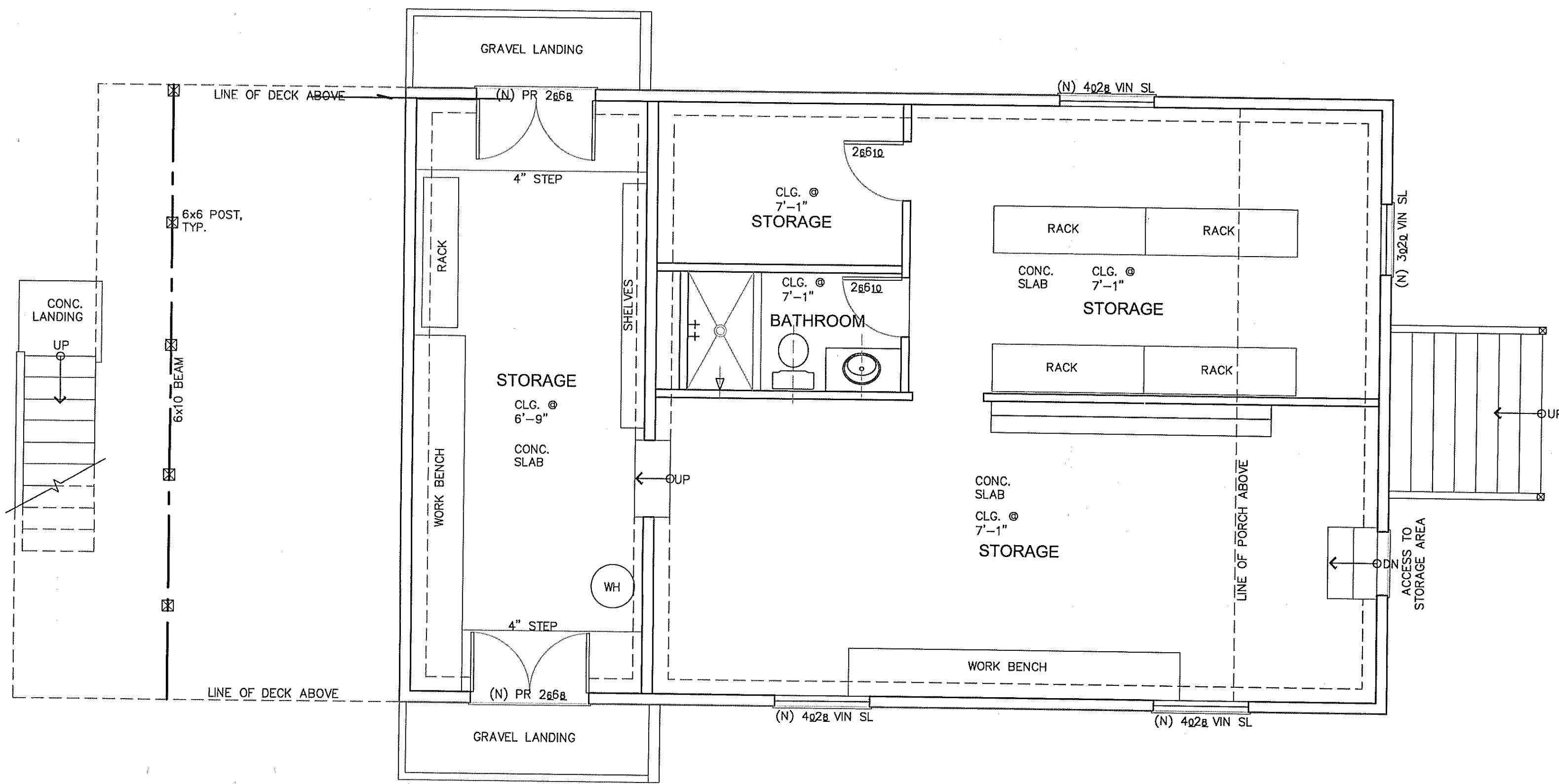
Schleicher Residence

San Geronimo, CA 94978
340 Meadow Way

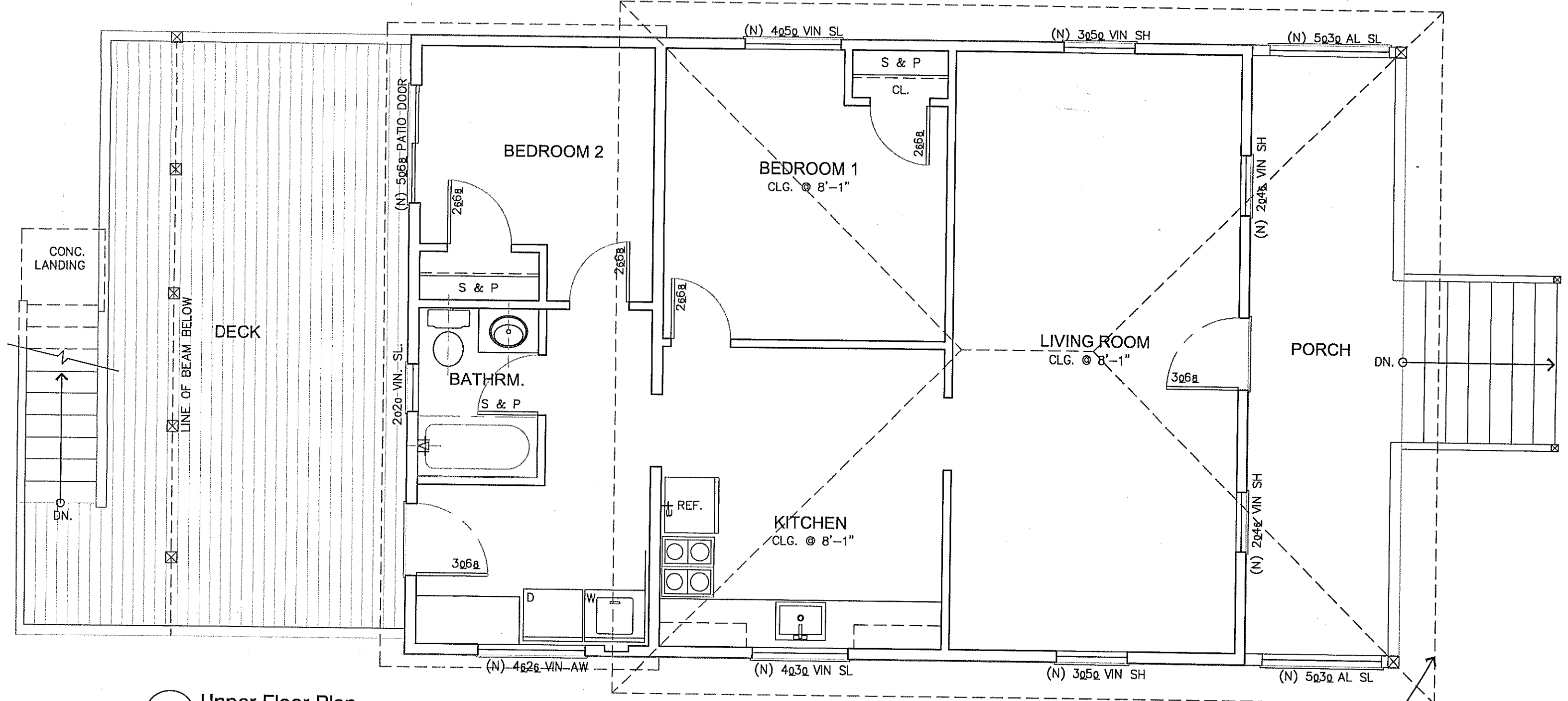
SITE PLAN, GROUND FLOOR PLAN, FOUNDATION DETAIL

DATE	December 2, 2023
SCALE	AS NOTED
PREP. #	2023-023 Karl Schleicher
FILE	
SHEET	01-A1

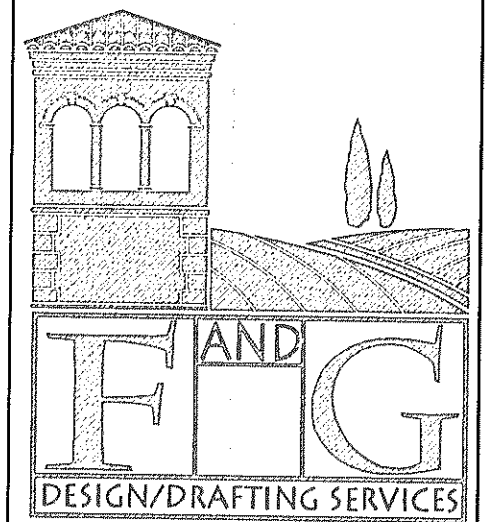
OF SHEETS



1 Ground Floor Plan
1/4" = 1'-0"



2 Upper Floor Plan
1/4" = 1'-0"



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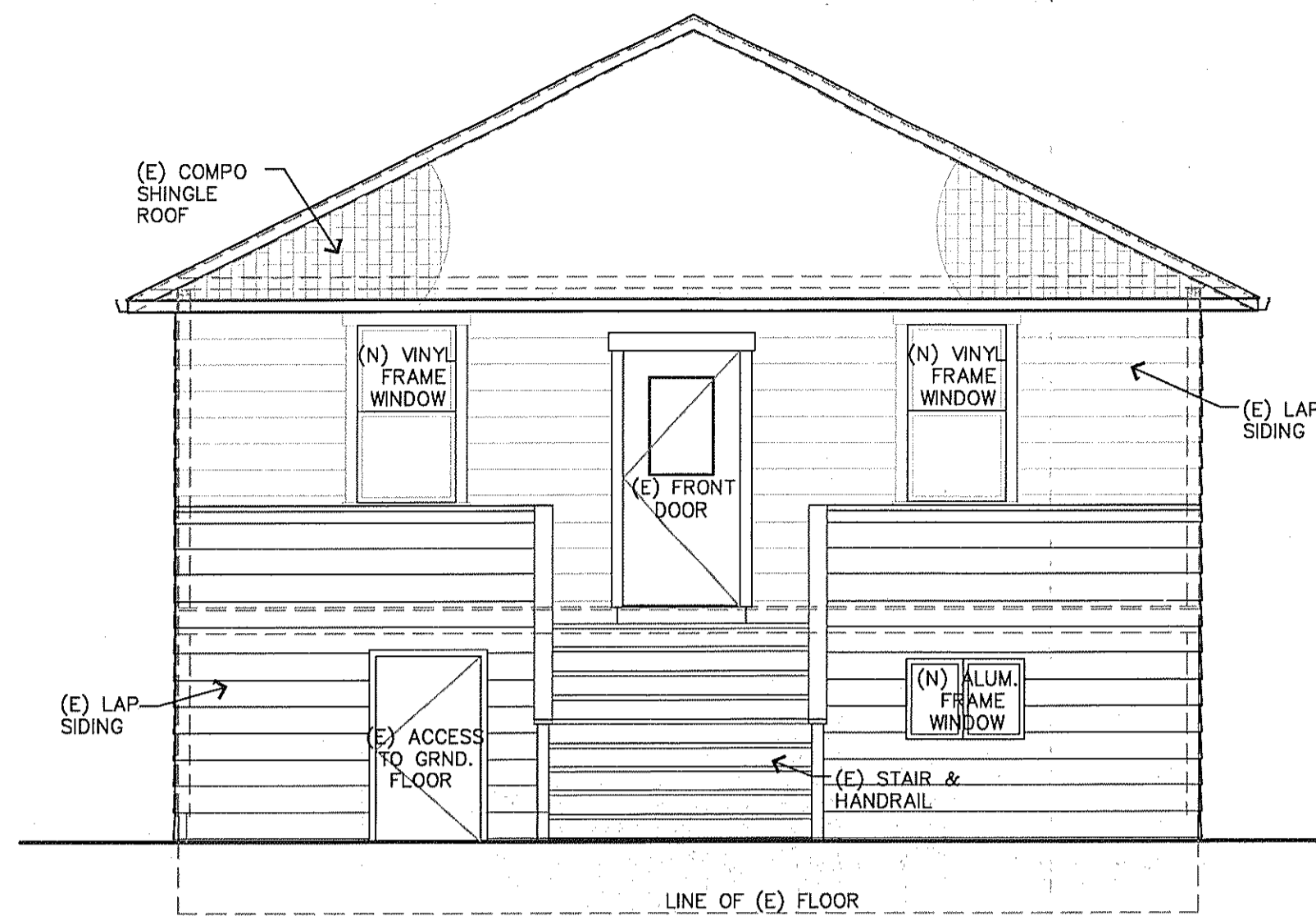
9/22/23
For F&G Design/Drafting Services

No.	Revision	Date	By
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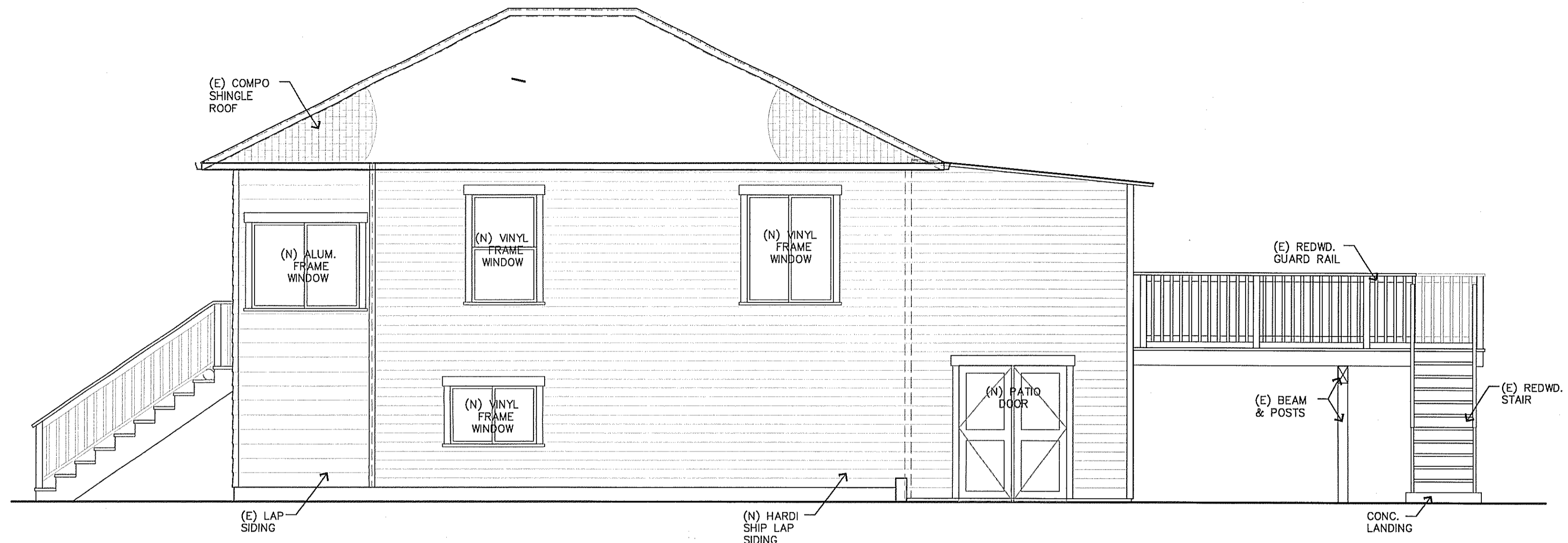
FOUNDATION REPAIR & WINDOW REPLACEMENT FOR :
Schleicher Residence
APN: 169-091-014
San Geronimo, CA 95978
340 Meadow Way

FLOOR PLANS,
EXTERIOR ELEVS.
DATE: December 2, 2021
SCALE: AS NOTED
PROJ.#: 2021-023-Karl Schleicher
FILE:
SHEET: **02-A2**
OF SHEETS

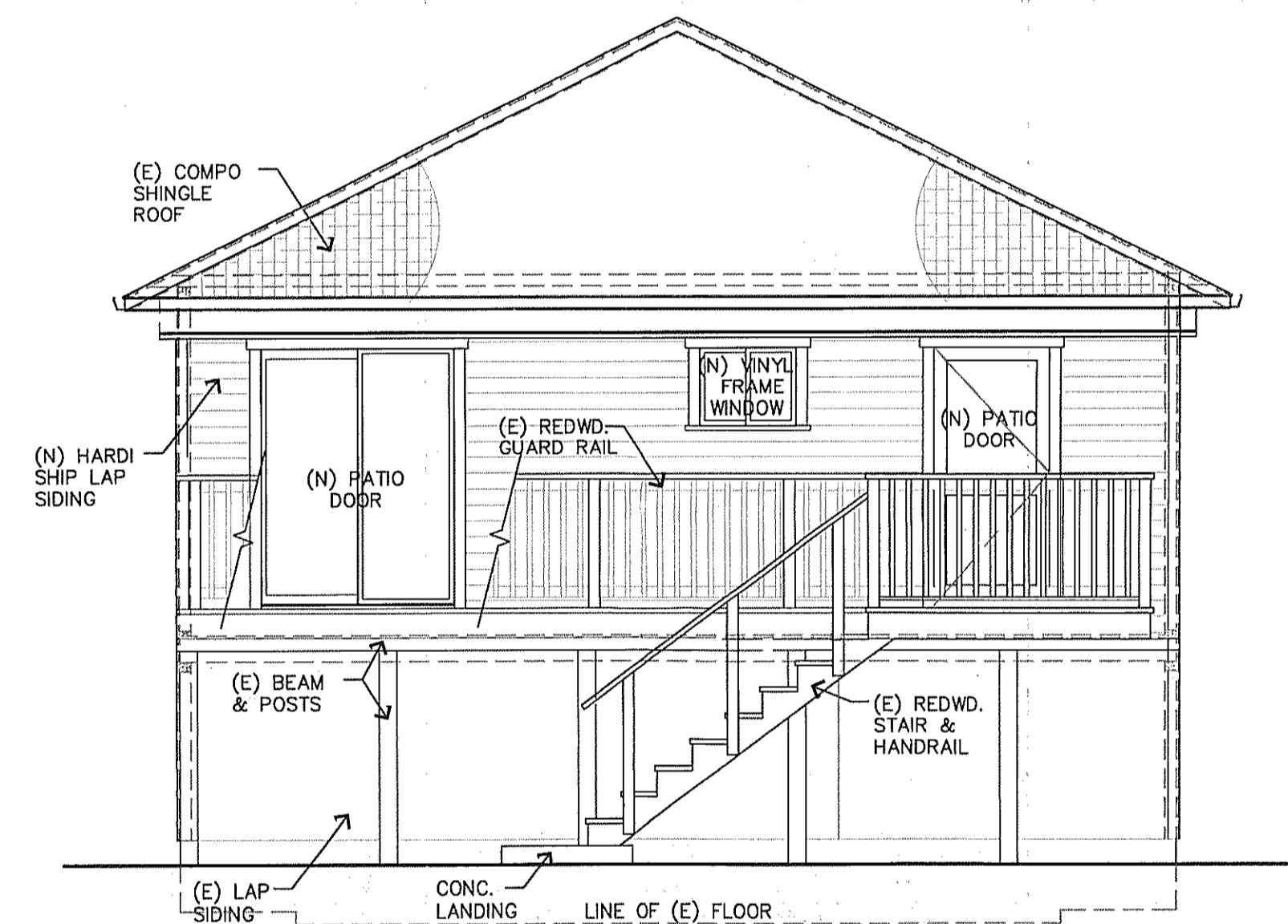




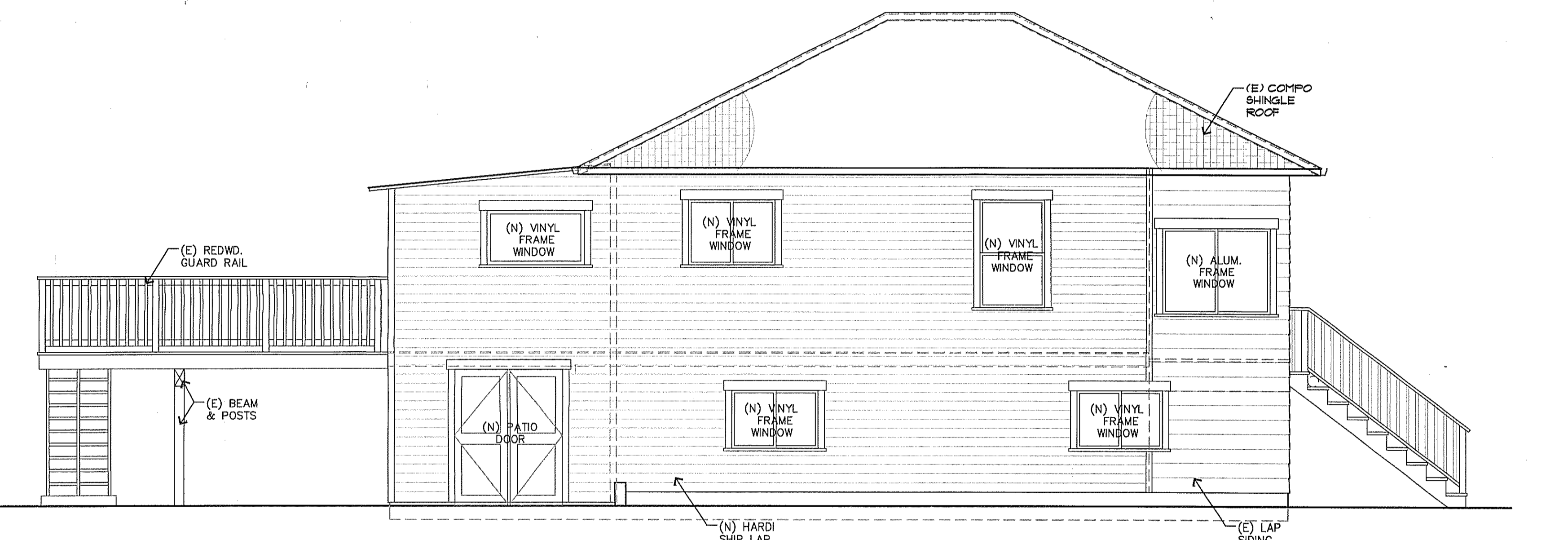
3 South Elevation
 1/4" = 1'-0" NOTE: (N) WINDOWS & DOORS
 INSTALLED IN (E) OPENINGS



1 East Elevation
 1/4" = 1'-0" NOTE: (N) WINDOWS & DOORS
 INSTALLED IN (E) OPENINGS



4 North Elevation
 1/4" = 1'-0" NOTE: (N) WINDOWS & DOORS
 INSTALLED IN (E) OPENINGS



2 West Elevation
 1/4" = 1'-0" NOTE: (N) WINDOWS & DOORS
 INSTALLED IN (E) OPENINGS

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APN: 169-091-014

FOUNDATION REPAIR & WINDOW REPLACEMENT FOR :

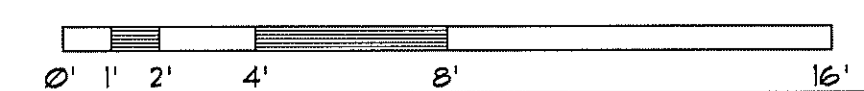
Schleicher Residence

340 Meadow Way
 San Geronimo, CA 95978

EXTERIOR ELEVS.

DATE	December 2, 2021
SCALE	AS NOTED
PROJ.#	2021-023-Karl Schleicher
FILE SHEET	

03-A3
 OF SHEETS



B SPECIFICATIONS

GENERAL

- All materials and workmanship shall conform to the 2022 edition of the California Building Code & Calif. Residential Code.
- It shall be the responsibility of the contractor to provide adequate bracing, shoring and support of all temporary construction, temporary excavations, partially completed portions of the work, and temporarily unsupported portions of the structure; such bracing, shoring and support must ensure the safety of the adjacent property and any persons who may come in contact with the project.
- The documents indicate general and typical details of construction. Where conditions are not specifically indicated, details of a character similar to those shown shall be used subject to the review by the engineer.
- The contractor shall be responsible for coordinating the work of trades and shall verify dimensions, elevations and conditions of the site and existing conditions prior to commencing construction. If there are any discrepancies between the existing conditions and these drawings and specifications, the contractor shall notify the designer immediately in writing. In no case shall dimensions be scaled from plans, section or details on these drawings.
- The proposed structure is braced in accordance with the 2022 CRC R602. Wall panels indicated on the Structural plans shall be constructed in accordance with Section R602.10.
- For openings not shown and or detailed on the structural drawings, which penetrate structural elements, obtain written approval before proceeding with work.
- Frame opening and support miscellaneous equipment as detailed on the drawings. Where no details are provided, obtain approval before proceeding with work.
- Shop drawings required shall be submitted to the designer for review prior to fabrication.

CARPENTRY

- Lumber:
Exterior & foundation wood: P.T.D.F. No. 2 or eq.
Joists & Miscellaneous framing: D.F. No. 2
Studs: D.F. Stud.
Solid Sawn 6x: D.F. No. 1
Beams: LVL - Laminated Veneer Lumber Louisiana Pacific 2900Fb-2.0E
Joist hangers and framing connectors: "Strong Tie" Simpson Co., San Leandro, CA.
- Bolts and washers: ASTM A307 w/3" sq. x 0.229" washers. Bolt holes shall be maximum $\frac{1}{16}$ " larger than bolt size.
- Foundation plates for all exterior walls shall be bolted per Braced Wall Schedule and detail 1 / S1 and concrete note #3 with $\frac{1}{2}$ " diameter bolts at 48" O.C. maximum, unless otherwise noted. Bolts shall be embedded minimum 7" into the concrete.
- Nailing schedule shall be as set forth in Table R602.3 (1) of the 2019 CRC. All nails shall be common wire nails, hot dipped galvanized.
- All exterior framing - Columns, Beams, Joists - shall be compliant w/ CBC 2304.12.2.3 and CRC R317.1.3 - must be "Naturally durable or preservative-treated wood"

CONCRETE

Reinforcing Bar: ASTM A615, Gr. 40 min.

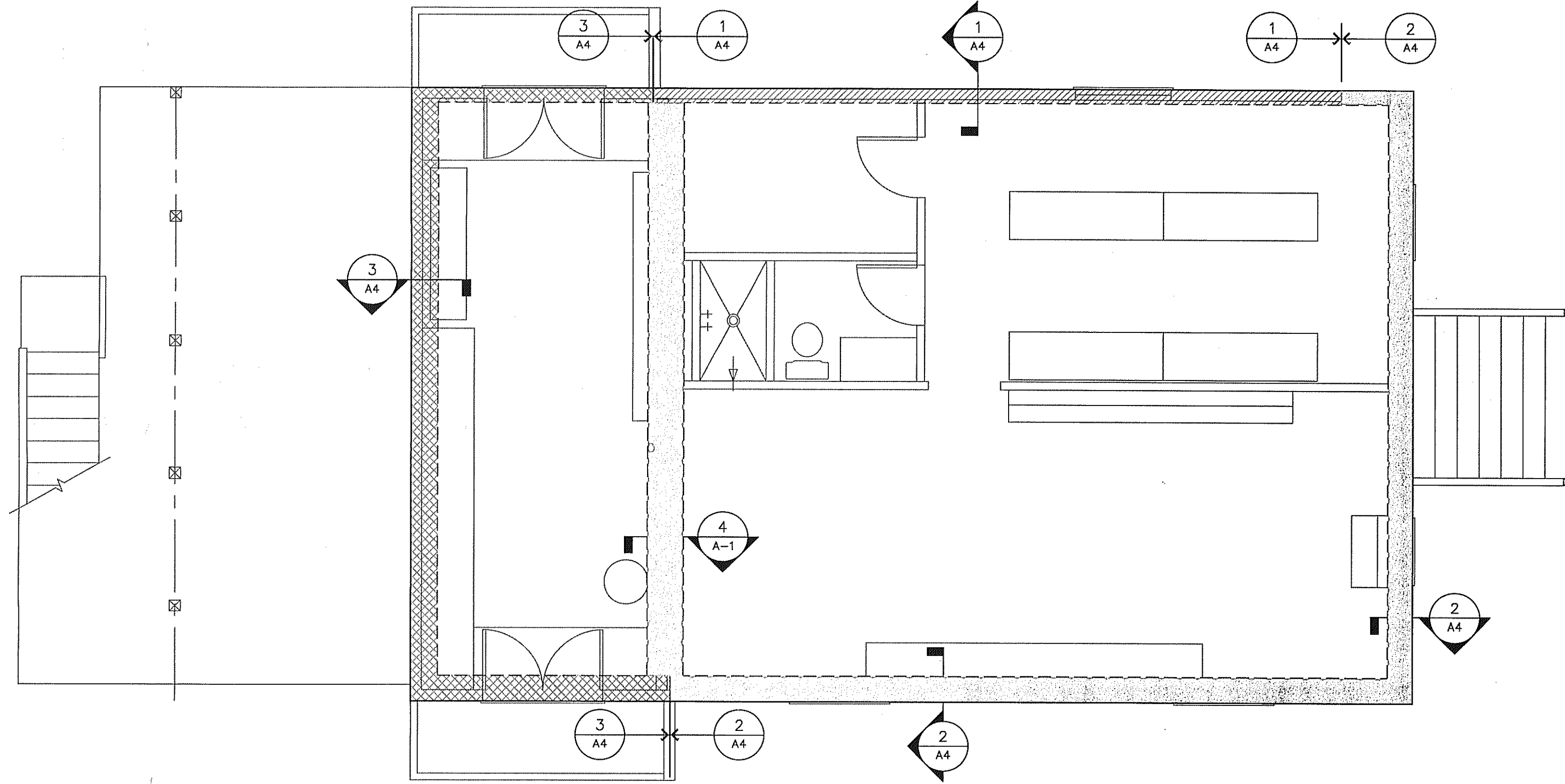
- All concrete shall be normal weight (150 pcf) hard rock concrete designed for 2,500 psi compressive strength.
- Minimum concrete cover requirements for reinforcing steel shall be:
3" when cast against and exposed to earth
2" when formed and exposed to earth or weather
3/4" when not exposed to weather or in contact with ground
- Anchor bolt size and spacing shall be per plan. Bolts shall have 7" minimum embedment into concrete. Bolts shall be located 4 $\frac{1}{2}$ " minimum and 12" maximum from end of sill plate. Anchor bolts and inserts shall be rigidly held into place prior to placing concrete.

Epoxy shall be covert CIA Gel manufactured by Covert Corp. or approved equal.

Concrete patching: SikaTop 122 mortar manufactured by Sika Corp. or approved equal.

ANCHORS & FASTENERS FOR PRESERVATIVE TREATED WOOD

Anchors and fasteners in contact with preservative treated wood to be hot-dipped, zinc coated, galvanized, stainless steel, silicon bronze, copper or as specifically recommended by the treated wood manufacturer, per cbc 2304.9.5.1 (Electro-galvanized nails or staples should not be used). Nails through plywood into preservative treated mudsill are required to be galvanized as well.



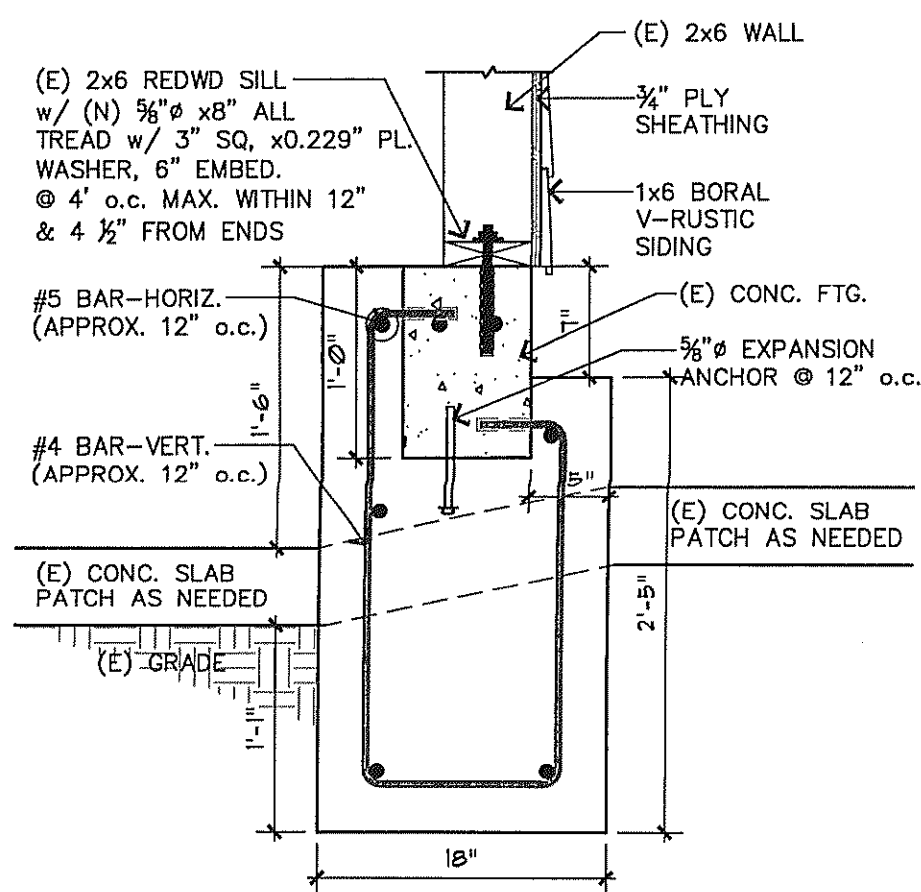
A Foundation Plan
1/4" = 1'-0"

FOUNDATION LEGEND

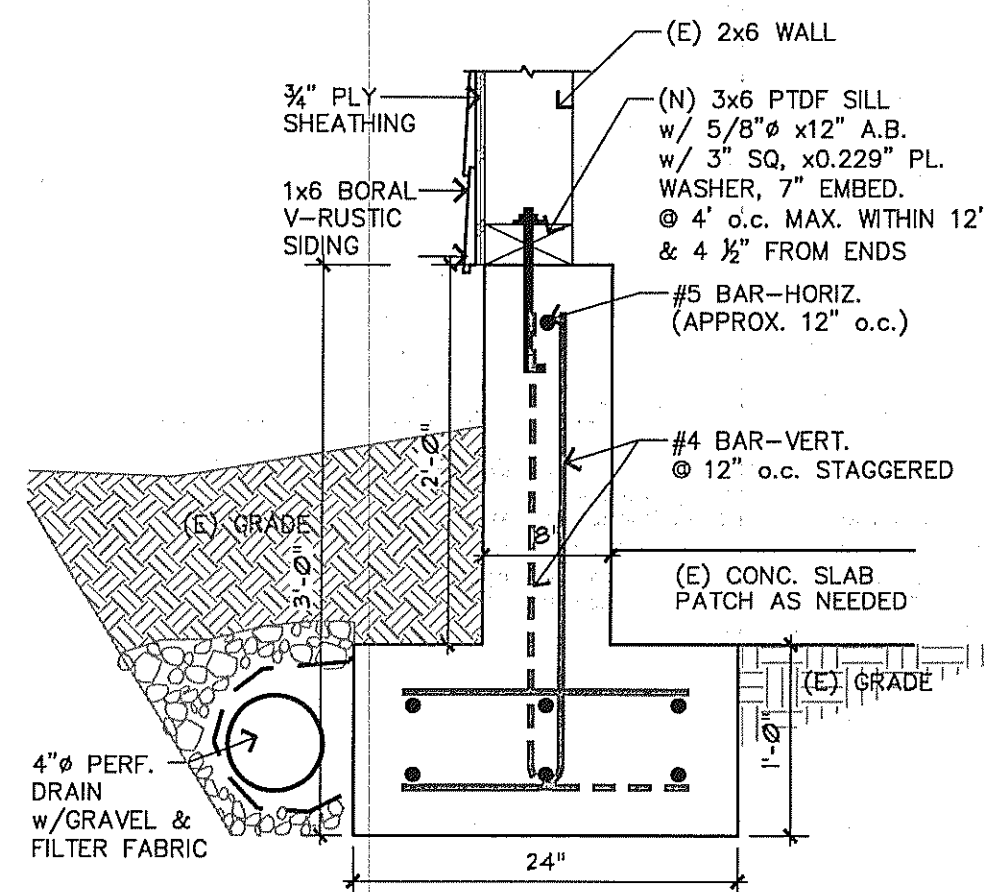
- REINFORCED EXISTING - SEE DETAILS 2 & 4
- NEW-REPLACE IN KIND - SEE DETAIL 1
- NEW-REPLACE IN KIND - SEE DETAIL 3

10

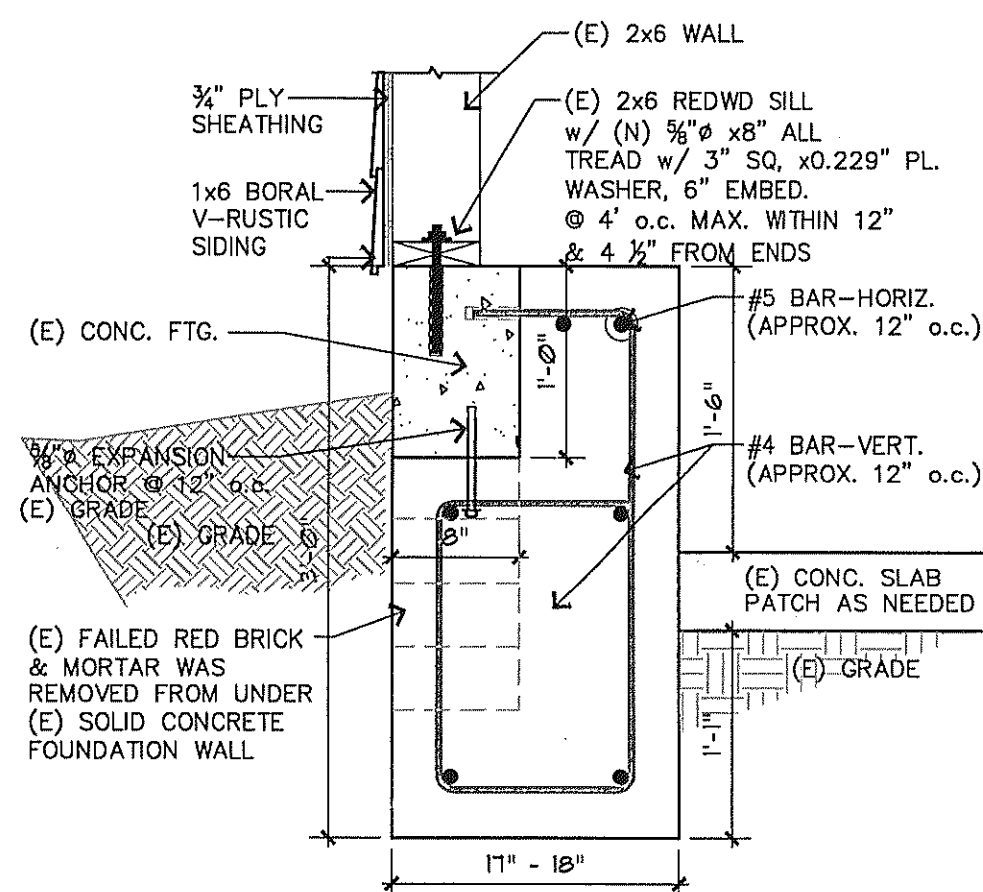
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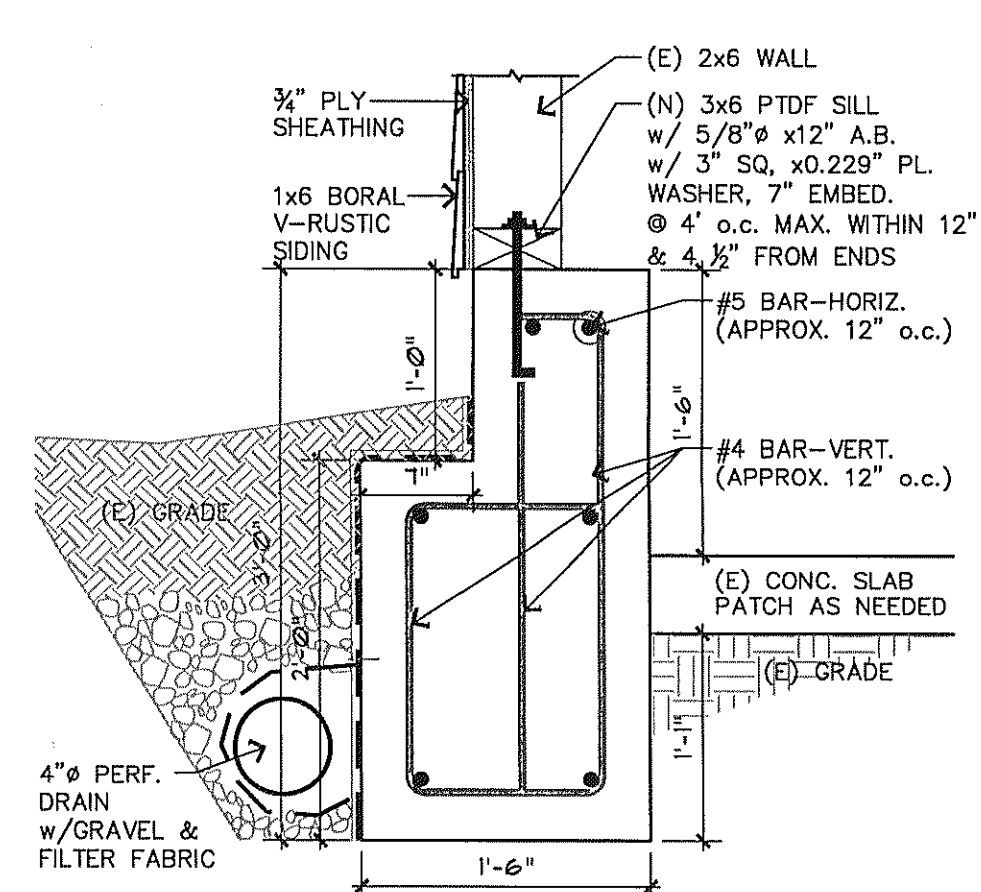
SCALE 1" = 1'-0"



SCALE 1" = 1'-0"



SCALE 1" = 1'-0"



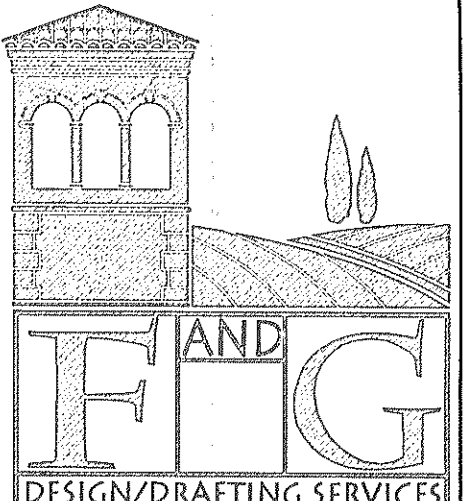
SCALE 1" = 1'-0"

4 FOUNDATION DETAIL REINFORCED EXISTING FOUND.

3 FOUNDATION DETAIL (NEW) "REPLACE IN KIND"

2 FOUNDATION DETAIL REINFORCED EXISTING FOUND.

1 FOUNDATION DETAIL (NEW) "REPLACE IN KIND"



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APN: 169-091-014

FOUNDATION REPAIR & WINDOW REPLACEMENT FOR:
Schleicher Residence
340 Meadow Way
San Geronimo, CA 95978

FOUNDATION PLAN, FOUNDATION DETAILS

DATE	December 2, 2021
SCALE	AS NOTED
PROJ.#	2021-023-Karl Schleicher
FILE	
SHEET	

04-A4
OF SHEETS