

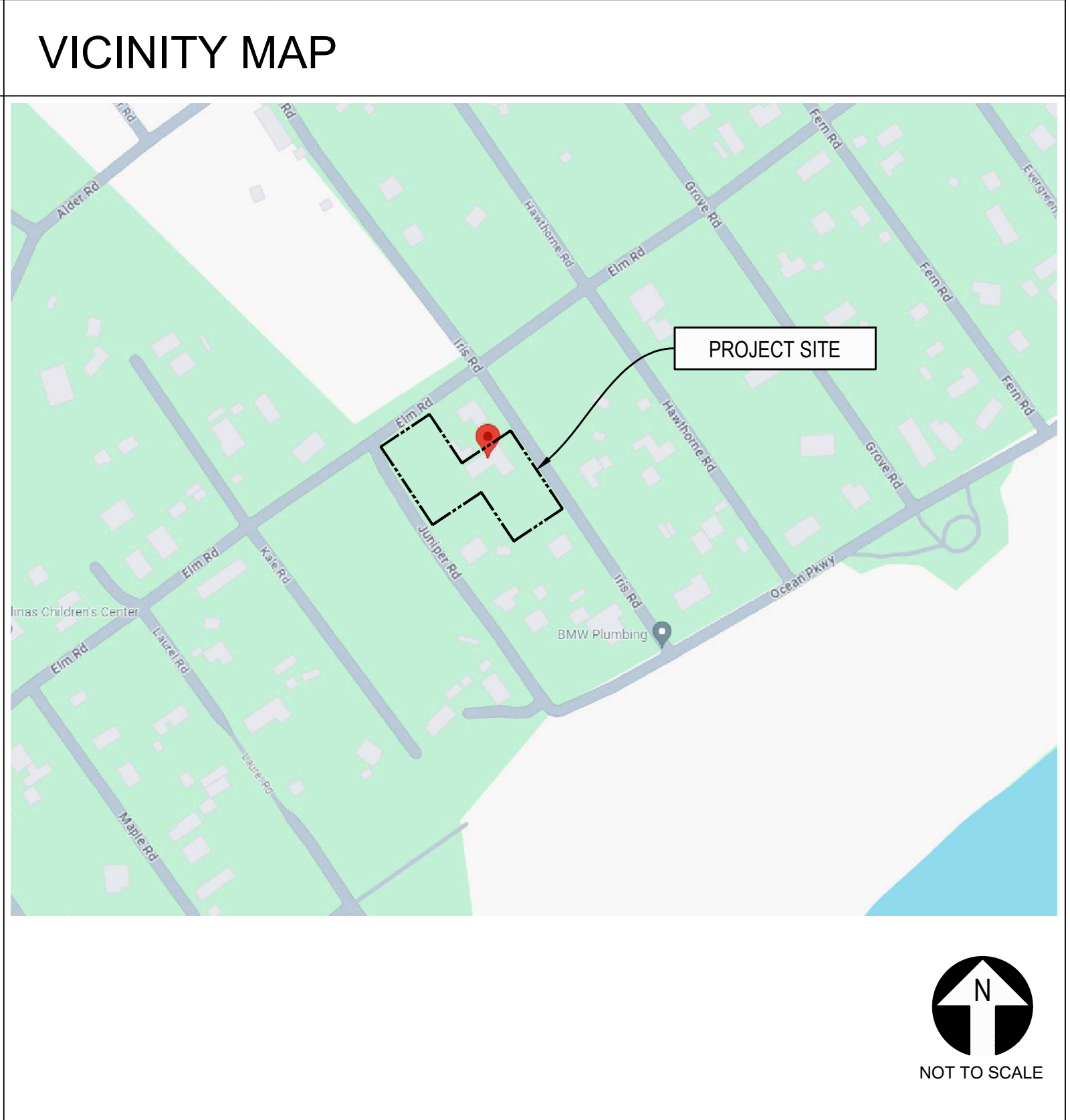
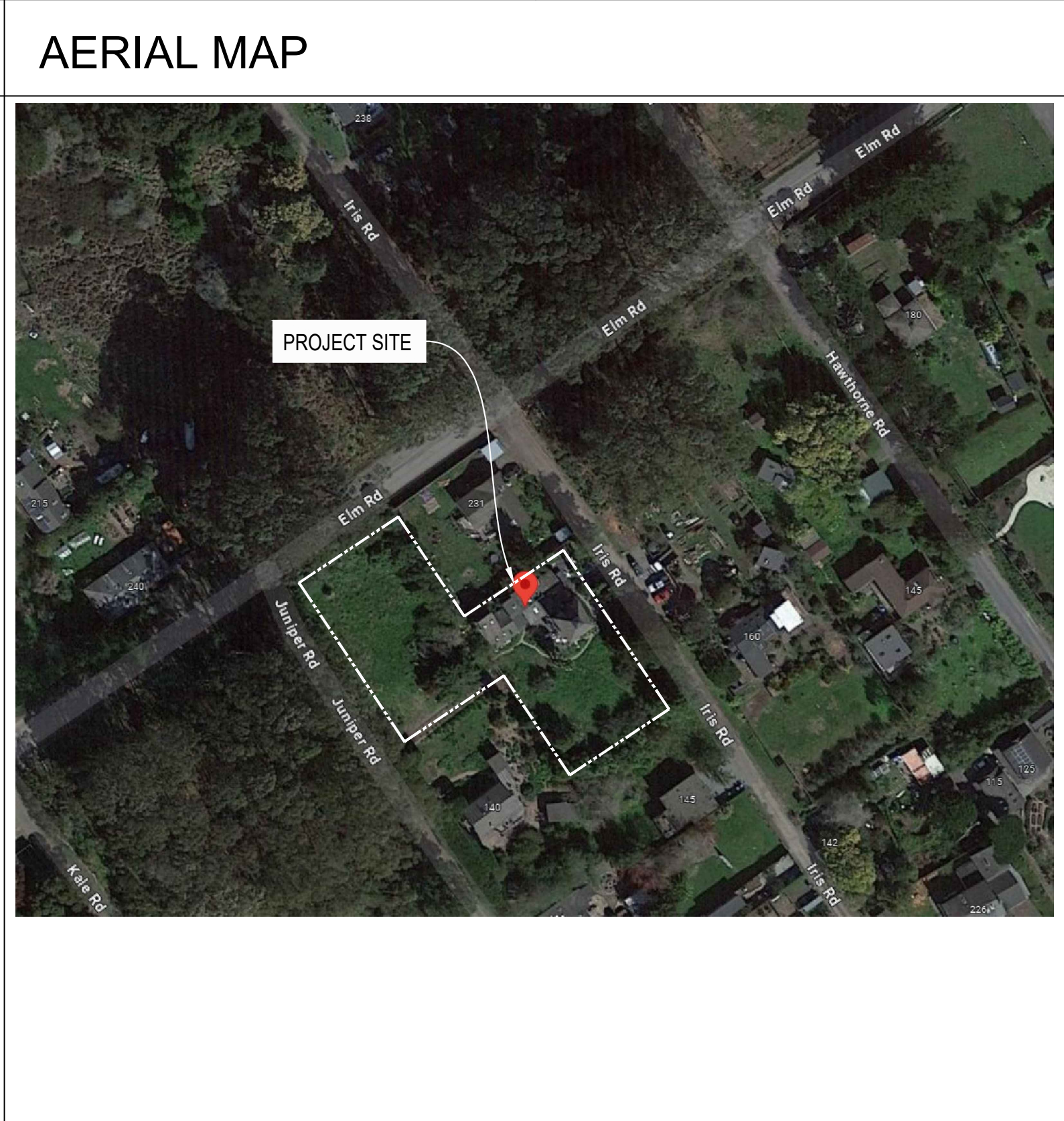
ABBREVIATIONS					
#	POUND OR NUMBER	EXT	EXTERIOR	OH	OVERHANG
&	AND	FD	FLOOR DRAIN OR FIRE DEPARTMENT	OPP	OPPOSITE OR OPPOSITE HAND
@	AT	FF	FINISHED FACE OR FINISHED FLOOR	OZ	OUNCE
ACT	ACOUSTIC CEILING TILE	FFL	FINISHED FLOOR LEVEL	PCC	PRE-CAST CONCRETE
AD	AREA DRAIN	FIXT	FIXTURE	PLUMB	PLUMBING
AFF	ABOVE FINISHED FLOOR	FLR	FLOOR	PLYD	PLYWOOD
ALUM	ALUMINUM	FM	FILLED METAL	PSL	PRIVATE SEWER LATERAL
ANOD	ANODIZED	FO	FACE OF	PT	PRESSURE TREATED
BSMT	BASEMENT	FND	FOUNDATION	PTDF	PRESSURE TREATED DOUGLAS FIR
BYND	BEYOND	FV	FIELD VERIFY	PNT	PAINT OR PAINTED
BOT	BOTTOM	GA	GAUGE	PVC	POLYVINYL CHLORIDE
BLK'G	BLOCKING	GALV	GALVANIZED	RBR	RUBBER
BD	BOARD	GWB	GYPSTUM WALL BOARD	RCP	REFLECTED CEILING PLAN
CIP	CAST IN PLACE	HC	HOLLOW CORE	RD	ROOF DRAIN
CHNL	CHANNEL	HCD	HOUSING AND COMMUNITY DEVELOPMENT (CA STATE)	REQD	REQUIRED
CJ	CONTROL JOINT			RM	ROOM
CL	CENTER LINE	HI	HIGH	RWL	RAIN WATER LEADER
CLG	CEILING	HM	HOLLOW METAL	RYSB	REAR YARD SETBACK
CLR	CLEAR	HP	HIGH POINT	SIM	SIMILAR
CMU	CONCRETE MASONRY UNIT	HR	HOUR	SD	SMOKE DETECTOR
COL	COLUMN	HUD	DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT	SPEC	SPECIFIED OR SPECIFICATION
COMPR	COMPRESSIBLE			SPK	SPRINKLER OR SPEAKER
CONC	CONCRETE	HVAC	HEATING, VENTILATING, AND AIR CONDITIONING	SSD	SEE STRUCTURAL DRAWINGS
CONT	CONTINUOUS			SSTL	STAINLESS STEEL
CVRG	COVERAGE	IRGWB	IMPACT RESISTANT GYPSUM WALL BOARD	STC	SOUND TRANSMISSION COEFFICIENT
CPT	CARPET			STL	STEEL
CT	CERAMIC TILE	ILO	IN LIEU OF	STRUCT	STRUCTURE OR STRUCTURAL
CTYD	COURTYARD	INSUL	INSULATED OR INSULATION	SYSG	SIDE YARD SETBACK
DBL	DOUBLE	INT	INTERIOR	T&G	TONGUE AND GROOVE
DEMO	DEMOLISH OR DEMOLITION	LO	LOW	TELE	TELEPHONE
DIA	DIAMETER	MAX	MAXIMUM	TLT	TOILET
DIM	DIMENSION	MFRD	MANUFACTURED	TME	TO MATCH EXISTING
DIMS	DIMENSIONS	MFRR	MANUFACTURER	TO	TOP OF
DN	DOWN	MO	MASONRY OPENING	TOC	TOP OF CONCRETE
DR	DOOR	MECH	MECHANICAL	TPD	TOILET PAPER DISPENSER
DWG	DRAWING	MEMBR	MEMBRANE	T/D	TELEPHONE/DATA
EA	EACH	MIN	MINIMUM	TYP	TYPICAL
EJ	EXPANSION JOINT	MRGWB	MOISTURE-RESISTANT GYPSUM WALL BOARD	UNO	UNLESS NOTED OTHERWISE
ELEC	ELECTRICAL			U/S	UNDERSIDE
ELEV	ELEVATOR OR ELEVATION	MTL	METAL	U.G.	UNDERGROUND
EPDM	ETHYLENE PROPYLENE DIENE M-CLASS	NIC	NOT IN CONTRACT	VIF	VERIFY IN FIELD
EQ	EQUAL	NO	NUMBER	VP	VISION PANEL
EXIST	EXISTING	NOM	NOMINAL	W/	WITH
EXP JT	EXPANSION JOINT	OC	ON CENTER	WD	WOOD

APPLICABLE CODES
<p>THE MANUFACTURED HOME: 2022 HUD APPROVED APPROVED BY THE UNITED STATES DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT (HUD) HUD APPROVED HOMES ARE REVIEWED AND INSPECTED BY THE DESIGN APPROVAL PRIMARY INSPECTION AGENCY (DAPIA) &amp; IN-PLANT INSPECTION AGENCY (IPIA). HUD APPROVED HOMES ARE AFFIXED WITH AN APPROVAL PLACARD THAT IS VERIFIED IN THE FIELD PRIOR TO THE RELEASE OF THE CERTIFICATE OF OCCUPANCY.</p> <p>ALL SITE WORK AND UTILITY CONNECTIONS: CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24 &amp; TITLE 25 2022 CALIFORNIA BUILDING CODE (CBC) 2022 CALIFORNIA RESIDENTIAL CODE (CRC) 2022 CALIFORNIA ELECTRICAL CODE (CEC) 2022 CALIFORNIA MECHANICAL CODE (CMC) 2022 CALIFORNIA PLUMBING CODE (CPC) 2022 CALIFORNIA FIRE CODE (CFC) ALL CURRENT APPLICABLE STATE AND LOCAL CODES ALL LOCAL MUNICIPAL CODES</p> <p>THE INTENT OF THE DRAWINGS AND SPECIFICATIONS IS TO CONSTRUCT REFERENCED PROJECT IN ACCORDANCE WITH CODE STRUCTURE LISTED ABOVE. SHOULD ANY CONDITION DEVELOP NOT COVERED BY THE CONTRACT DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH SAID CODE STRUCTURE, A CHANGE ORDER DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY THE AGENCY HAVING JURISDICTION BEFORE PROCEEDING WITH THE WORK.</p>
<p><b>DESIGN BUILD SITE UTILITIES</b></p> <p>1) PLUMBING - REFER TO UTILITY KEYNOTE 1 ON SHEET A1.1</p> <p>2) SEPTIC - UNDER SEPARATE PERMIT. REFER TO UTILITY KEYNOTE 2 ON SHEET A1.1</p> <p>3) ELECTRICAL - REFER TO UTILITY KEYNOTE 3 ON SHEET A1.1</p>
<p><b>CA EXEMPT ADU</b></p> <p>THE MANUFACTURED HOME IS A CALIFORNIA STATEWIDE EXEMPTION ADU NO GREATER THAN 800 S.F., ≤ 16' IN HEIGHT AND 4' MIN FROM PROPERTY LINES. LOCAL ORDINANCES FOR THE FOLLOWING SHALL NOT APPLY TO THE INSTALLATION OF THIS ADU: MINIMUM LOT SIZE, LOT COVERAGE, FLOOR AREA OR OPEN SPACE REQUIREMENTS, SETBACKS AND FINISH REQUIREMENTS. [GOVT. CODE § 65852.2 (e)(1)(D)]</p>

PROJECT DATA
<p>2022 HUD APPROVED, MANUFACTURED ACCESSORY DWELLING UNIT (ADU)</p> <p>185 IRIS RD BOLINAS, CA 94924</p> <p>APN: 191-172-17</p> <p>ZONING: C-RA-B2</p> <p>LOT SIZE: 31,993.27 S.F. ADU SIZE: 747 S.F. ADU HEIGHT: 14'-0" (15'-0" MAX.) EXISTING RESIDENCE: 2,313 S.F.</p> <p>NUMBER OF STORIES: EXISTING RESIDENCE: 2 ADU: 1</p> <p>OCCUPANCY GROUP: R-3 CONSTRUCTION TYPE: V-B WITHIN 1/2 MILE OF TRANSIT: NO (1.3 MI) HYDRANT WITHIN 400': YES (SEE A1) FIRE SAFE ROAD WITHIN 150': YES (SEE A1) BURN ZONE: MODERATE FEMA FLOOD ZONE: X WILDLAND URBAN INTERFACE (WUI): YES (SEE A2)</p>
<p><b>GENERAL NOTES</b></p> <p>1. PRIOR TO FINAL INSPECTION ALL APPLICABLE CERTIFICATIONS OF THE HUD MANUFACTURED HOME WILL BE REQUIRED TO BE SUBMITTED.</p> <p>2. LANDSCAPE IS NOT IN PROJECT SCOPE</p>

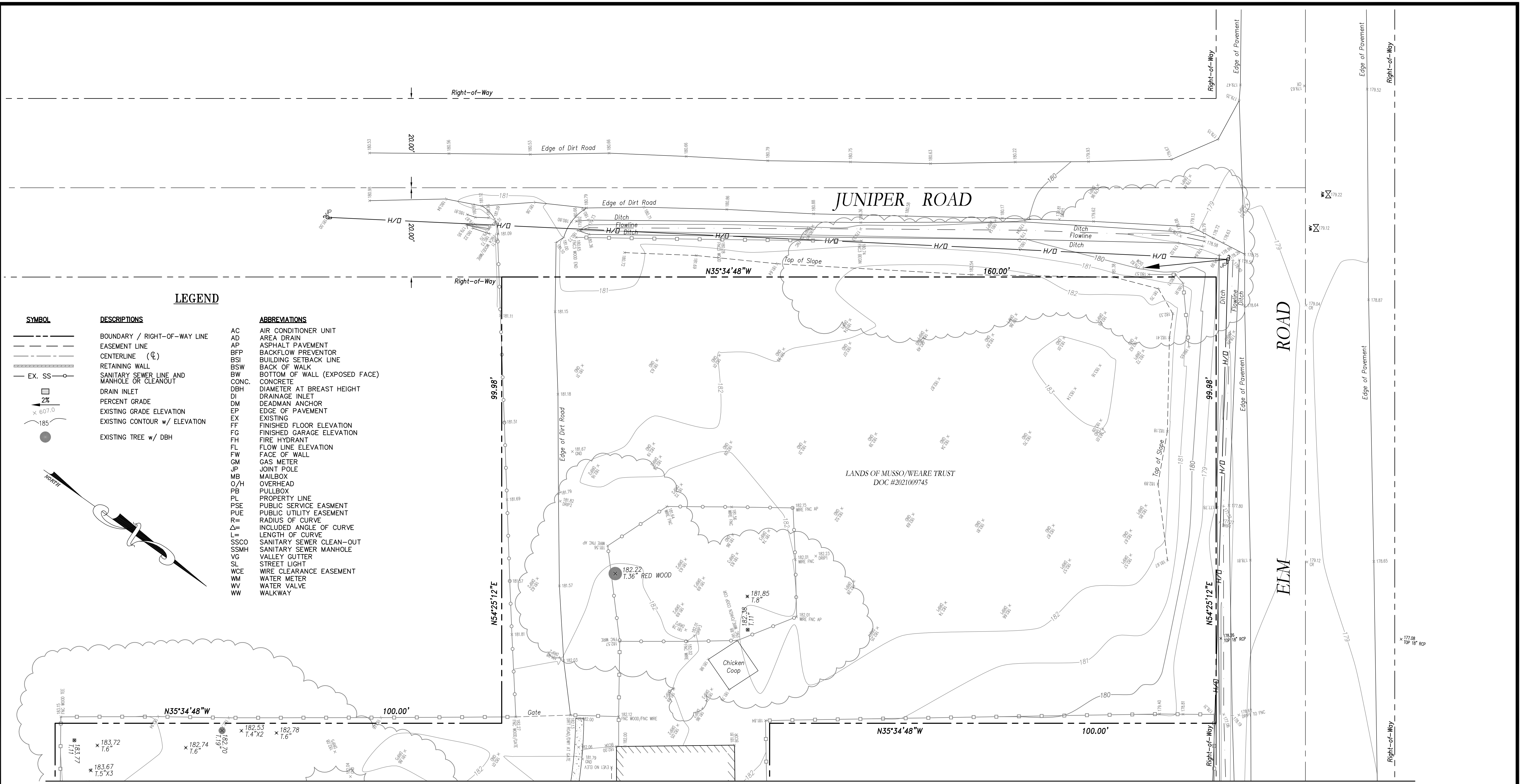
PROJECT INFORMATION																														
<p><b>PROJECT LOCATION</b></p> <p>185 IRIS RD BOLINAS, CA 94924</p> <p><b>PROJECT SCOPE OF WORK</b></p> <p>INSTALLATION OF A 747 S.F., 1-BEDROOM, 2022 HUD APPROVED, MANUFACTURED ACCESSORY DWELLING UNIT (ADU)</p> <p><b>ALL-ELECTRIC ADU</b></p> <p>MANUFACTURED HOME TO BE EQUIPPED WITH NFPA 13D APPROVED FIRE SPRINKLERS PER CCR TITLE 25 SECTION 4300. PRIMARY RESIDENCE IS NOT EQUIPPED WITH FIRE SPRINKLERS.</p>																														
<p><b>PROJECT DIRECTORY</b></p> <table border="0"> <tr> <td><b>DESIGNER</b></td> <td><b>OWNER</b></td> </tr> <tr> <td>VILLA HOMES 1 LETTERMAN DR. BUILDING C SAN FRANCISCO, CA 94129 CSLB LICENSE #: 1077688 (B) PERMIT PROJECT CONTACT: LINDSEY NEGRO 858-815-3503 PERMITTING@VILLAHOMES.COM</td> <td>CHRISTOPHER WEARE PHONE: 213-280-5331 185 IRIS RD BOLINAS, CA 94924</td> </tr> </table> <p><b>MANUFACTURED HOME</b></p> <p>CHAMPION HOME BUILDERS 755 WEST BIG BEAVER ROAD SUITE 1000 TROY, MICHIGAN 48084</p>	<b>DESIGNER</b>	<b>OWNER</b>	VILLA HOMES 1 LETTERMAN DR. BUILDING C SAN FRANCISCO, CA 94129 CSLB LICENSE #: 1077688 (B) PERMIT PROJECT CONTACT: LINDSEY NEGRO 858-815-3503 PERMITTING@VILLAHOMES.COM	CHRISTOPHER WEARE PHONE: 213-280-5331 185 IRIS RD BOLINAS, CA 94924																										
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GEOTECHNICAL INVESTIGATION
<p>THE FOUNDATION SYSTEM SHALL COMPLY WITH ALL REQUIREMENTS OF THE GEOTECHNICAL INVESTIGATION PREPARED BY QUALITY CONTROL SOUTHWEST, INC, DATED APRIL 20, 2024.</p> <p><b>REFER TO THE FULL INVESTIGATION FOR ADDITIONAL REQUIREMENTS</b></p> <p>FOUNDATIONS (PER SECTION 5.6.1 OF THE GEOTECHNICAL INVESTIGATION):</p> <p>FOUNDATION RECOMMENDATIONS PRESENTED HEREIN ARE BASED ON THE ANTICIPATED LOW EXPANSION POTENTIAL OF NEAR SURFACE SOILS AFTER REMEDIAL SITE GRADING IS PERFORMED (EXPANSION INDEX OF 50 OR LESS). CONTINUOUS PERIMETER FOOTINGS OR ISOLATED INTERIOR FOOTINGS ARE SUITABLE FOR USE AT THIS SITE. BASED ON THE EXPECTED AS-GRADED CONDITIONS, ALL FOOTINGS SHOULD BE FOUNDED UPON A MINIMUM OF ONE FOOT OF COMPACTED ENGINEERED FILL MATERIALS.</p> <p>FOLLOWING THE RECOMMENDED PREPARATORY GRADING, CONTINUOUS FOOTINGS AT LEAST 12-INCHES IN MINIMUM WIDTH AND ISOLATED FOOTINGS AT LEAST 18-INCHES IN MINIMUM WIDTH BOTH EMBEDDED AT LEAST 18-INCHES BELOW ADJACENT ROUGH PAD GRADE SHOULD BE DESIGNED BASED ON A BEARING VALUE OF 1,500 POUNDS PER SQUARE FOOT (PSF) FOR DEAD PLUS LIVE LOADS, WITH A ONE-THIRD INCREASE ALLOWABLE FOR WIND AND /OR SEISMIC FORCES.</p> <p>MINIMUM REINFORCEMENT FOR CONTINUOUS FOOTINGS SHOULD CONSIST OF FOUR NO. 4 REINFORCING BARS; TWO PLACED NEAR THE TOP AND TWO PLACED NEAR THE BOTTOM, OR AS PER PROJECT STRUCTURAL ENGINEER. ALL FOOTINGS SHOULD BE REINFORCED AS REQUIRED BY THE STRUCTURAL ENGINEER TO PROVIDE STRUCTURAL CONTINUITY, TO PERMIT STRONG SPANNING OF LOCAL IRREGULARITIES AND TO BE RIGID ENOUGH TO ACCOMMODATE POTENTIAL DIFFERENTIAL STATIC MOVEMENTS ESTIMATED AT ABOUT ONE INCH OVER 30 LINEAR FEET.</p> <p>DYNAMIC SETTLEMENT DUE TO AN EARTHQUAKE EVENT IS CALCULATED TO BE ON THE ORDER OF 0.5 INCH WITH DIFFERENTIAL SEISMIC SETTLEMENT OF ABOUT 0.25 INCHES. THE DYNAMIC SETTLEMENT IS IN ADDITION TO THE STATIC SETTLEMENT. THE STRUCTURAL ENGINEER SHOULD PROVIDE RECOMMENDATIONS FOR REINFORCEMENT OF FOOTINGS WITH PIPE PENETRATIONS. FOOTING SUBGRADE SHOULD GENERALLY BE MAINTAINED AT THREE (3) PERCENT OR HIGHER ABOVE OPTIMUM MOISTURE CONTENT UNTIL CONCRETE PLACEMENT.</p>



Detached ADU  
 185 IRIS RD  
 BOLINAS, CA 94924 (APN: 191-172-17)  
 WEARE

REVISION LIST	DATE
Project number	599
Date	5/22/24
<b>TITLE SHEET AND NOTES</b>	
<b>GO</b>	

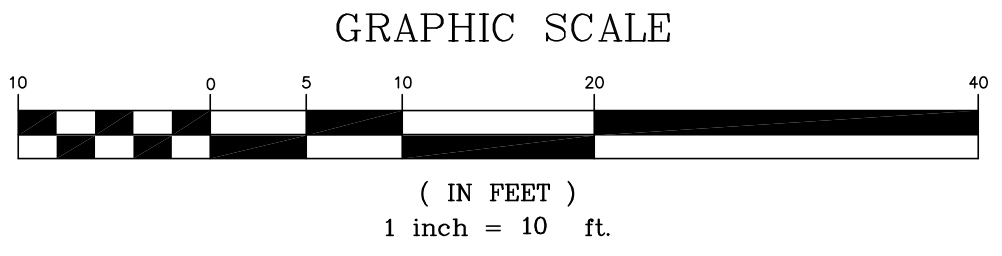


**LEGEND**

SYMBOL	DESCRIPTIONS	ABBREVIATIONS
---	BOUNDARY / RIGHT-OF-WAY LINE	AC AIR CONDITIONER UNIT
- - - -	EASEMENT LINE	AD AREA DRAIN
⊕	CENTERLINE (⊕)	AP ASPHALT PAVEMENT
---	RETAINING WALL	BFP BACKFLOW PREVENTOR
---	EX. SS	BSI BUILDING SETBACK LINE
---		BSW BACK OF WALK
---		BW BOTTOM OF WALL (EXPOSED FACE)
---		CONC. CONCRETE
---		DBH DIAMETER AT BREAST HEIGHT
---		DI DRAINAGE INLET
---		DM DEADMAN ANCHOR
---		EP EDGE OF PAVEMENT
---		EX EXISTING
---		FF FINISHED FLOOR ELEVATION
---		FG FINISHED GARAGE ELEVATION
---		FH FIRE HYDRANT
---		FL FLOW LINE ELEVATION
---		FW FACE OF WALL
---		GM GAS METER
---		JP JOINT POLE
---		MB MAILBOX
---		O/H OVERHEAD
---		PB PULLBOX
---		PL PROPERTY LINE
---		PSE PUBLIC SERVICE EASMENT
---		PUE PUBLIC UTILITY EASEMENT
---		R= RADIUS OF CURVE
---		Δ= INCLUDED ANGLE OF CURVE
---		L= LENGTH OF CURVE
---		SSCO SANITARY SEWER CLEAN-OUT
---		SSMH SANITARY SEWER MANHOLE
---		VG VALLEY GUTTER
---		SL STREET LIGHT
---		WCE WIRE CLEARANCE EASEMENT
---		WM WATER METER
---		WV WATER VALVE
---		WW WALKWAY

CONTINUED ON SHEET V2

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GROSS LOT AREA = 31,993.27 SQ.FT. (0.7344 ACRES)

**VERTICAL DATUM:** ELEVATIONS ARE BASED ON NAVD88 DATUM DERIVED FROM GPS OBSERVATION. BENCHMARK IS A SET MAG NAIL AND TAG IN AC NEAR THE INTERSECTION OF IRIS ROAD WITH ELM STREET.  
 ELEVATION = 181.75 FEET.

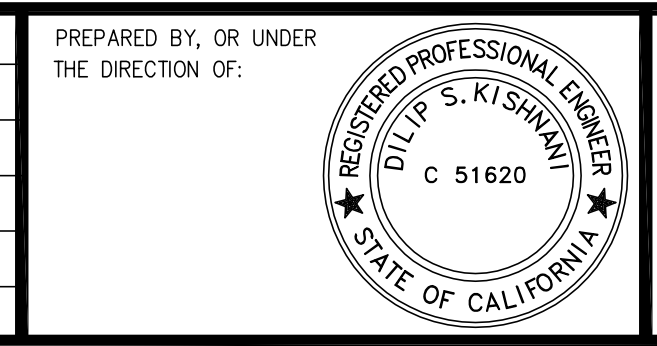
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**SURVEYOR'S STATEMENT**  
 THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS' ACT AT THE REQUEST OF CHRISTOPHER WEARE & JULIET ANN MUSSO IN MARCH 2024.



DAN S. SCOTT III, PLS 7840 DATE

DATE: MARCH 07, 2024				
SCALE: AS NOTED				
DRAWN: DSK				
DESIGNED: DSK				
ENGINEER: DSK				
MANAGER: DSK				
NO.	BY	DATE	REVISIONS	CITY APPR



PREPARED BY, OR UNDER THE DIRECTION OF:  
**STERLING CONSULTANTS**  
 4650 FREMONT BOULEVARD, SUITE NO. 205  
 FREMONT, CA 94538  
 1sterlingconsultants@gmail.com PHONE: 510.344.8955

PREPARED FOR:  
 CHRISTOPHER WEARE & JULIET ANN MUSSO  
 185 IRIS ROAD  
 BOLINAS, CA 94924

APN: 191-172-17

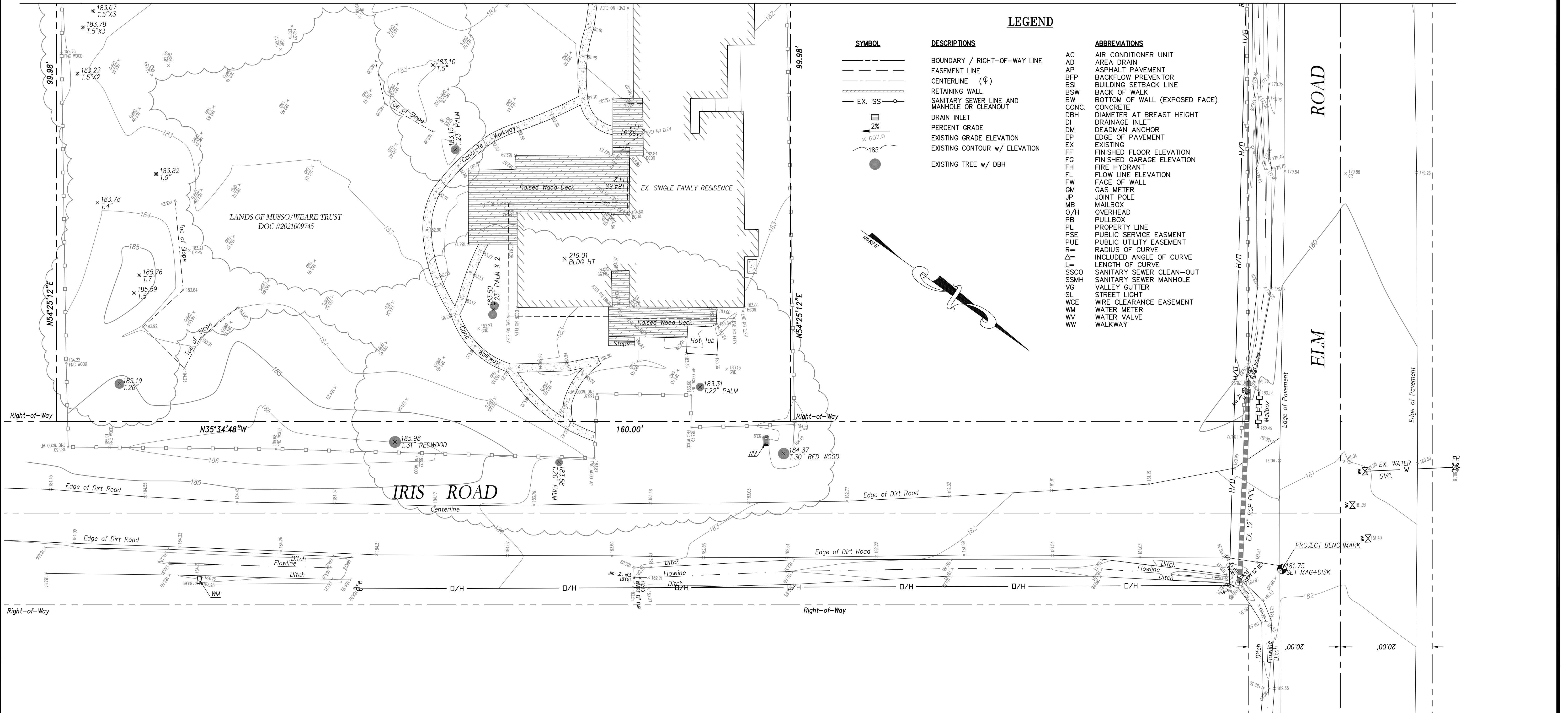
**BOUNDARY & TOPOGRAPHIC SURVEY**

CITY OF BOLINAS COUNTY OF MARIN CALIFORNIA

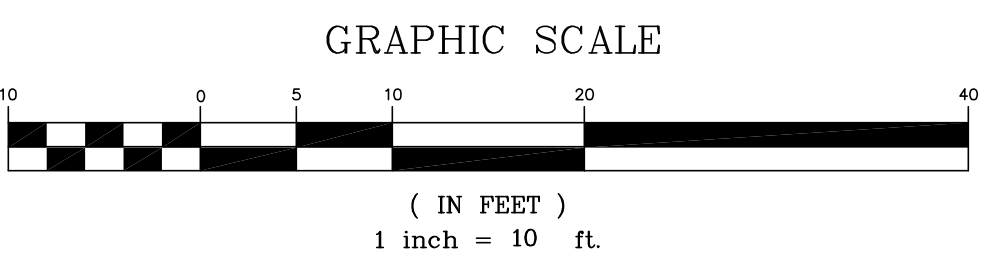
185 IRIS ROAD

SHEET NO. **V1**  
 1 OF 2 SHEETS  
 JOB NO. 2024-013

CONTINUED ON SHEET V1



SYMBOL	DESCRIPTIONS	ABBREVIATIONS
---	BOUNDARY / RIGHT-OF-WAY LINE	AC AIR CONDITIONER UNIT
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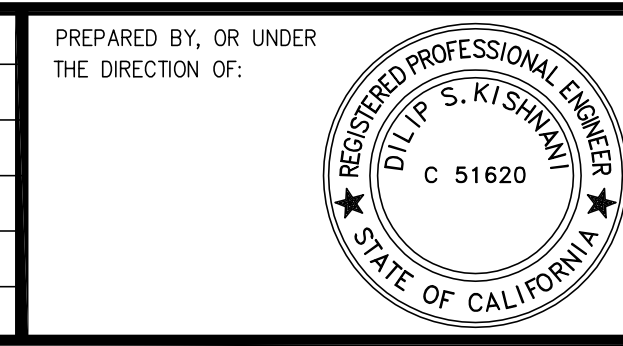
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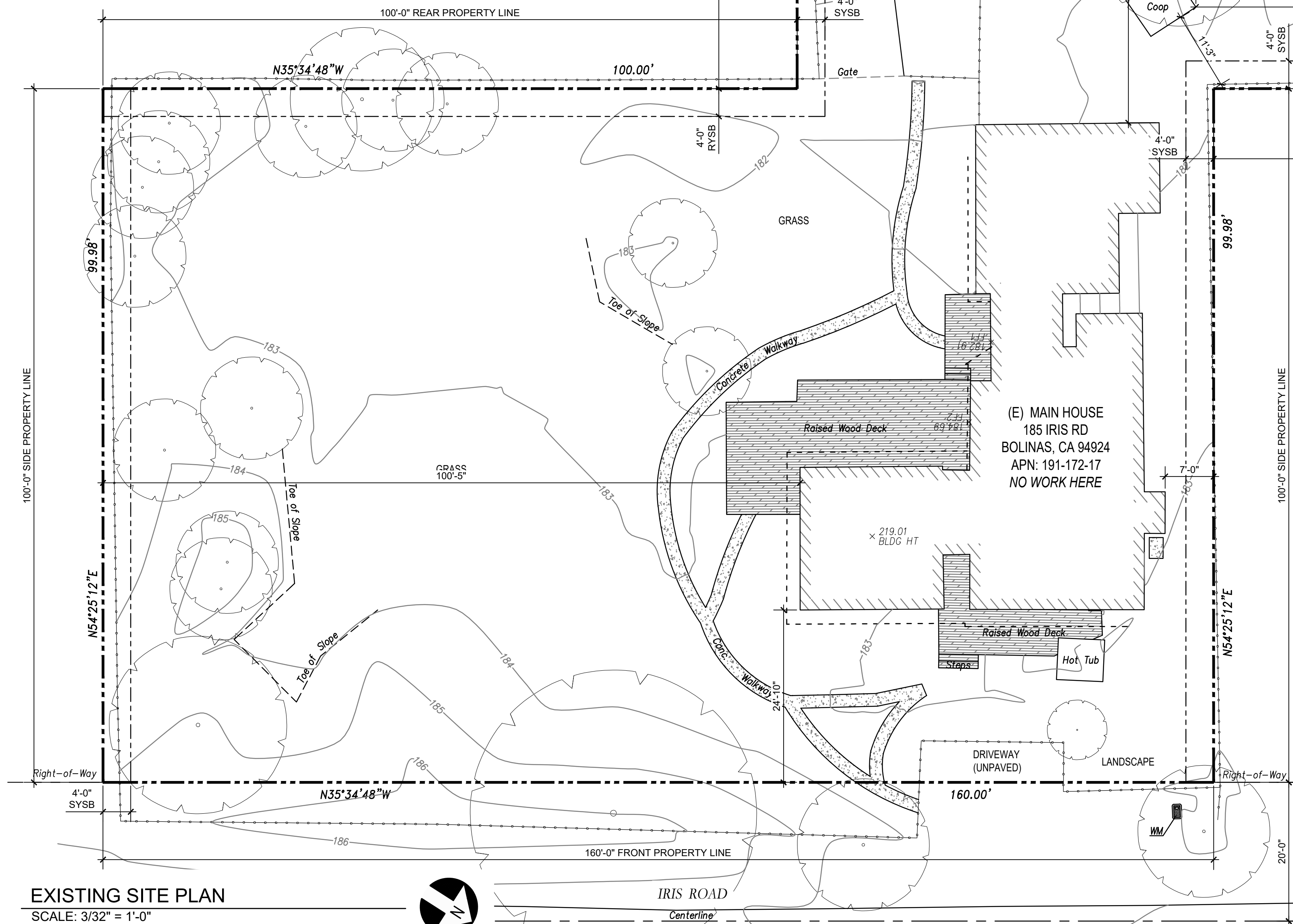
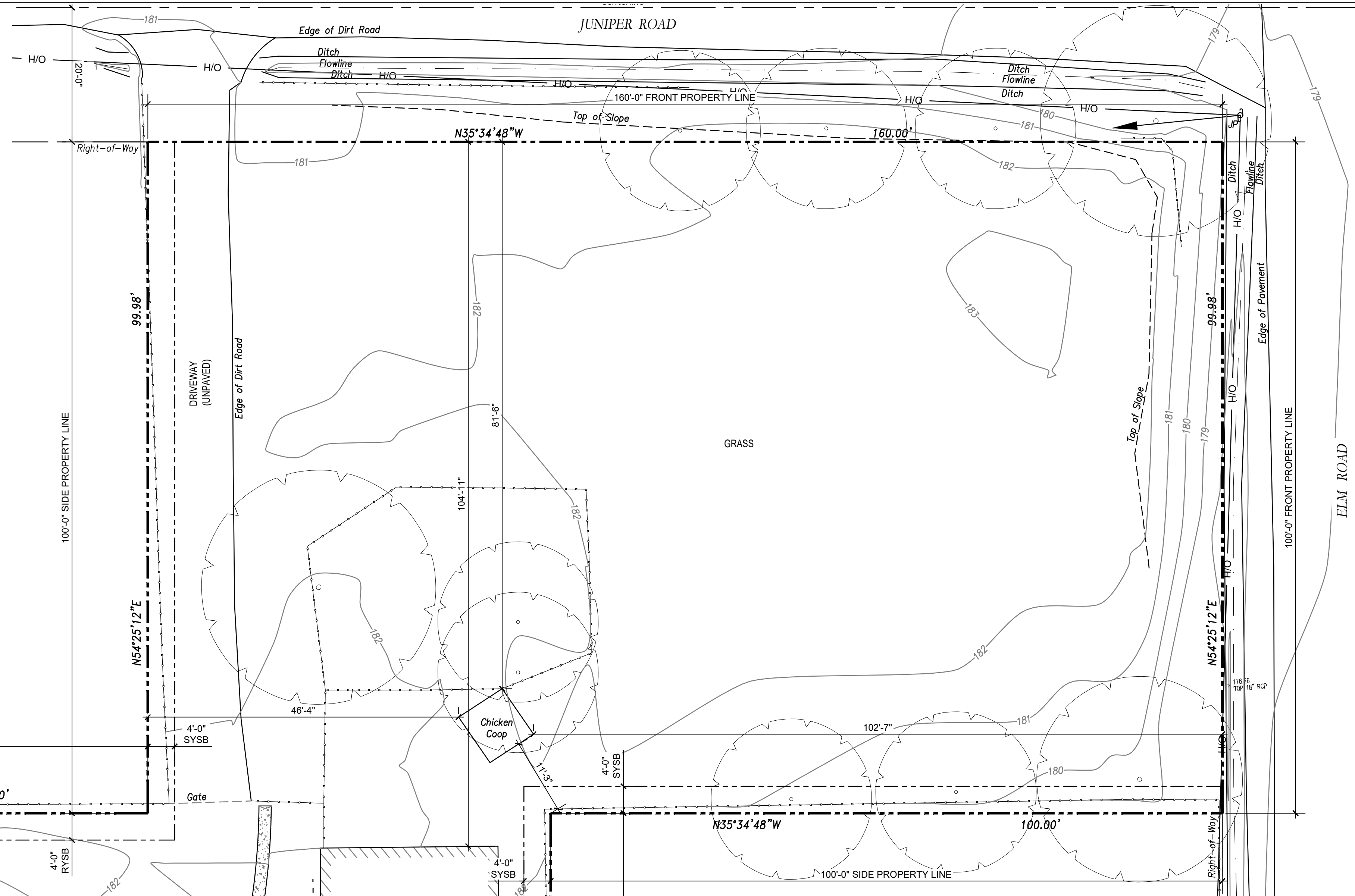
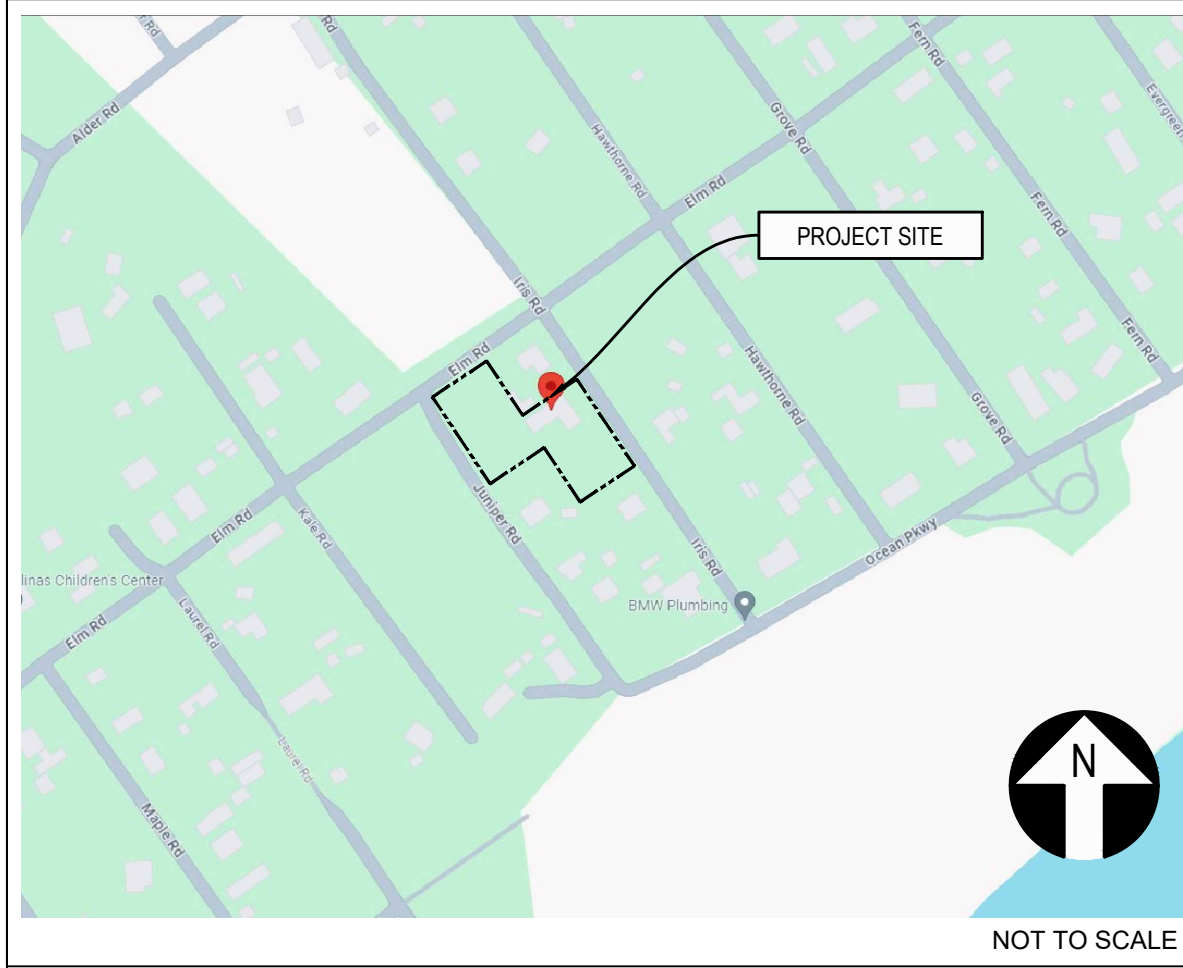
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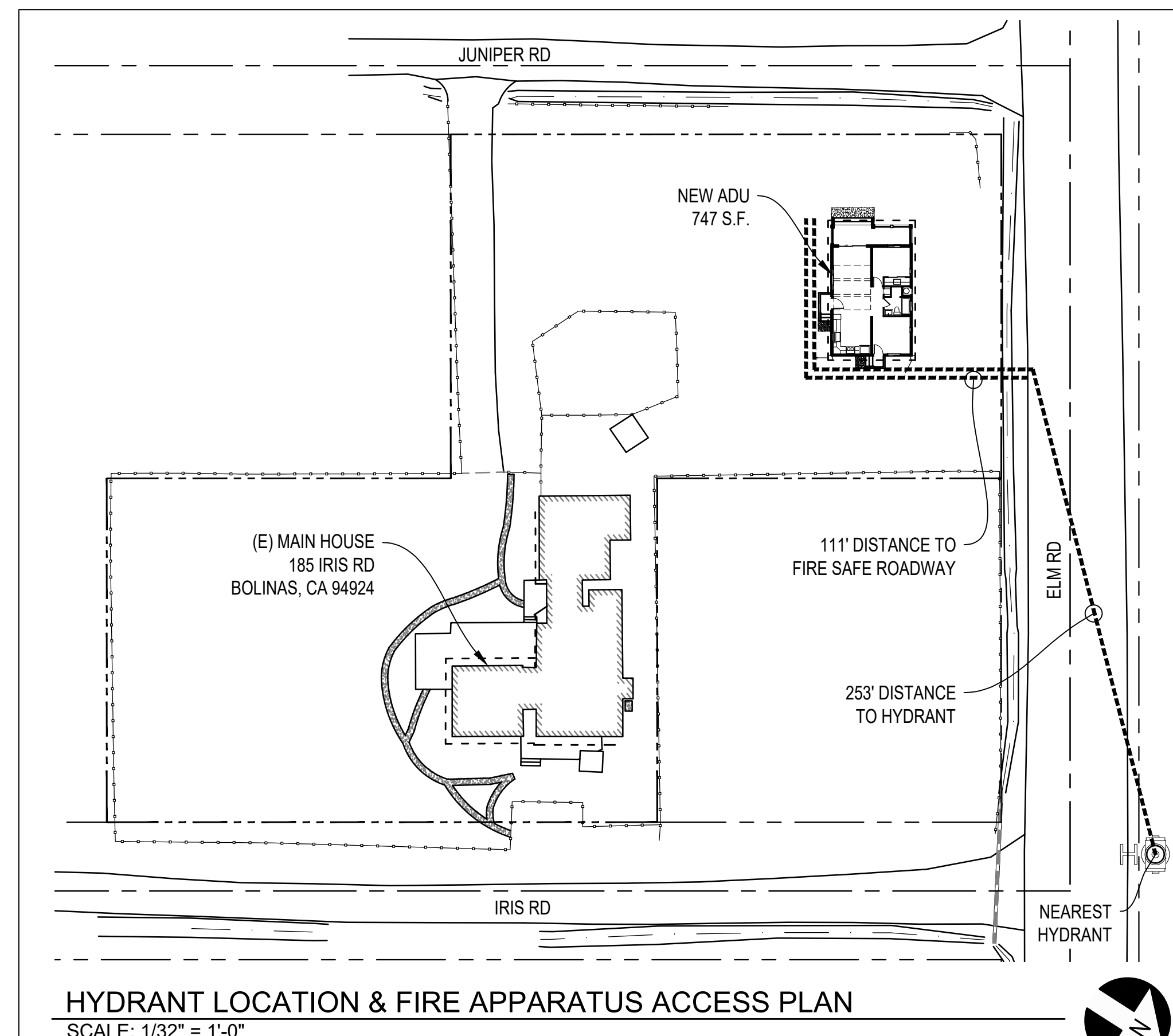
185 IRIS ROAD

SHEET NO. **V2**  
 2 OF 2 SHEETS  
 JOB NO. 2024-013

VICINITY MAP



EXISTING SITE PLAN  
SCALE: 3/32" = 1'-0"



HYDRANT LOCATION & FIRE APPARATUS ACCESS PLAN  
SCALE: 1/32" = 1'-0"



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415.968.1625 PH  
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*Lindsey Negro*  
LINDSEY NEGRO

Detached ADU

185 IRIS RD  
BOLINAS, CA 94924 (APN: 191-172-17)

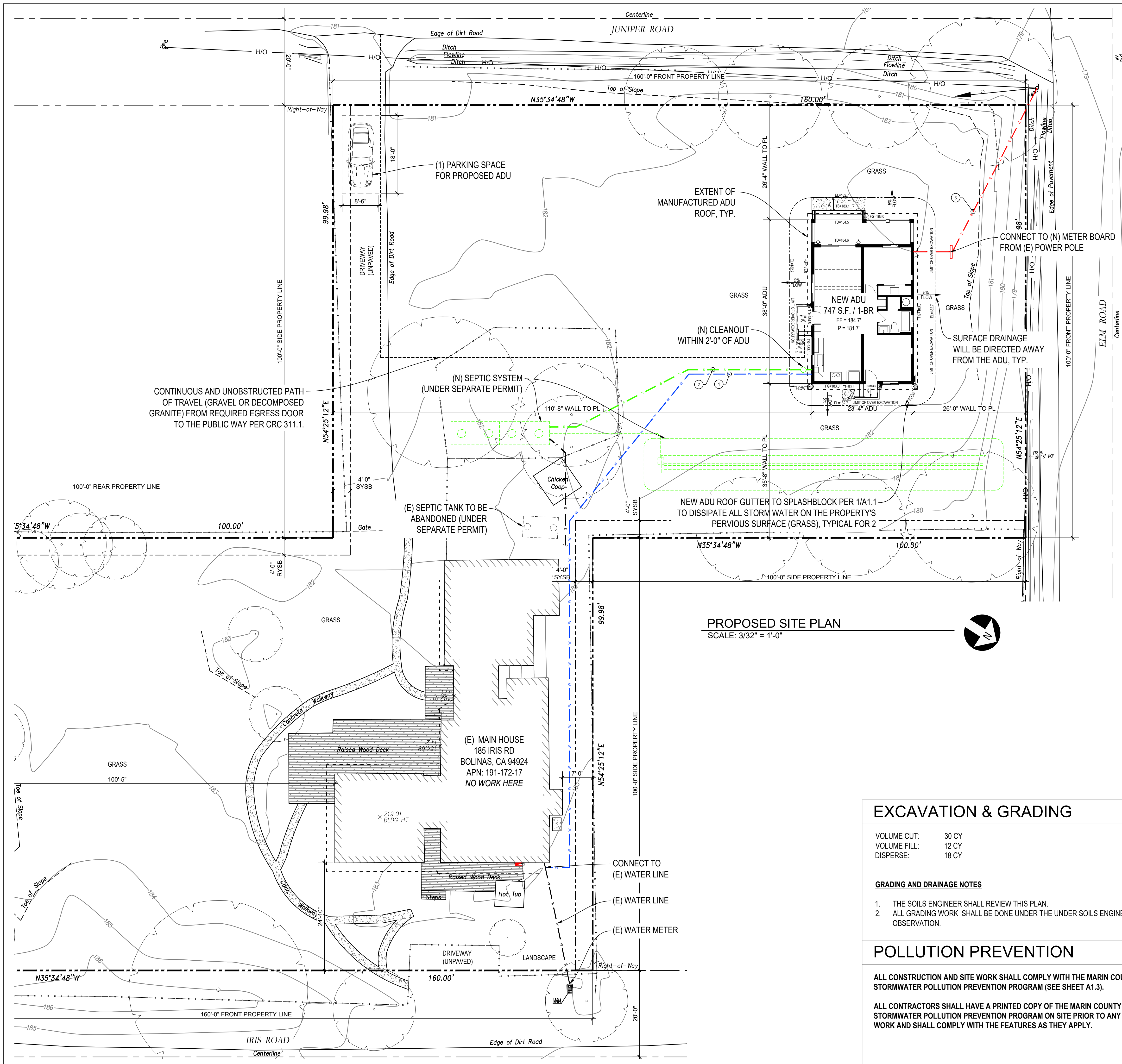
WEARE

REVISION LIST	DATE

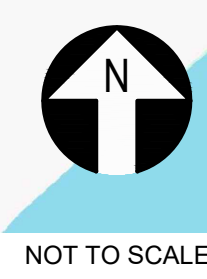
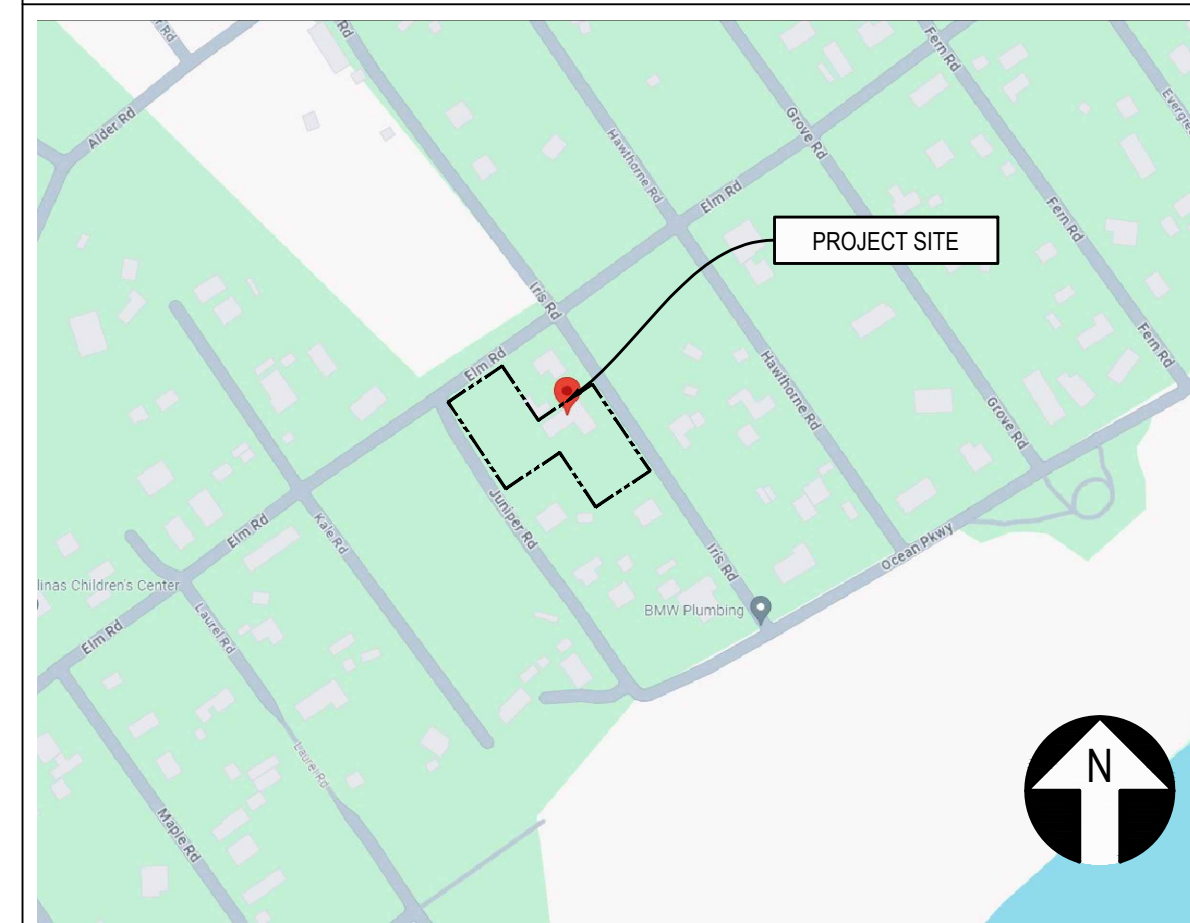
Project number 599  
Date 5/22/24

EXISTING SITE PLAN

A1



**VICINITY MAP**

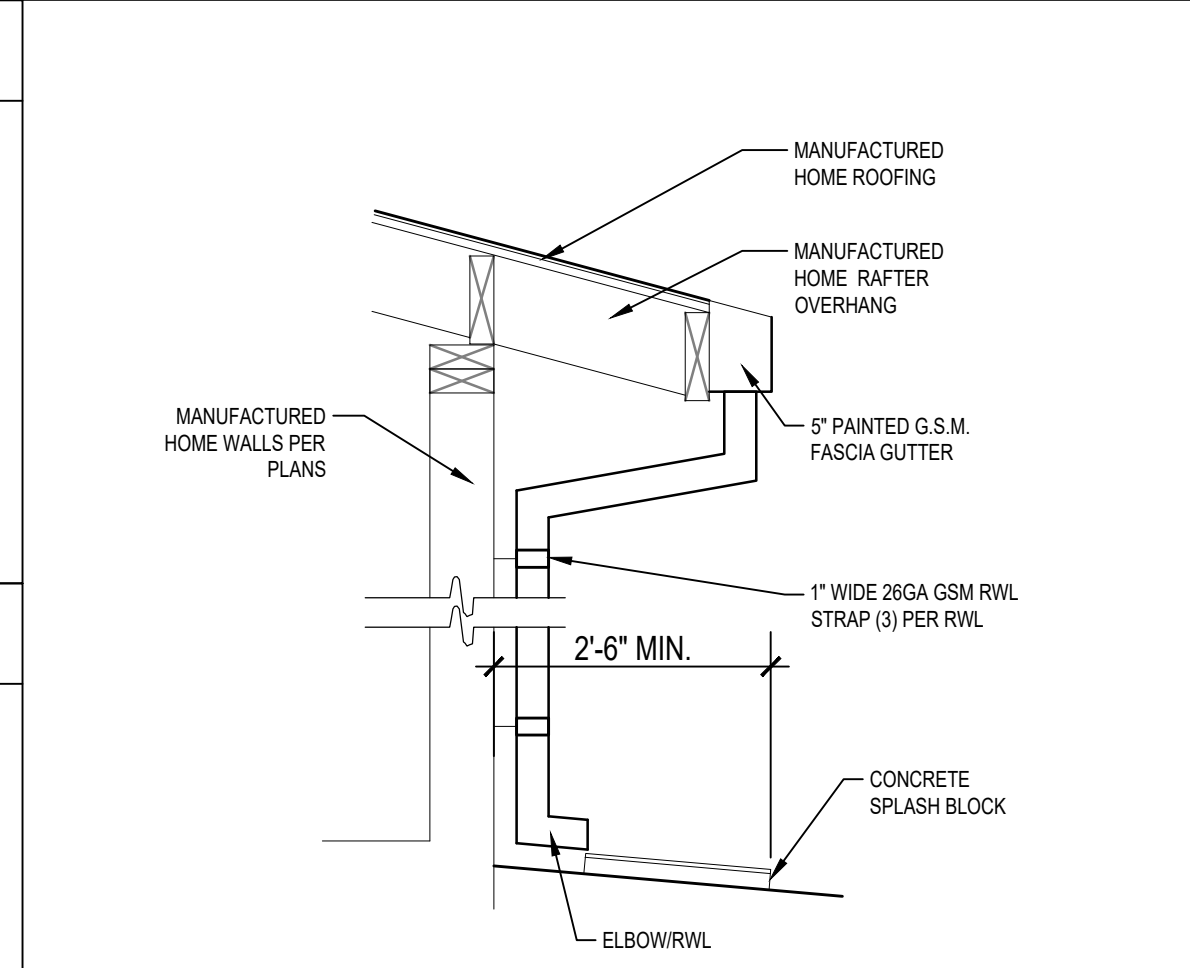


**UTILITY KEYNOTES**

- WATER - FROM EXISTING DOMESTIC SUPPLY SYSTEM (AFTER THE METER) ON SITE FROM CLOSEST CONNECTION POINT OF EXISTING RESIDENCE. 1" PVC SCH 40, INSTALL IN ACCORDANCE WITH CURRENT CPC CODE WITH A SHUT-OFF VALVE @ POINT OF CONNECTION TO EXISTING SUPPLY SYSTEM & PRIOR TO MFR'D HOME CONNECTION WITH NON REMOVABLE BACKFLOW HOSE BIBB (or BIBB-TYPE VACUUM BREAKER ON ALL HOSE BIBBS). PRESSURE REDUCER SHALL BE INSTALLED AT ADU RISER. INSTALL DEDICATED BRANCH LINE TO SERVICE FIRE SPRINKLER SYSTEM PRIOR THE ADU SHUTOFF LOCATION.
- SEPTIC - CONNECT NEW MFR'D HOME TO (N) SEPTIC SYSTEM (UNDER SEPARATE PERMIT) WITH A (N) CLEANOUT AT THE CONNECTION. INSTALL IN ACCORDANCE WITH CURRENT CPC CODE WITH A 3" ABS SCH 40 PIPE & 2% MIN. SLOPE WITH CLEANOUTS LOCATED MORE THAN 5' FROM CRAWL SPACE ACCESS WILL NEED TO EXTENDED TO OUTSIDE.
- ELECTRICAL - (N) UNDERGROUND SERVICE TO (N) METER BOARD FROM (E) ADJACENT POWER POLE. CONNECT NEW MFR'D HOME TO (N) SERVICE PANEL AT METER BOARD.

**SITE PLAN NOTES**

- WASTEWATER GRINDER PUMP - IF DETERMINED ON SITE THAT 2% GRAVITY SEWER PIPE FALL IS NOT AVAILABLE, A GRINDER PUMP/TANK SYSTEM SHALL BE DESIGNED & INSTALLED BY OTHERS (UNDER SEPARATE PERMIT).
- CONTRACTOR TO INSTALL / SETUP OF MODULAR ADU STRUCTURE PER CODE & MFR'R INSTRUCTIONS & ASSURE A WATER TIGHT BUILDING ASSEMBLY.
- ALL EXISTING GRADING IS TO REMAIN. IF REMOVED OR REVISED FOR NEW WORK IT SHOULD BE MINIMAL IN SCOPE TO PROVIDE POSITIVE DRAINAGE. INSTALL PROPER EROSION CONTROL MEASURES AS REQUIRED PER LOCAL CODE.
- ALL UTILITY CONNECTION PERMIT REQUIREMENTS SHALL BE CONFIRMED AND PROCESSED BY THE CONTRACTOR PRIOR TO INSTALLATION WHEN REQUIRED BY THE LOCAL UTILITY COMPANY. CONTRACTOR SHALL VERIFY ALL BUILDING UTILITY LOCATIONS PRIOR TO TRENCHING. DESIGN BUILD.
- CONTRACTOR TO REVIEW GEOTECHNICAL REPORT (IF APPLICABLE) FOR ALL SITE & BUILDING RECOMMENDATIONS PRIOR TO COMMENCING WORK.
- NEW 150 AMP ELECTRICAL PANEL @ NEW ADU WITH UFER GROUND AT SEPARATE BUILDING PANEL IN ACCORDANCE WITH CEC 250.32.
- AN ENGINEERING / ENCROACHMENT PERMIT MAY BE REQUIRED FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY, INCLUDING BUT NOT LIMITED TO DELIVERY OF MFR'D STRUCTURES, CONSTRUCTION STAGING, RESERVED CONSTRUCTION PARKING, SIDEWALK, DRAINAGE, OR SEWER WORK. THE GC IS CONFIRM AND APPLY FOR ANY REQUIRED ENGINEERING / ENCROACHMENT PERMITS PRIOR TO ANY WORK IN THE RIGHT-OF-WAY



1 GUTTER/RWL TO SPLASH BLOCK  
SCALE: 1"=1'-0"

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SAN FRANCISCO, CA 94129  
415.968.1625 PH  
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LINDSEY NEGRO

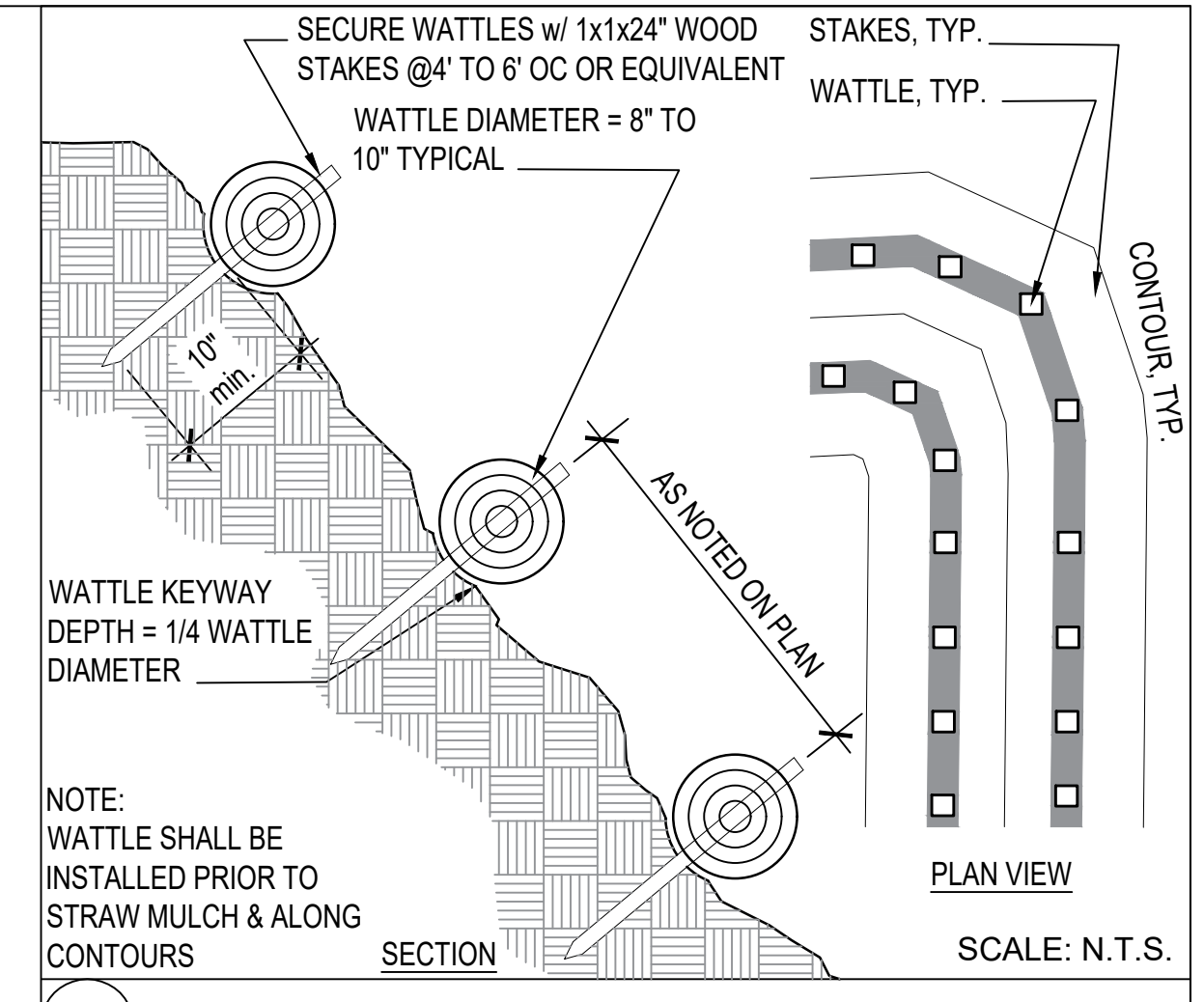
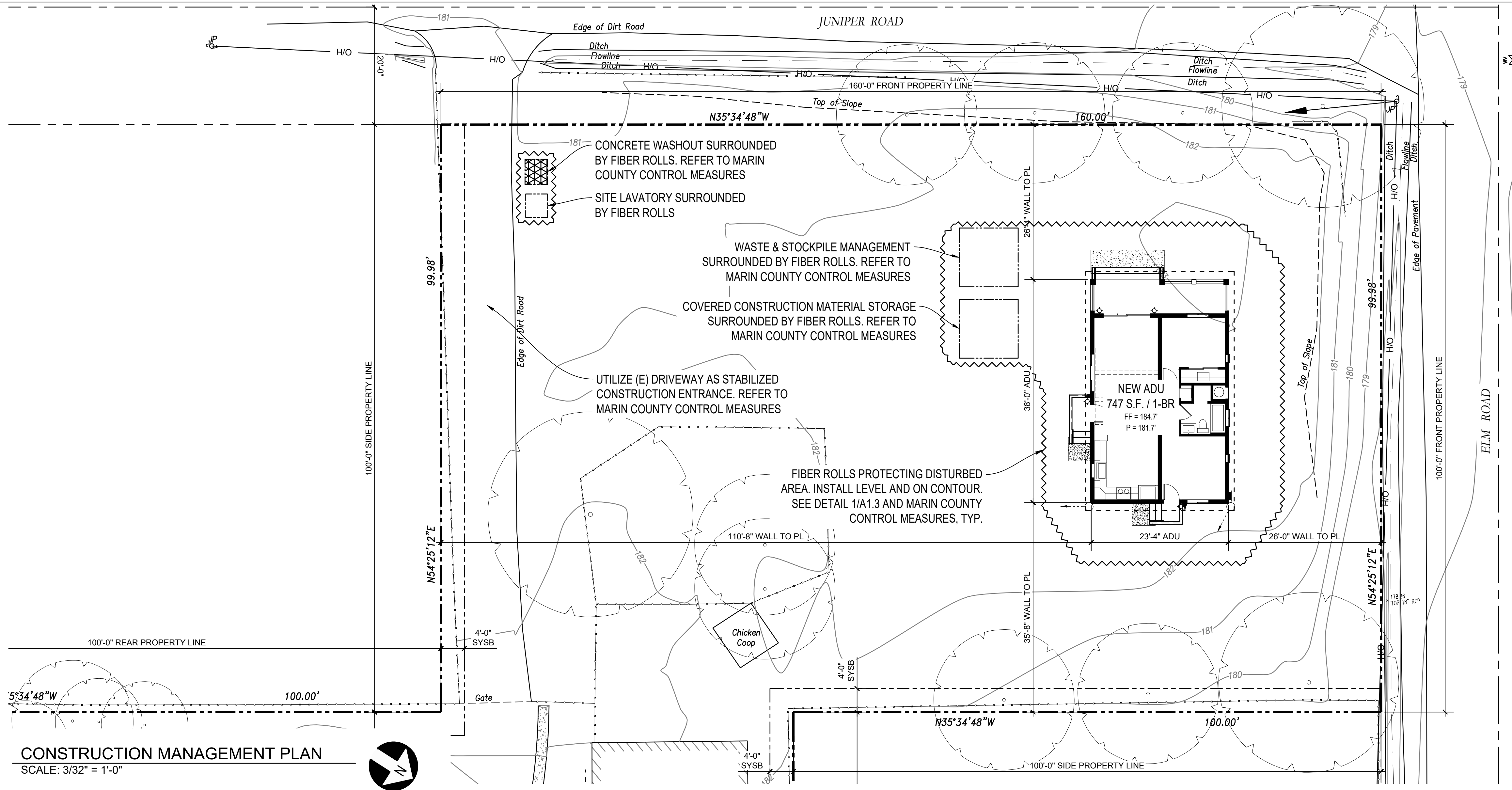
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**PROPOSED SITE PLAN**

**A1.1**



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*Lindsey Negro*  
LINDSEY NEGRO

**Marin County Stormwater Pollution Prevention Program**  
**Minimum Control Measures**  
**For Small Construction Projects**

**NOTE: REMEMBER THAT STORM DRAINS AND RUNOFF FLOW DIRECTLY TO CREEKS, RIVERS AND BAYS UNREATED**

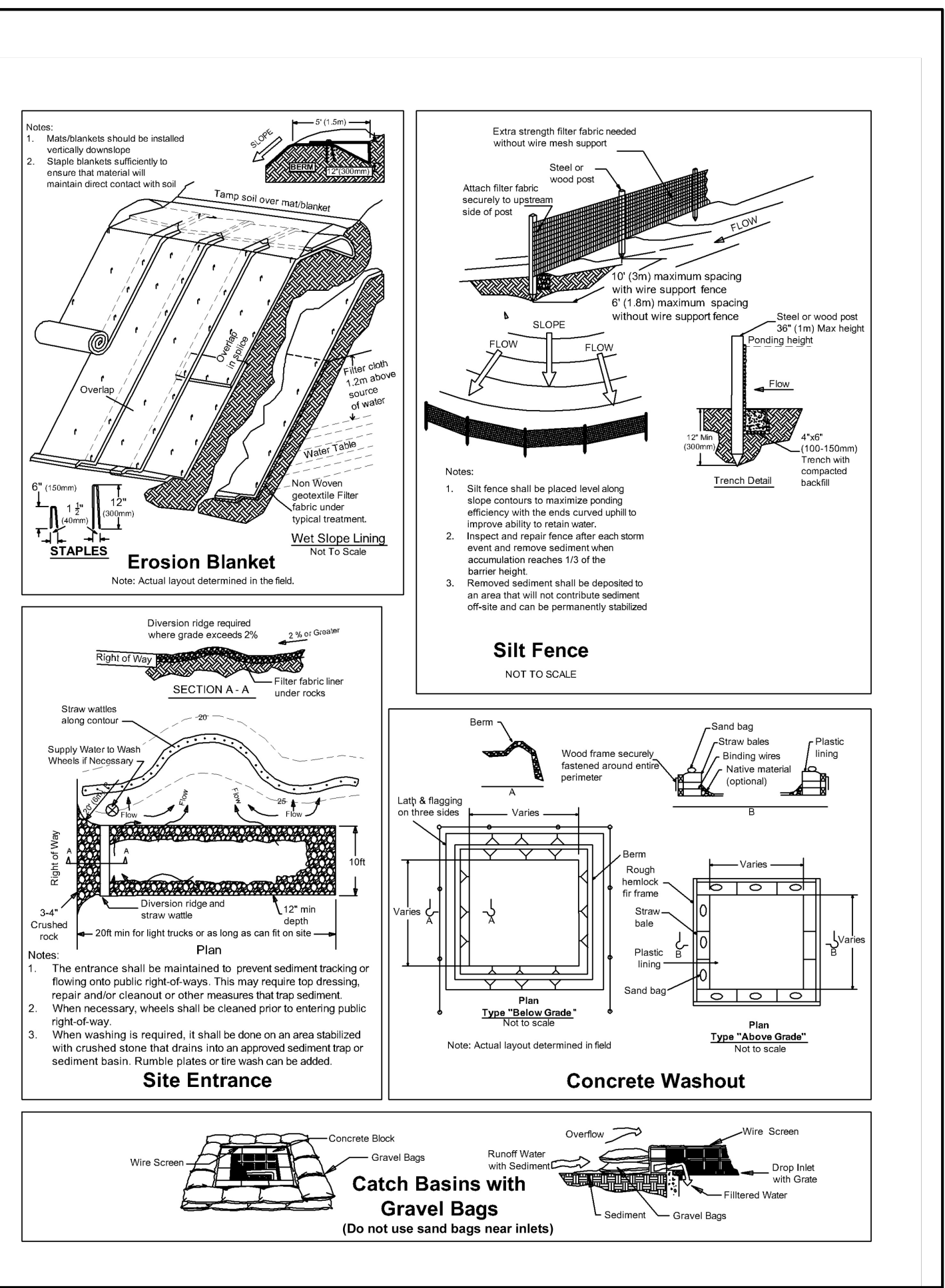
Erosion Controls	Sediment Controls	Good Housekeeping
1. Preserve Vegetation & Creek Set Backs	6. Tracking Controls	10. Concrete Washout
2. Soil Cover	7. Fiber Rolls	11. Stockpile Management
3. Soil Preparation/ Roughening	8. Silt Fence	12. Hazardous Material Management
4. Erosion Control Blankets	9. Drain Inlet Protection	13. Sanitary Waste Management
5. Revegetation	NS Trench Dewatering	14. Equipment and Vehicle Maintenance
		15. Litter and Waste Management

**Note:** Select an effective combination of control measures from each category. Erosion Control, Sediment Control, and Good Housekeeping. Control measures shall be continually implemented and maintained throughout the project until activities are complete, disturbed areas are stabilized with permanent erosion controls, and the local agency has signed off on permits that may have been required for the project. Inspect and maintain the control measures before and after rain events, and as required by the local agency or state permit.

More detailed information on the BMPs can be found in the related California Stormwater Quality Association (CASQA) and California Department of Transportation (Caltrans) BMP Factsheets. CASQA factsheets are available by subscription in the California Best Management Practices Handbook Portal: Construction at <http://www.casqa.org>. Caltrans factsheets are available in the Construction Site BMP Manual March 2003 at <http://www.dot.ca.gov/hq/construction/stormwater/manuals.htm>. Visit [www.ncstopp.org](http://www.ncstopp.org) for more information on construction site management and Erosion and Sediment Control Plans.

If you require materials in alternative formats, please contact:  
415-473-4361 voice/TTY or [disabilityaccess@co.marin.ca.us](mailto:disabilityaccess@co.marin.ca.us)

Control Measure	General Description
<b>Erosion Control Best Management Practices</b>	
N/A Scheduling	Plan the project and develop a schedule showing each phase of construction. Schedule construction activities to reduce erosion potential, such as scheduling ground disturbing activities during the summer and planting projects to minimize the amount of area disturbed. For more info see the following factsheets: CASQA: EC-1; or Caltrans: SS-1.
1 Preserve Existing Vegetation and Creek Setbacks	Preserve existing vegetation to the extent possible, especially along creek buffers. Show creek buffers on maps and identify areas to be preserved in the field with temporary fencing. Check with the local Planning and Public Works Departments for specific creek set back requirements. For more info see the following factsheets: CASQA: EC-2; or Caltrans: SS-2.
2 Soil Cover	Cover exposed soil with straw mulch and tackifier (or equivalent). For more info see the following factsheets: CASQA: EC-3, EC-5, EC-6, EC-7, EC-8, EC-14, EC-16, or Caltrans: SS-2, SS-4, SS-5, SS-6, SS-7, SS-8.
3 Soil Preparation/ Roughening	Soil preparation is essential to vegetation establishment and BMP installation. It includes soil testing and amendments to promote vegetation growth as well as roughening surface soils by mechanical methods (decompacting, scarifying, stair stepping, etc.). For more info see the following factsheets: CASQA: EC-15.
4 Erosion Control Blankets	Install erosion control blankets (or equivalent) on disturbed sites with 3:1 slopes or steeper. Use wildlife-friendly blankets made of biodegradable natural materials. Avoid using blankets made with plastic netting or fixed aperture netting. See <a href="http://www.coastal.ca.gov/npa/Wildlife-Friendly_Products.pdf">http://www.coastal.ca.gov/npa/Wildlife-Friendly_Products.pdf</a> for more info see the following factsheets: CASQA: EC-7; or Caltrans: SS-7.
5 Revegetation	Re-vegetate areas of disturbed soil or vegetation as soon as practical. For more info see the following factsheets: CASQA: EC-4; or Caltrans: SS-4.
<b>Sediment Control Best Management Practices</b>	
6 Tracking Controls	Stabilize site entrance to prevent tracking soil offsite. Inspect streets daily and sweep street as needed. Require vehicles and workers to use stabilized entrance. Place crushed rock 12-inches deep over a geotextile using angular rock between 4 and 5-in. Make the entrance as long as can be accommodated on the site, ideally long enough for 2 revolutions of the maximum tire size (6-20 feet long for most light trucks). Make the entrance wide enough to accommodate the largest vehicle that will access the site, ideally 10 feet wide with sufficient radii for turning in and out of the site. Rumble pads or rumble rocks can be used in lieu of or in conjunction with rock entrances. Wheel washes may be needed where space is limited or where the site entrance and sweeping is not effective. For more info see the following factsheets: CASQA: TC-1, TC-3; or Caltrans: TC-1, TC-3.
7 Fiber Rolls	Use fiber rolls as a perimeter control measure, along contours of slopes, and around soil stockpiles. On slopes space rolls 10 to 20 feet apart (using closer spacing on steeper slopes). Install parallel to contour. If more than one roll is used in a row overlap roll do not butt. J-hook end of roll up slope. Install rolls per either Type 1 (stake rolls into shallow trenches) or Type 2 (stake in front and behind roll and lash with rope). Use wildlife-friendly fiber rolls made of biodegradable natural materials. Avoid using fiber rolls made with plastic netting or fixed aperture netting. See <a href="http://www.coastal.ca.gov/npa/Wildlife-Friendly_Products.pdf">http://www.coastal.ca.gov/npa/Wildlife-Friendly_Products.pdf</a> for more info see the following factsheets: CASQA: SE-5 (Type 1), SE-12, SE-13; or Caltrans: SC-5 (Type 1 and Type 2).
8 Silt Fence	Use silt fence as a perimeter control measure, and around soil stockpiles. Install silt fence along contours. Key silt fence into the soil and stake. Do not use silt fence for concentrated water flows. Install fence at least 3 feet back from the slope to allow for sediment storage. Wire backed fence is allowed for extra strength. Avoid installing silt fence on slopes because they are hard to maintain. Manufactured linear sediment control can be used in lieu of silt fences. For more info see the following factsheets: CASQA: SE-1; SE-12; or Caltrans: SC-1.
9 Drain Inlet Protection	Use gravel bags, (or similar product) around drain inlets located both onsite and in gutter as a last line of defense. Bags should be made of a woven fabric resistant to photo-degradation filled with 0.5-in washed crushed rock. Do not use sand bags or silt fence fabric for drain inlet protection. For more info see the following factsheets: CASQA: SE-10; or Caltrans: SC-10.
N/A Trench Dewatering	Follow MCS/PPP BMP for trench dewatering: <a href="http://www.marincounty.org/depts/water/water/mcs/development/mediatiles/Departments/PW/mcs/PPP/BMP/Trenching/SWR/MCS/PPP/PPP/02_02.pdf">http://www.marincounty.org/depts/water/water/mcs/development/mediatiles/Departments/PW/mcs/PPP/BMP/Trenching/SWR/MCS/PPP/PPP/02_02.pdf</a> . For more info see the following factsheets: CASQA: NS-2; or Caltrans: NS-2.
<b>Good Housekeeping Best Management Practices</b>	
10 Concrete Washout	Construct a lined concrete washout site away from storm drains, waterbodies, or other drainages. Ideally, place adjacent to stabilized entrance. Clean as needed and remove at end of project. For more info see the following factsheets: CASQA: WM-2; or Caltrans: WM-8.
11 Stockpile Management	Cover all stockpiles and landscape material and berm properly with fiber rolls or sand bags. Keep behind the site perimeter control and away from waterbodies. For more info see the following factsheets: CASQA: WM-3 or Caltrans: WM-3.
12 Hazardous Material Management	Hazardous materials must be kept in closed containers that are covered and within secondary containment; do not place containers directly on soil. For more info see the following factsheets: CASQA: WM-4; or Caltrans: WM-5.
13 Sanitary Waste Management	Place portable toilets near stabilized site entrance, behind the curb and away from gutters, storm drain inlets, and waterbodies. Tie or stake portable toilets to prevent tipping and equip units with overflow pan/tray (most vendors provide these). For more info see the following factsheets: CASQA: WM-9; or Caltrans: WM-9.
14 Equipment and Vehicle Maintenance	Prevent equipment fluid leaks onto ground by placing drip pans or plastic tarps under equipment. Immediately clean up any spills or drips. For more info see the following factsheets: CASQA: NS-8, NS-9, and NS-10; or Caltrans: NS-8, NS-9, and NS-10.
15 Litter and Waste Management	Designate waste collection areas on site. Use watertight dumpsters and trash cans; inspect for leaks. Cover at the end of each work day and when it is raining or windy. Arrange for regular waste collection. Pick up site litter daily. For more info see the following factsheets: CASQA: WM-5; or Caltrans: WM-5.



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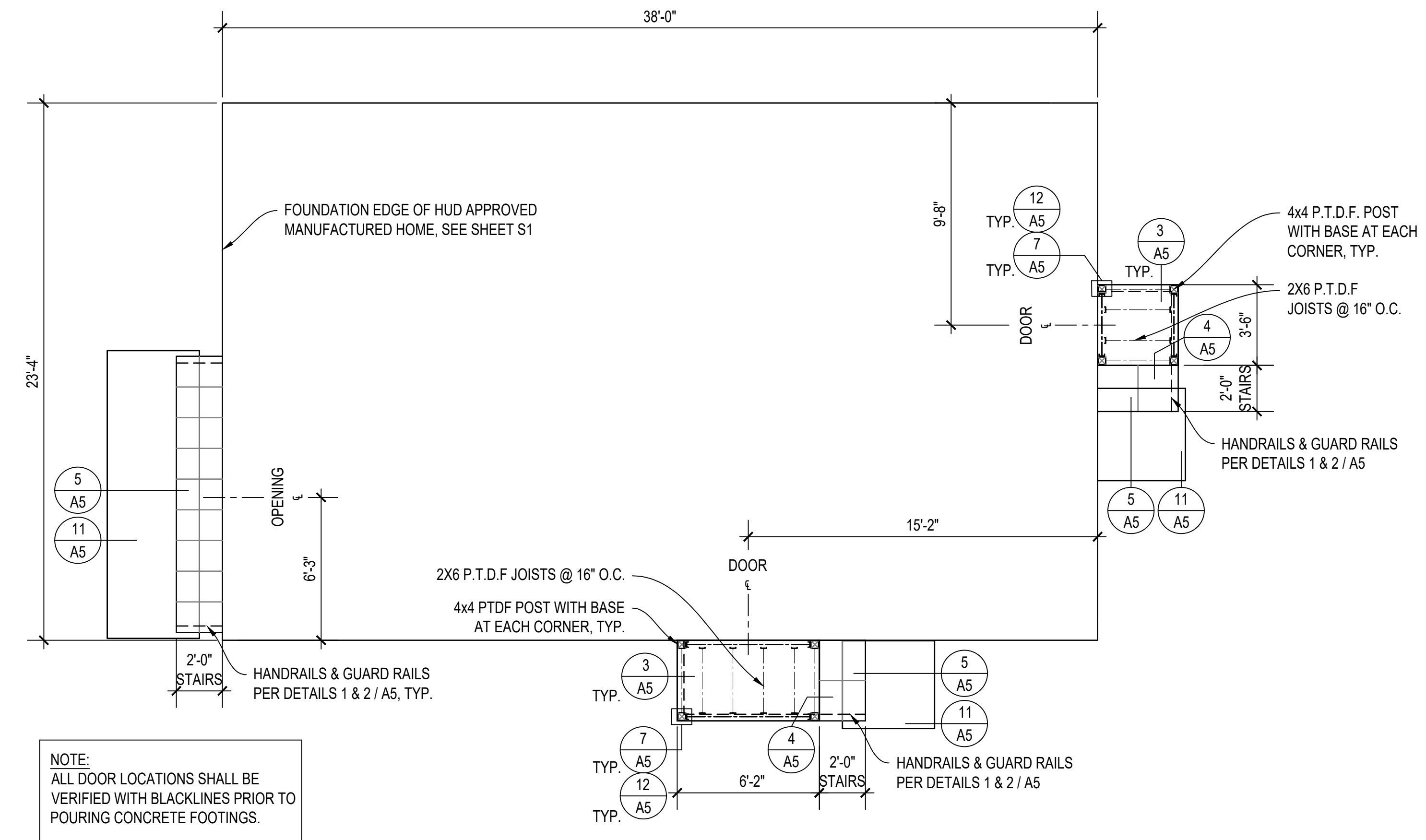
Project number 599  
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**STORMWATER POLLUTION PREVENTION**  
**A1.3**

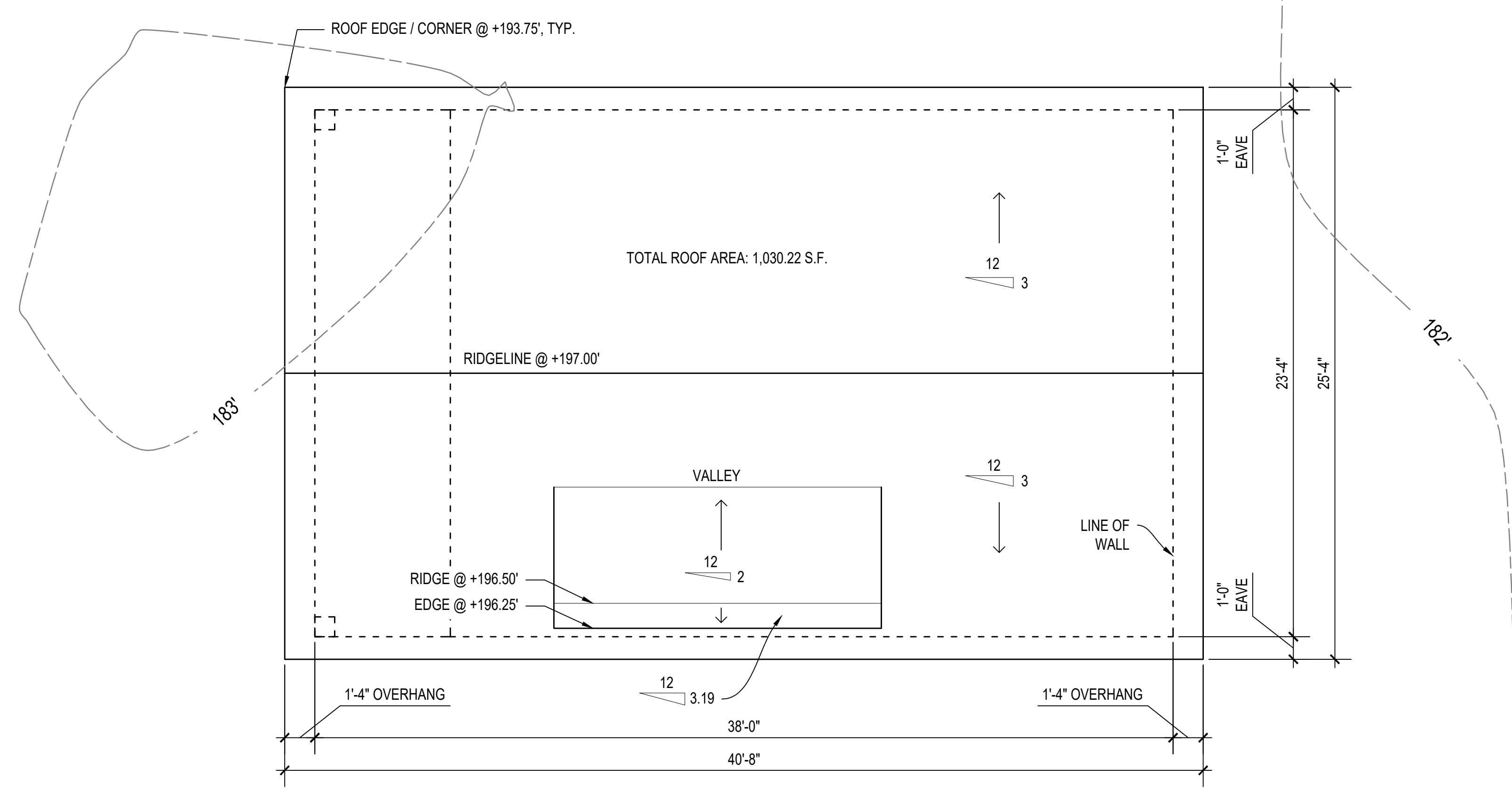
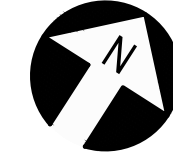


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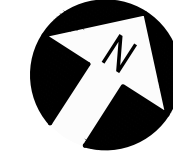
*Lindsey Negro*  
 LINDSEY NEGRO



**STAIRS / LANDINGS - LOCATIONS & FRAMING PLANS**  
 1/4" = 1'-0"



**ROOF PLAN**  
 1/4" = 1'-0"



Detached ADU

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**STAIRS,  
 LANDINGS &  
 ROOF PLAN**

**A4**

- ### EXTERIOR FINISH NOTES
- 12" MIN. OVERHANG LENGTH
  - 2X6 PAINTED WOOD FASCIA, TYP.
  - 2X4 MIN. PAINTED WOOD TRIM AT CORNERS, DOORS AND WINDOWS
  - PAINTED HORIZONTAL SIDING, SKIRT WALL FINISH TO MATCH MANUFACTURED HOME SIDING.
  - CLASS "A" MINIMUM COMPOSITION ROOFING

### LEGENDS

#### Exterior Lighting Legend

Plan Symbol ID	Fixture	Image	Quantity	Lumens	Dark Sky Compliant
☉	Designers Fountain 30511-AM-BZ Wall Lantern, Bronze Finish with Amber Glass		4	800 lumens (Ring 60-Watt Equivalent A19 Smart LED Light Bulb)	Yes

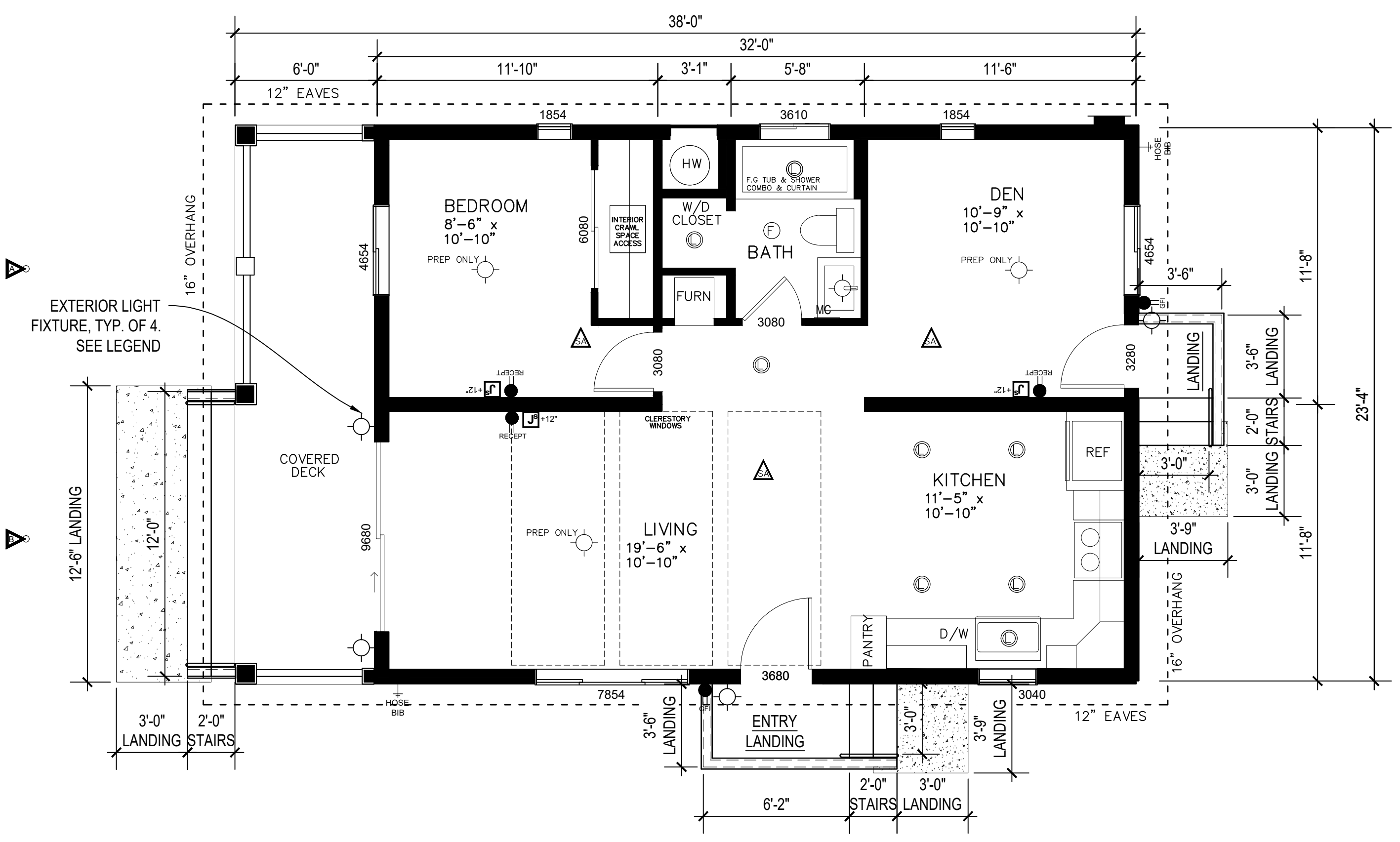
- ### FLOOR PLAN NOTES
- 18" X 24" MINIMUM CRAWL SPACE ACCESS WITHIN 20' OF PLUMBING - THROUGH OUTSIDE WALL, FOUNDATION WELL OR INSIDE ADU THROUGH FLOOR
  - ALL - ELECTRIC ADUs SHALL HAVE AN ELECTRIC FURNACE, WATER HEATER AND RANGE/OVEN. MANUFACTURE'S LITERATURE SHALL BE PROVIDED AS REQUIRED BY HUD.
  - HANDRAILS SHALL BE PROVIDED ON NOT LESS THAN ONE SIDE OF EACH FLIGHT OF STAIRS WITH FOUR OR MORE RISERS (CRC R311.7.8). GUARDRAILS REQUIRED WHERE LANDINGS EXCEED 30" MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36" HORIZONTALLY TO THE EDGE OF THE OPEN SIDE (CRC R312.1.1). RISERS TO BE 4" MIN. TO 7-3/4" MAX., TREADS TO BE 10" MIN. (SEE DETAIL 5/A5), NO RISER OR TREAD SHALL EXCEED MORE THAN 3/8" FROM THE SMALLEST TO THE LARGEST. 3" MIN LANDINGS TO RESIDENCE TO HAVE A STEP UP OF 1/4" MIN TO 1" MAX OR 4" MIN TO 7-3/4" MAX.
  - THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR (CRC R311.3). THE WIDTH OF EACH LANDING SHALL BE NOT LESS THAN THE DOOR SERVED. LANDINGS SHALL HAVE A DIMENSION OF NOT LESS THAN 36" MEASURED IN THE DIRECTION OF TRAVEL. THE SLOPE AT EXTERIOR LANDINGS SHALL NOT EXCEED 2%.
  - HANDRAILS (WHERE REQUIRED) TO BE 1-1/2" DIA. @ 34" TO 38" ABOVE NOSE OF STAIRS WITH RETURN TO POST OR WALL (SEE APPLICABLE DETAILS ON SHEET A5 - WHEN REQUIRED).

#### MECHANICAL/ELECTRICAL LEGEND

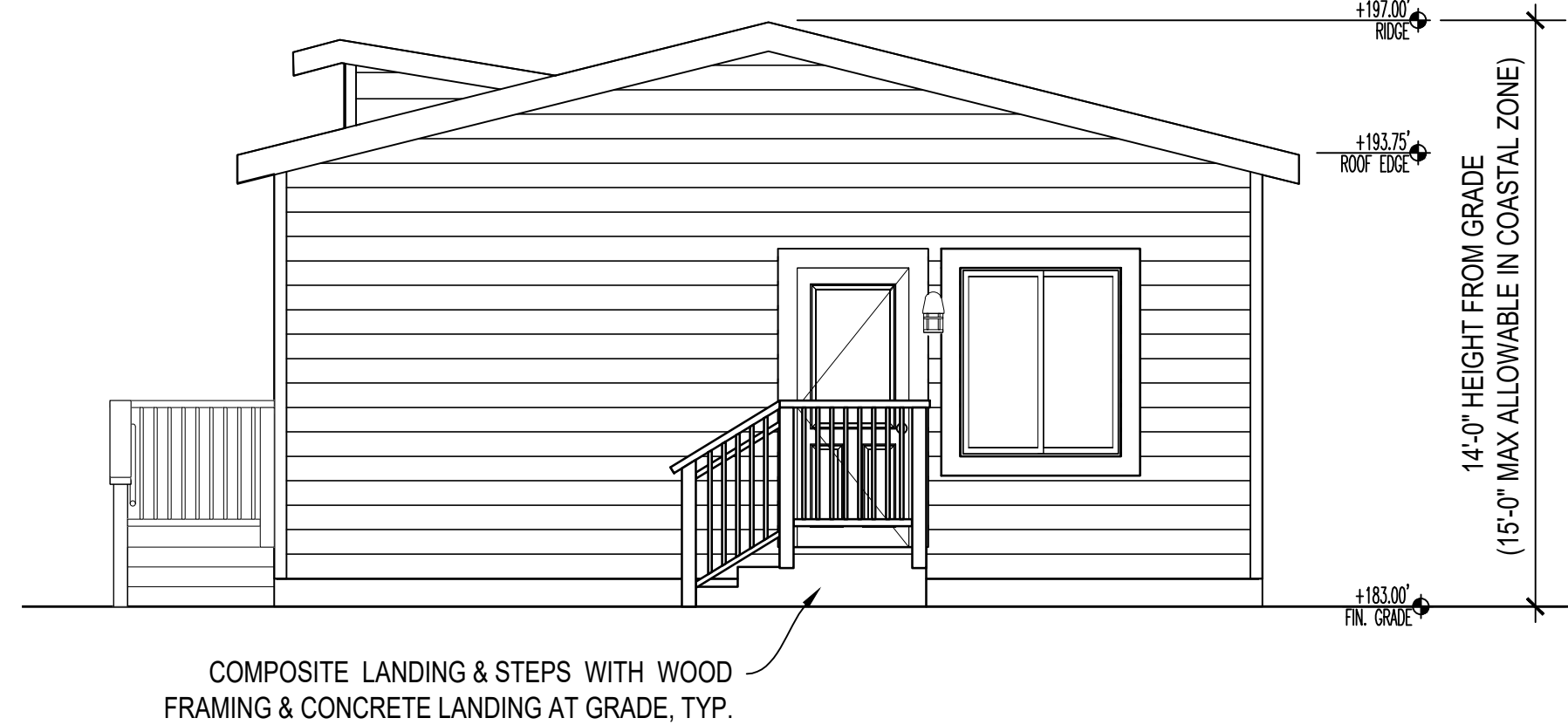
●	GFI OUTLET	☉	PREP ONLY	CEILING FAN PREP, NO DOME LIGHT
☉	SCONCE LIGHT	●	PREP+LIGHT	CEILING FAN PREP, FLUSH DOME LIGHT
⊞	BATHROOM VENT FAN	□		BLANK PLATE WITH EMPTY BOX FOR CABLE/ETHERNET
⊞	FIRE SPRINKLER COMPARTMENT	⊞	A/C	A/C JUNCTION BOX
⊞	4" LED CAN LIGHT	⊞	HW	HOT WATER HEATER
⊞	PENDANT LIGHT	⊞	HVAC	FURNACE
⊞	ELECTRICAL PANEL	⊞	WD	STACKED WASHER AND DRYER
⊞	SMOKE ALARM			
⊞	CARBON MONOXIDE ALARM			
⊞	SMOKE / CARBON MONOXIDE ALARM			

- ### VENT NOTES AND CALCS
- 1 S.F. FOR EACH 1,500 S.F. OF UNDER-FLOOR SPACE AREA WHERE GROUND SURFACE IS COVERED WITH AN APPROVED CLASS 1 VAPOR RETARDER MATERIAL PER R408.2, EXCEPTION 1.
- PROJECT UNDER FLOOR SPACE = 887 S.F. (COVERED DECK INCLUDED)  
887 S.F. / 1,500 = 0.59 S.F. UNDER FLOOR VENT REQUIRED  
(CLASS 1 VAPOR BARRIER SHALL BE INSTALLED)
- 4 1/2" x 14" VENTS, 0.4375 S.F. PER VENT  
4 VENTS PROVIDED = 1.75 S.F.
- NOTE: ONE VENTILATION OPENING SHALL BE LOCATED WITHIN 3' OF EACH CORNER OF THE BUILDING.
- SEE DETAIL 5/SHEET S0

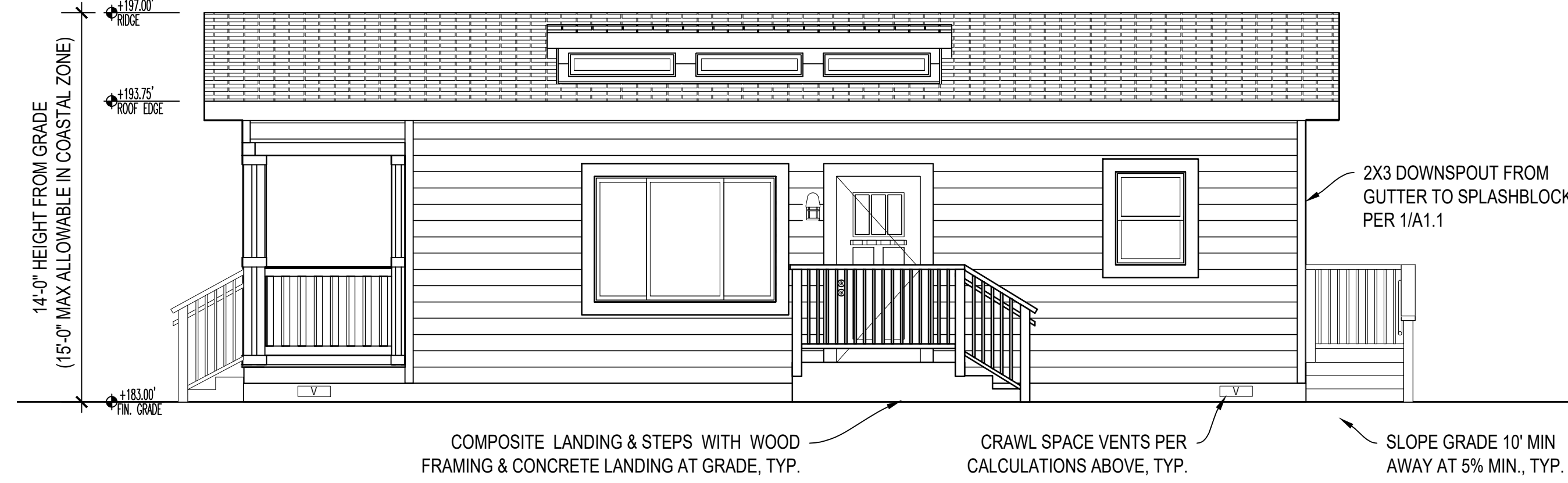
- ### EXTERIOR & W.U.I. NOTES
- WILDLAND URBAN INTERFACE CODE PER 2022 CRC Chapter 337.
  - BUILDING MFR'R TO INSTALL ALL WORK ABOVE AND INCLUDING STEEL CHASSIS BEAMS, FLOOR JOISTS IN FACTORY PER THEIR APPROVED PLANS FOR DOORS, WINDOWS, SIDING, TRIM, SPARK ARRESTOR FLUE CAPS, SOFFITS, & ROOFING AS PER W.U.I. STANDARDS & MFR'R INSTRUCTIONS & ASSURE A WATER TIGHT BUILDING ASSEMBLY.
  - W.U.I. APPROVED COMPOSITION SHINGLE ROOFING OF CLASS 'A' RATED (CLOSURE STRIP INSTALLED IN FIELD PER ROOFING MFR'R RECOMMENDATIONS & BUILDING MANUFACTURER INSTALLATION MANUAL.
  - ALL FLASHINGS (Siding, Cap, Edge, Hip, Valley, 'Z' or 'L' etc...) TO BE 26ga. G.S.M. AS A MINIMUM. WHEN INSTALLED w/ AN APPLIANCE AS PER MFR'R LITERATURE & WUI REQUIREMENTS.
  - SEE SHEET A2 FOR FOUNDATION VENTILATION CALCS FOR CRAWL SPACE VENTS REQUIRED.
  - VENT & FLUE SCREENS TO BE GALV. METAL 1/16" min. to 1/8" max. MESH.
  - METAL FASCIA GUTTER w/ W.U.I. APPROVED LEAF GUARD, WITH LIP UNDER ROOFING WITH DROP TO 2"x3" R.W.L INTO U.G. DRAINAGE SYSTEM TO DRAIN @ STREET CURB/GUTTER OR DAYLIGHT
  - SKIRT SIDING (MATCH MFR'D BUILDING SIDING & COLOR), WUI APPROVED. PROVIDE DOCUMENTATION TO FIELD INSPECTOR
  - VEGETATION MANAGEMENT COMPLIANCE PER R337.1.5
  - ADDRESS SIGNAGE FACING THE STREET SHALL BE WITH 4" HIGH LETTER (CONTRASTING COLOR TO BACKGROUND) OR PER LOCAL FIRE DEPT. REQUIREMENTS



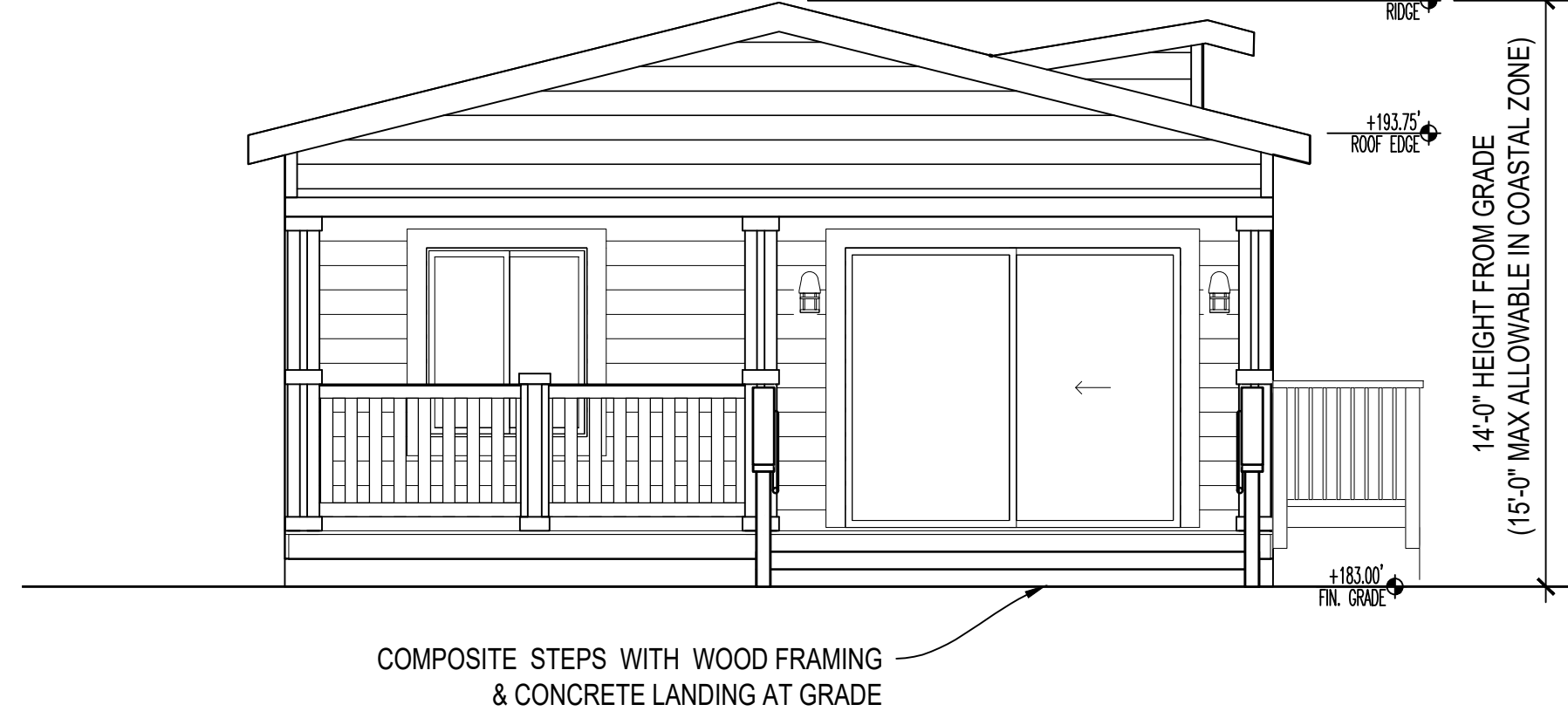
FLOOR PLAN  
1/4" = 1'-0"



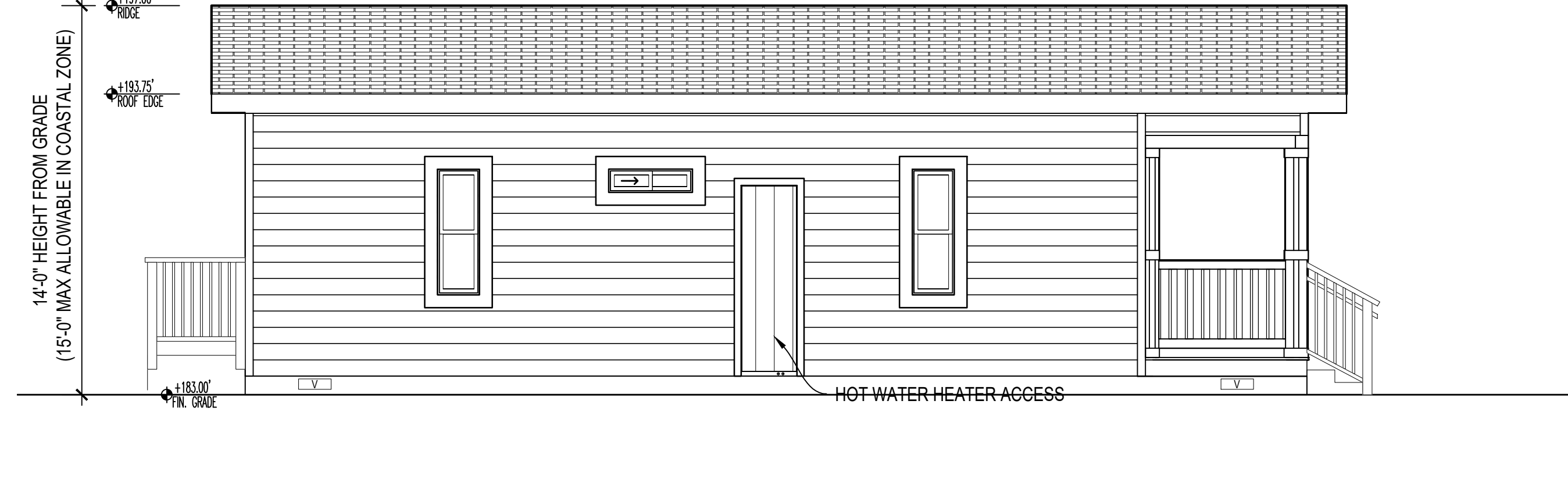
EAST ELEVATION  
1/4" = 1'-0"



SOUTH ELEVATION  
1/4" = 1'-0"



WEST ELEVATION  
1/4" = 1'-0"



NORTH ELEVATION  
1/4" = 1'-0"



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ALL MANUFACTURER DRAWINGS INCLUDED ON THIS SHEET HAVE BEEN APPROVED BY HUD. REFER TO INSTALLATION MANUAL

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FLOOR PLAN AND ELEVATIONS

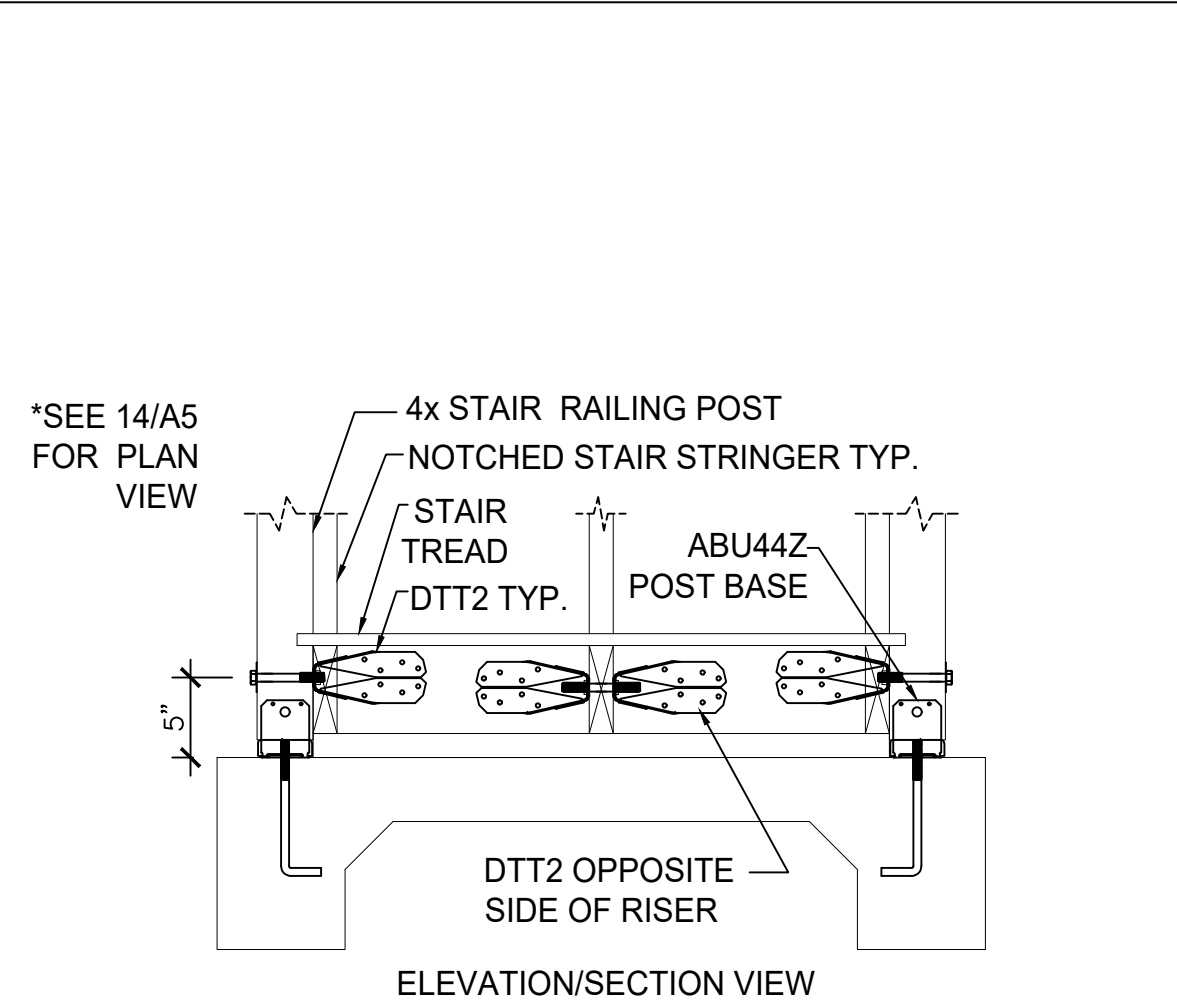
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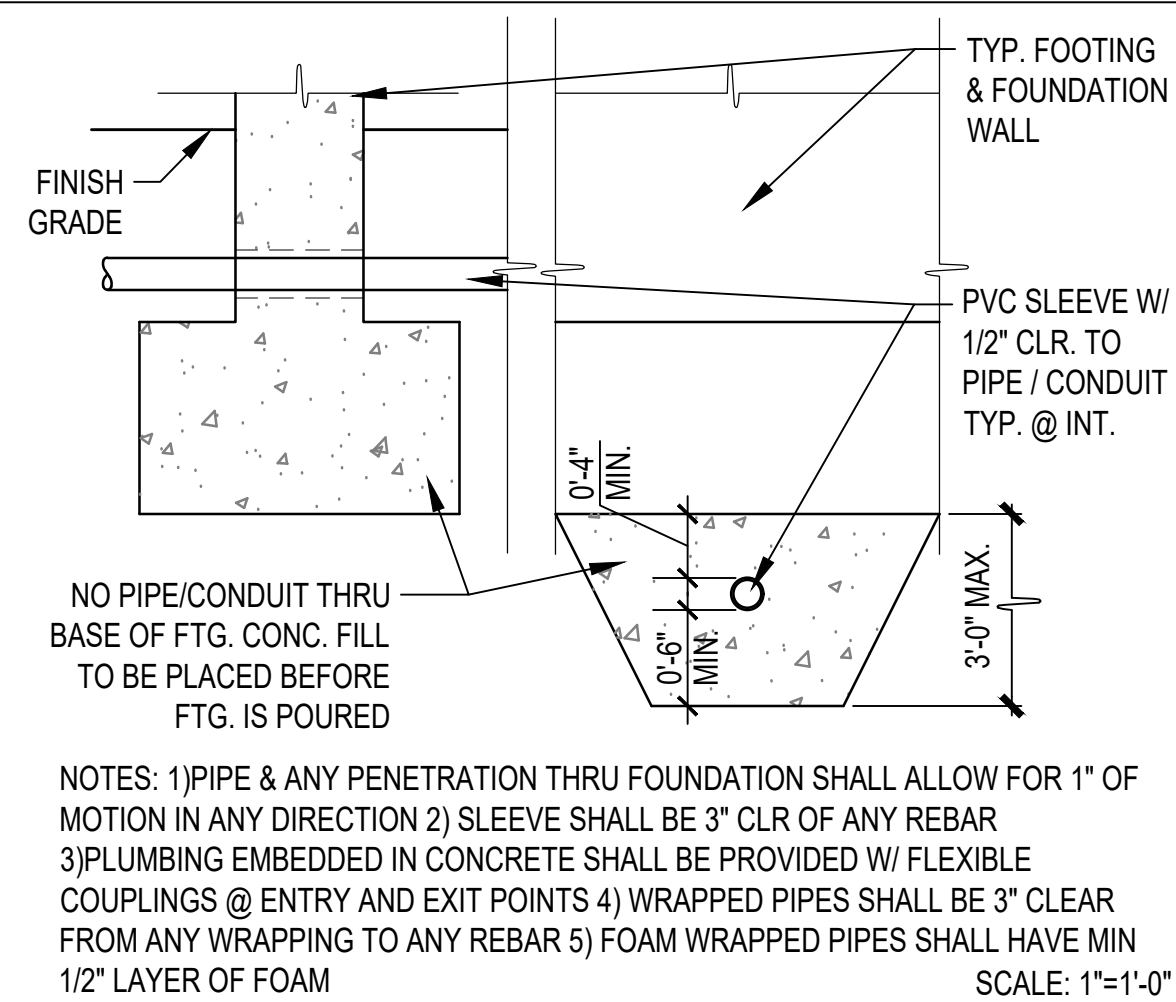


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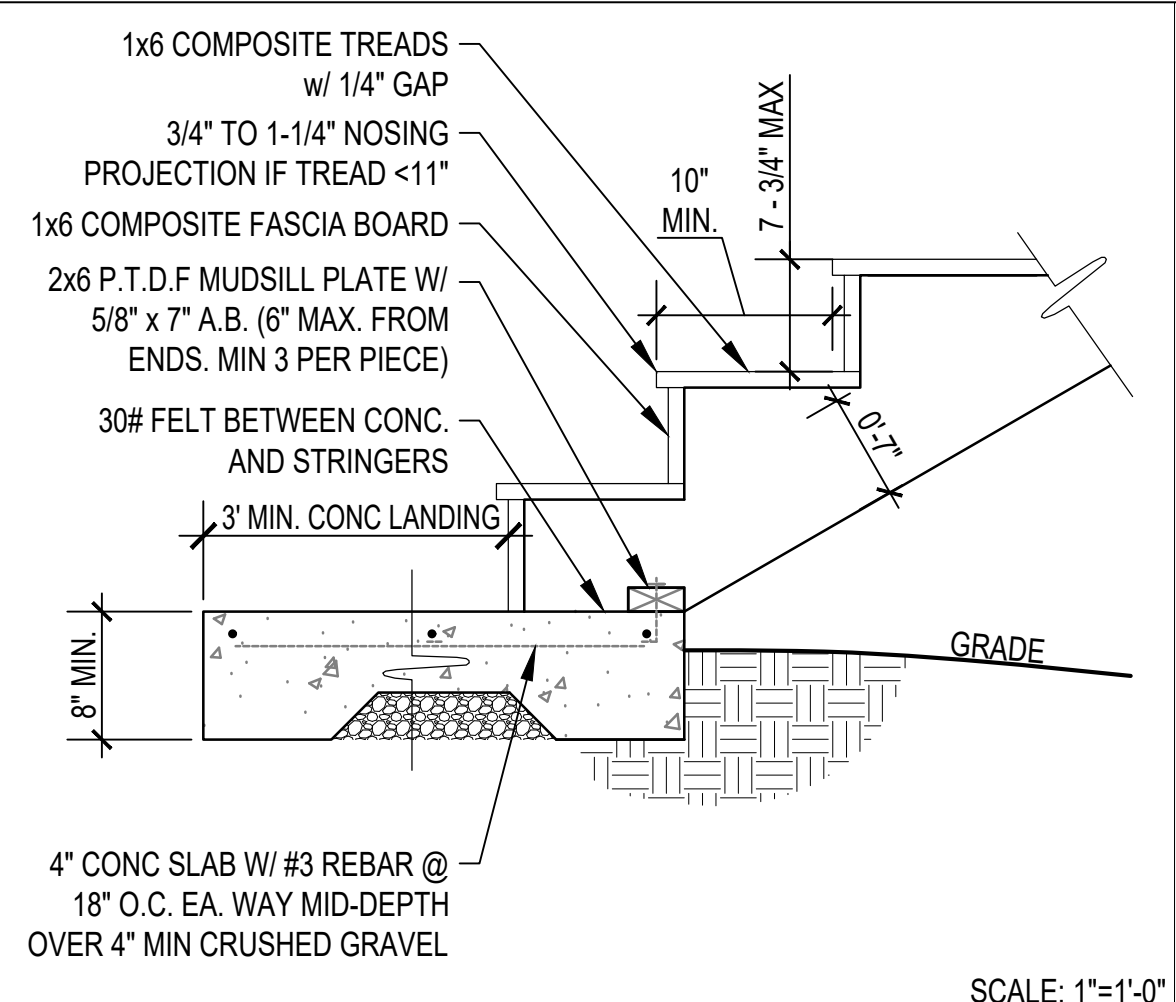
*Lindsey Negro*  
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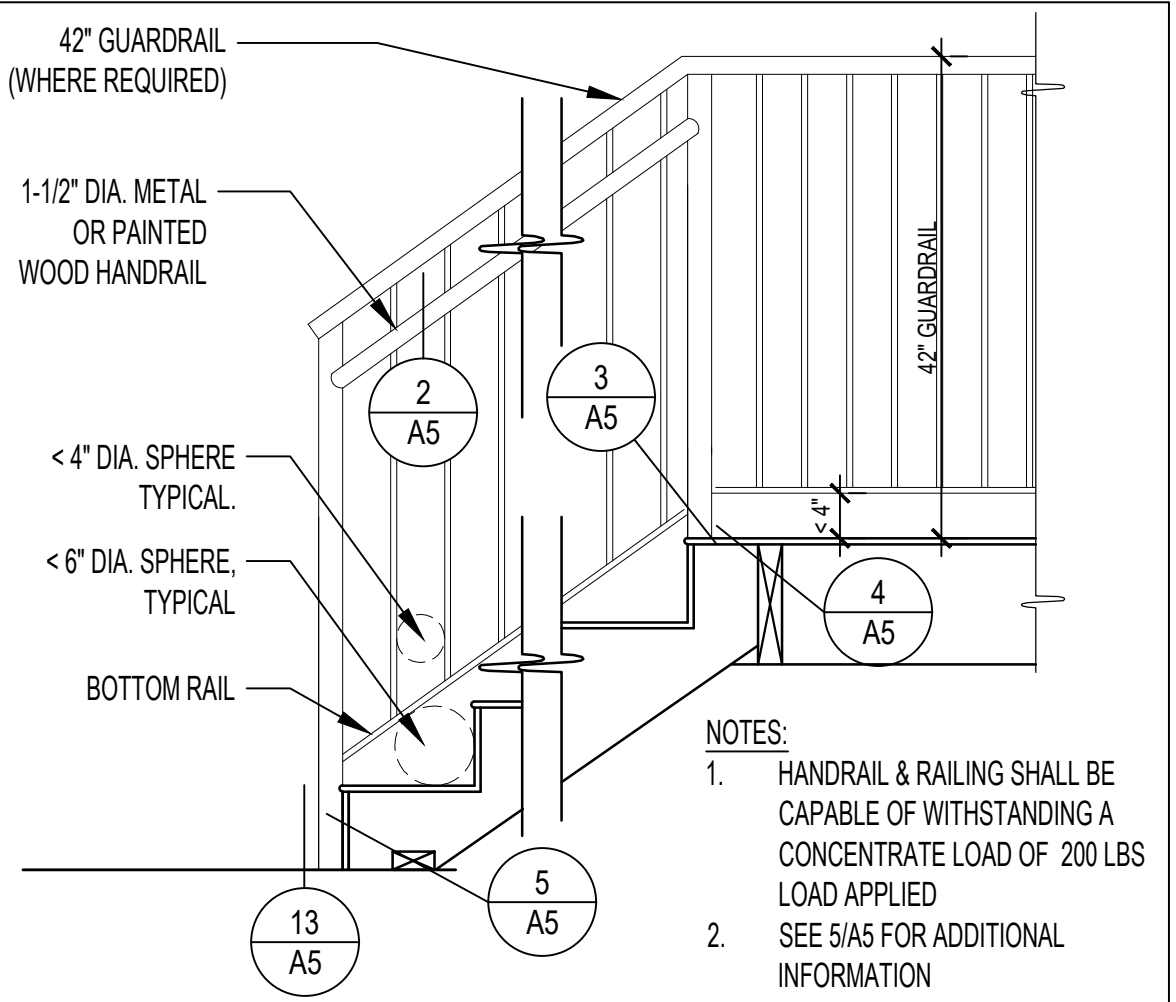
13 RAILING POST @ BASE - ELEVATION



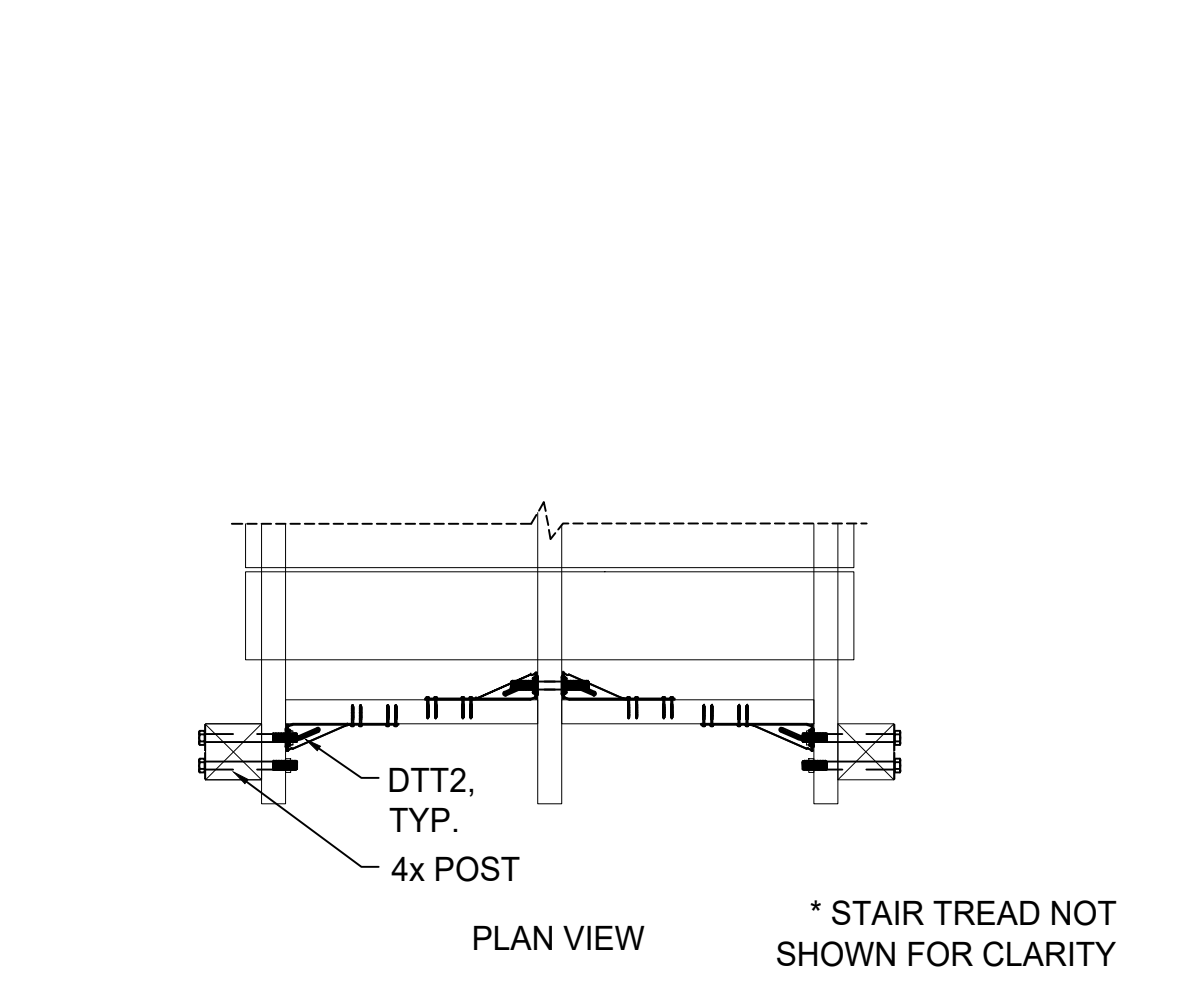
9 CONDUIT @ FOOTING CLEARANCE



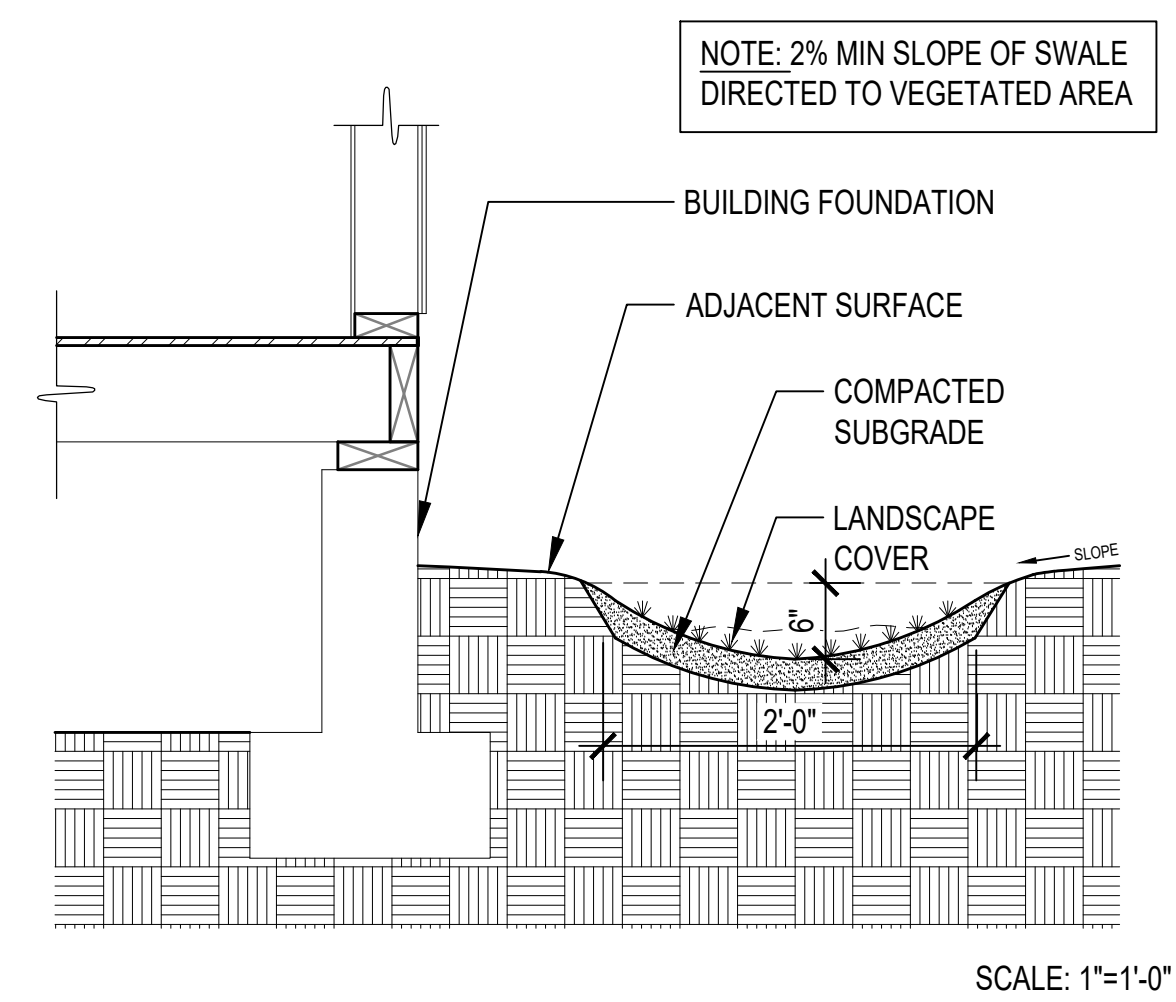
5 STAIRS TO CONCRETE LANDING



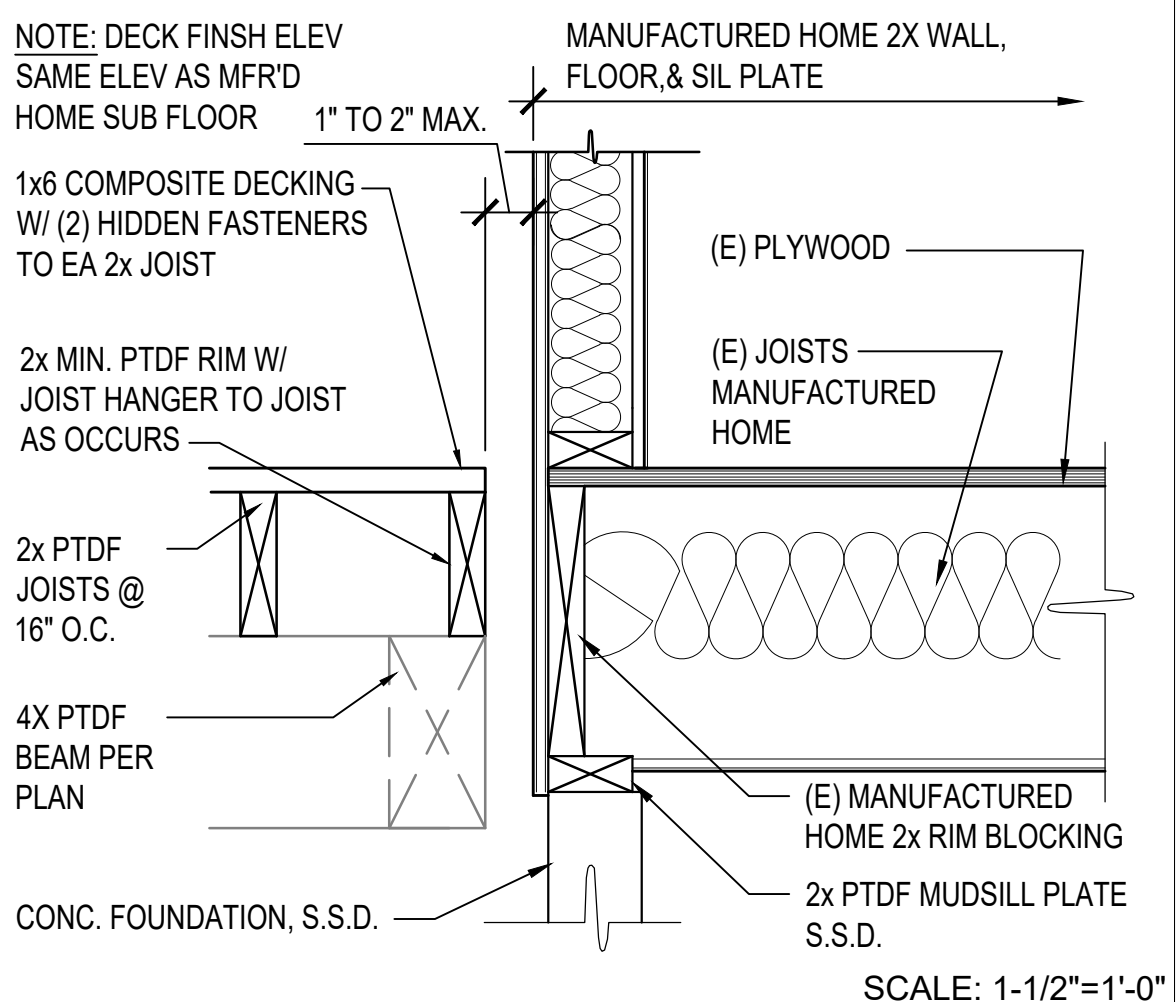
1 HANDRAIL ELEVATION



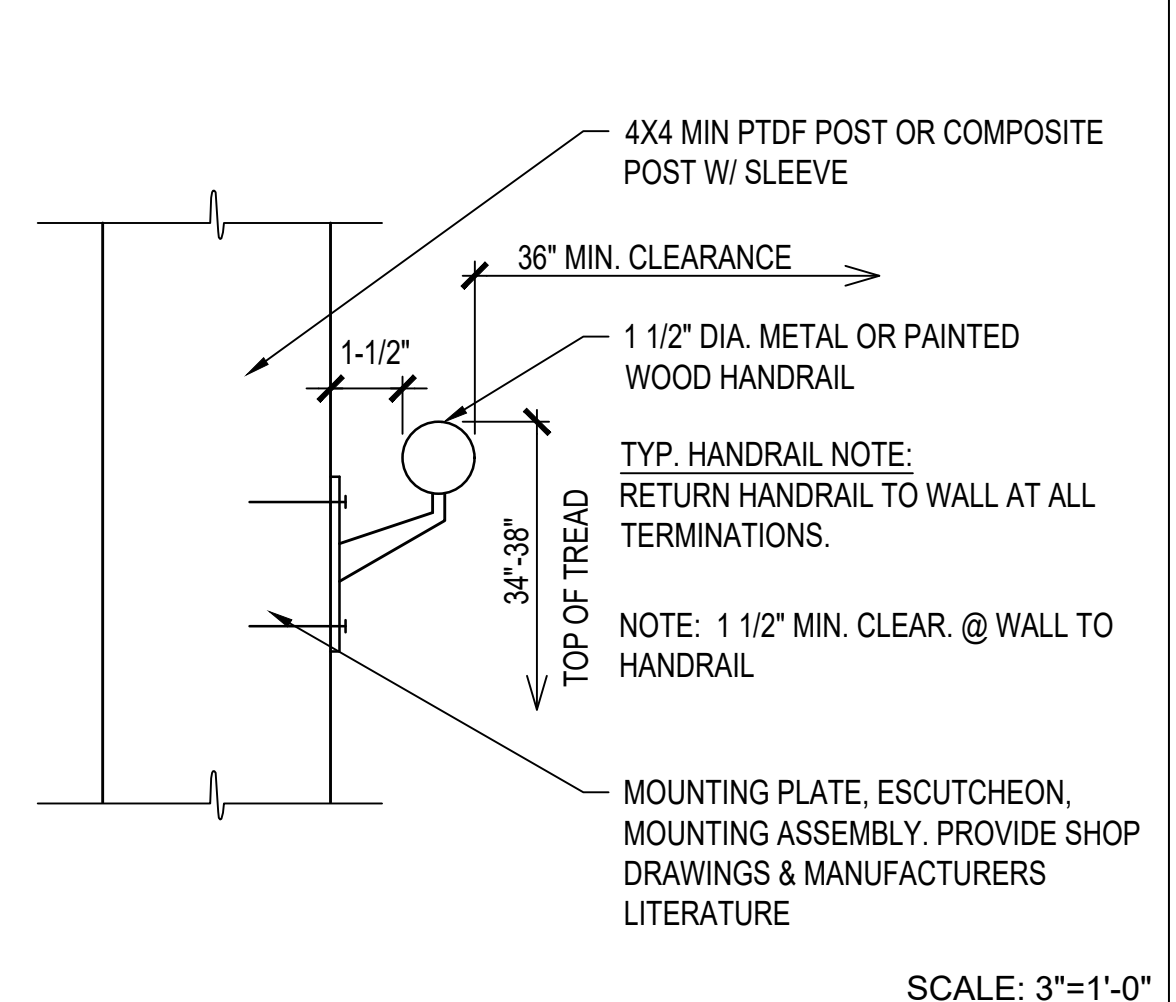
14 RAILING POST @ BASE - PLAN



10 TYP. 2' WIDE EARTHY SWALE



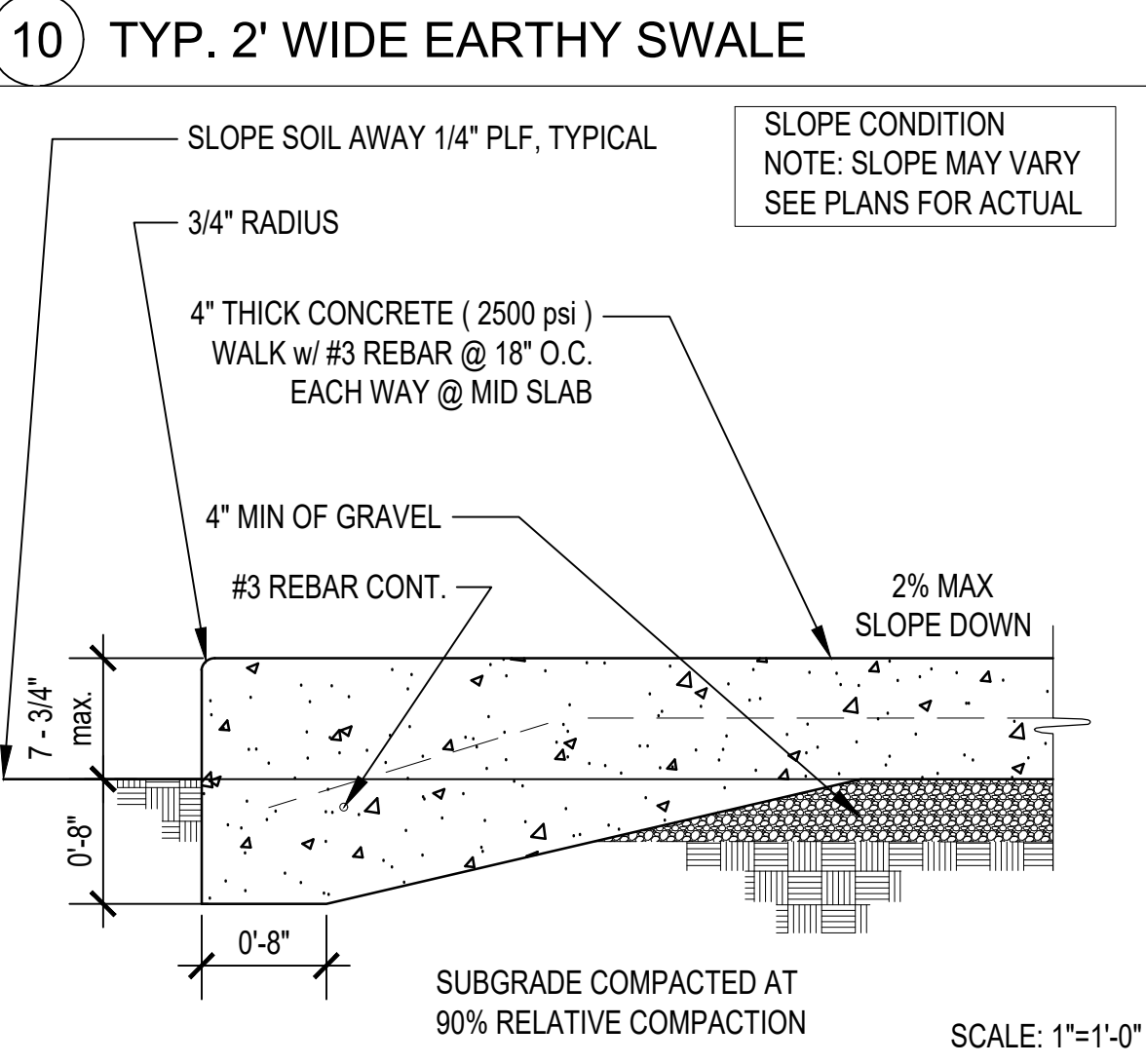
6 DECK TO WALL / FOUNDATION



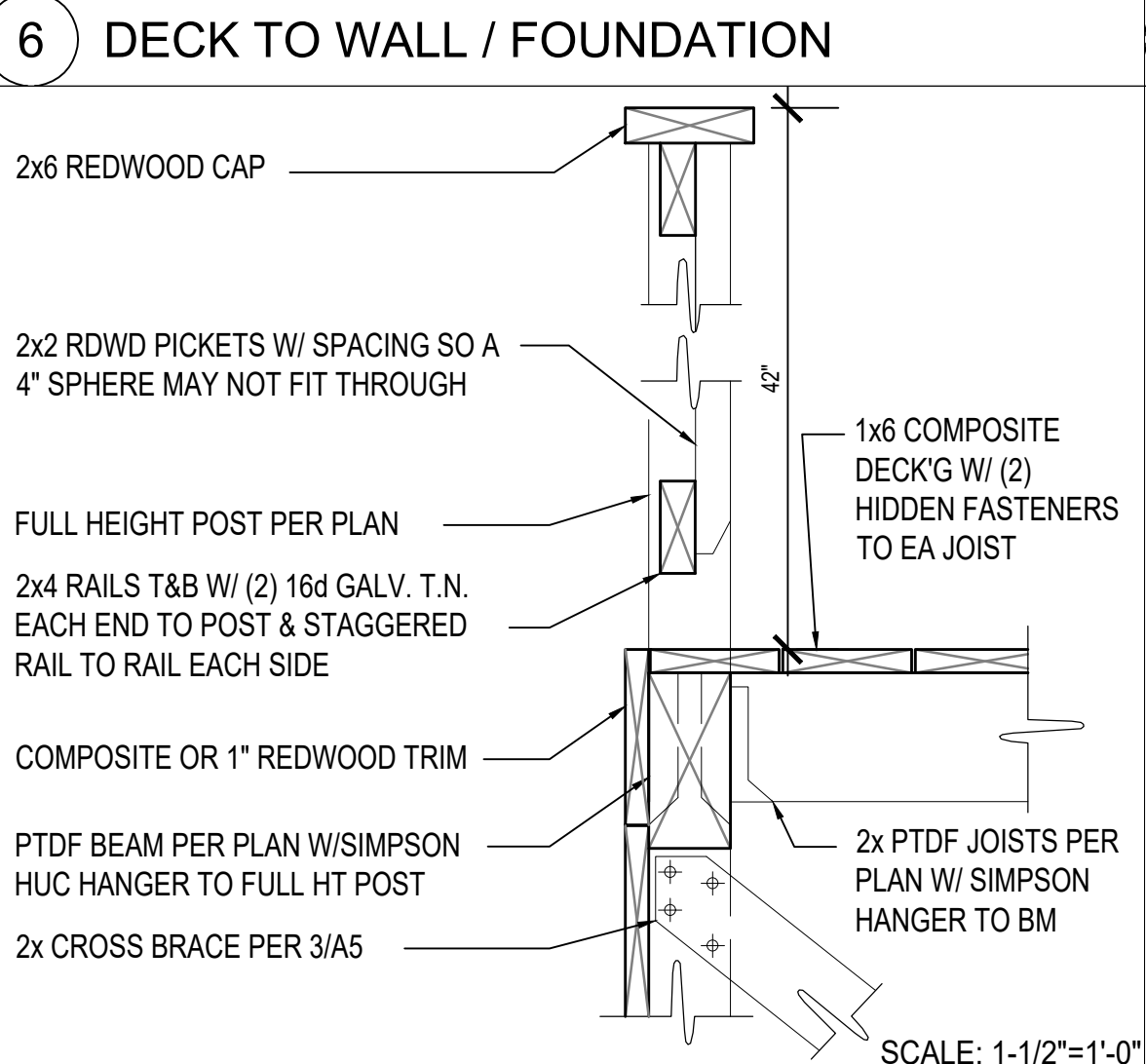
2 HANDRAIL ATTACHMENT



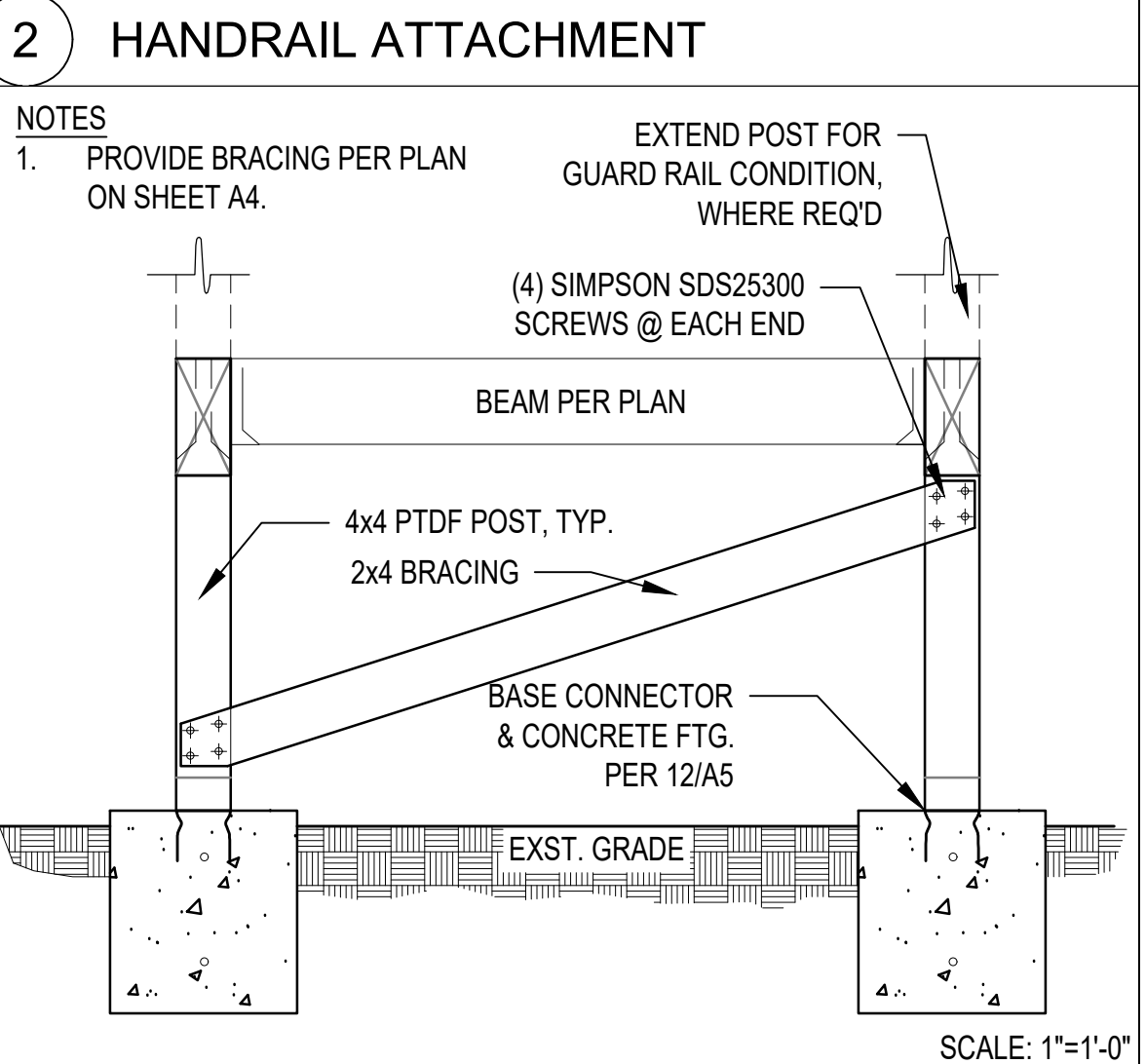
11 CONC WALK TO LANDSCAPE



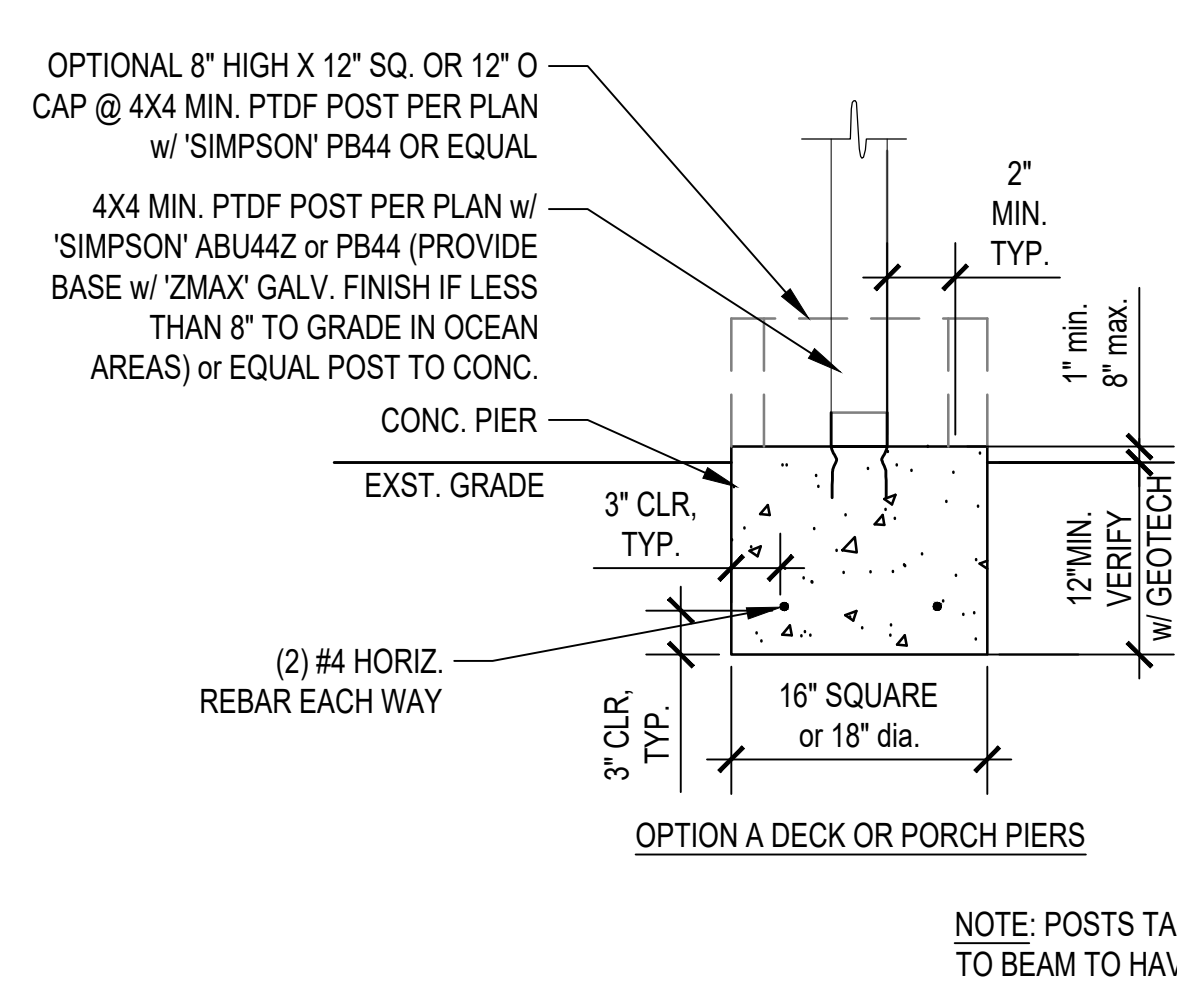
7 BEAM TO DECK POST



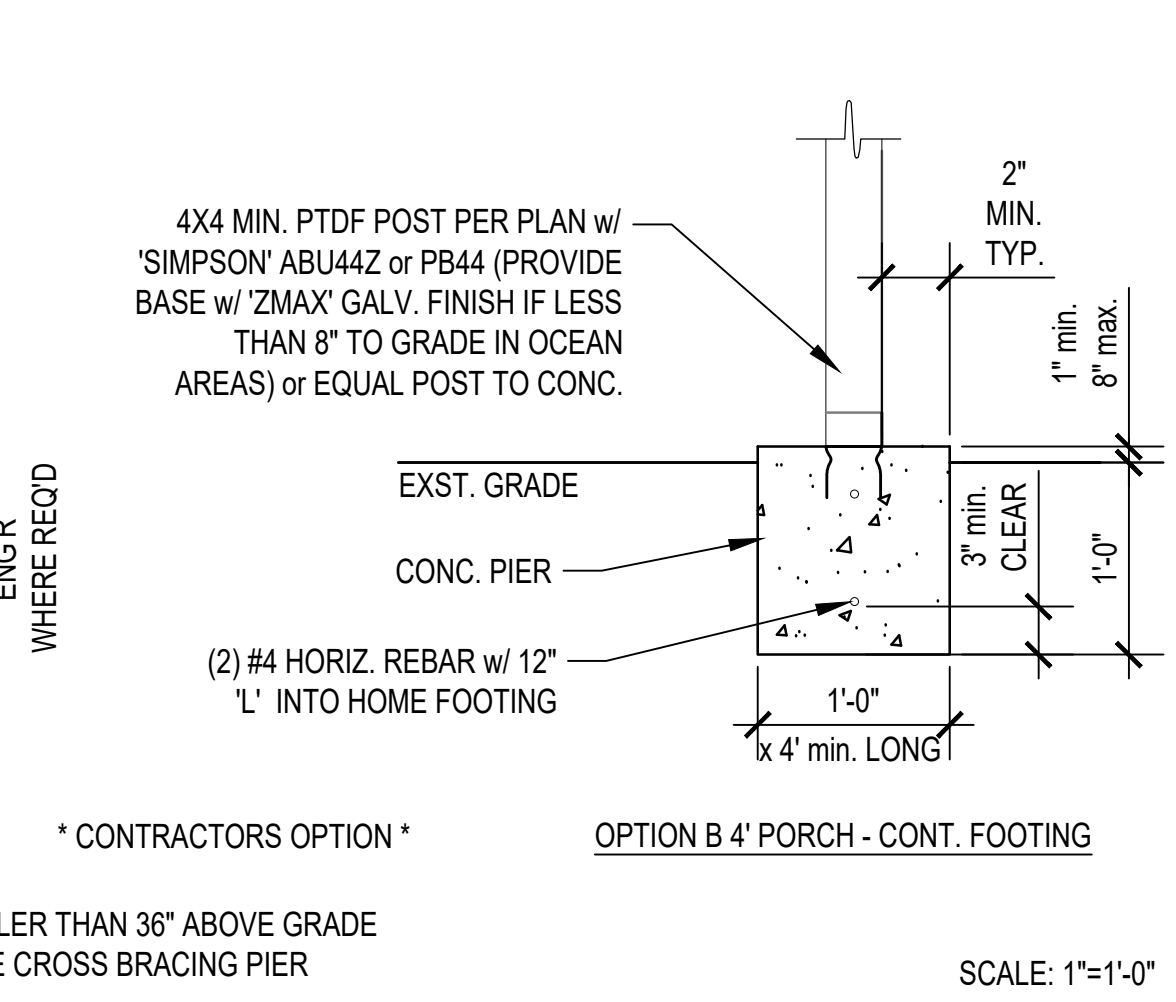
3 BRACING BELOW DECK/LANDING



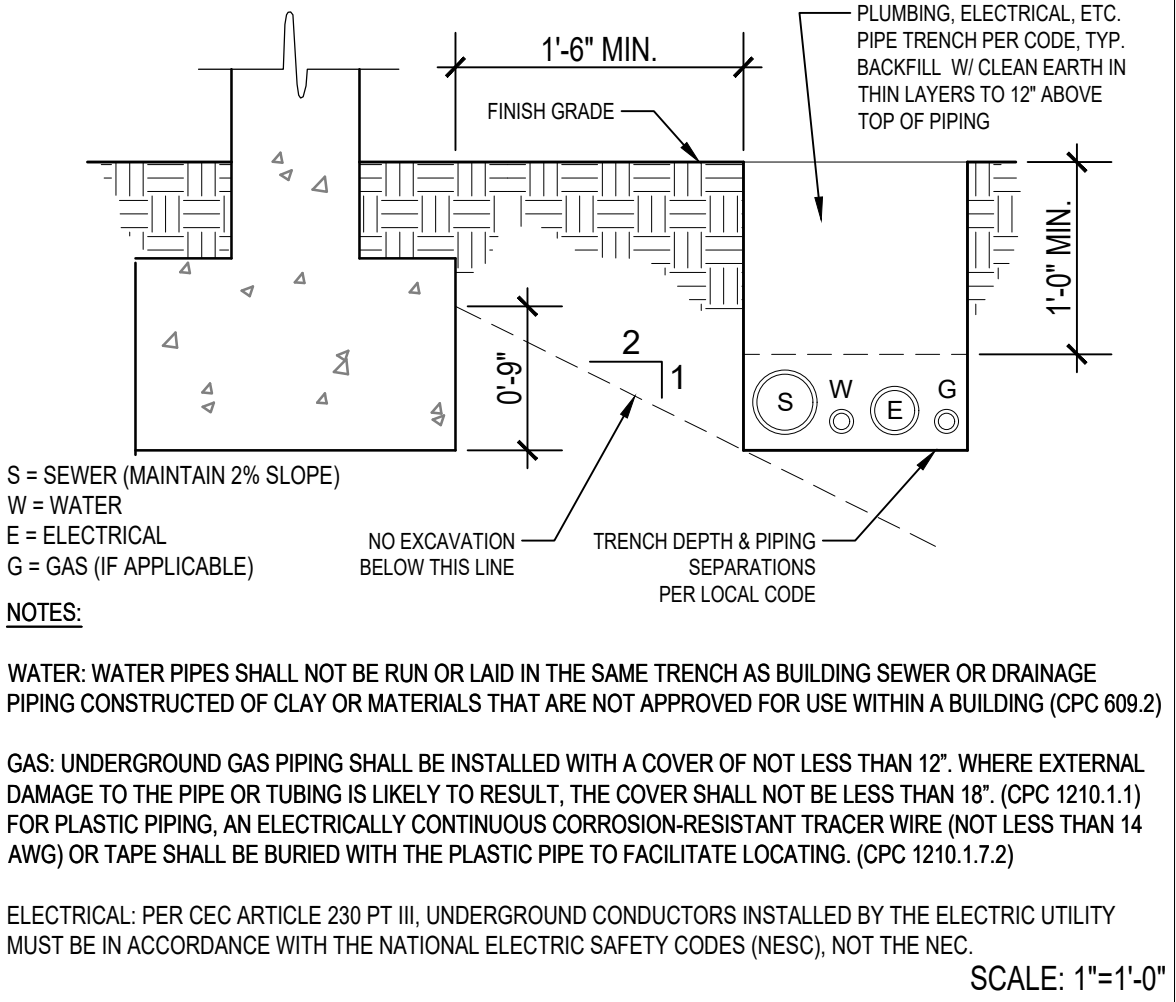
12 DECK/PORCH POST TO FOUNDATION



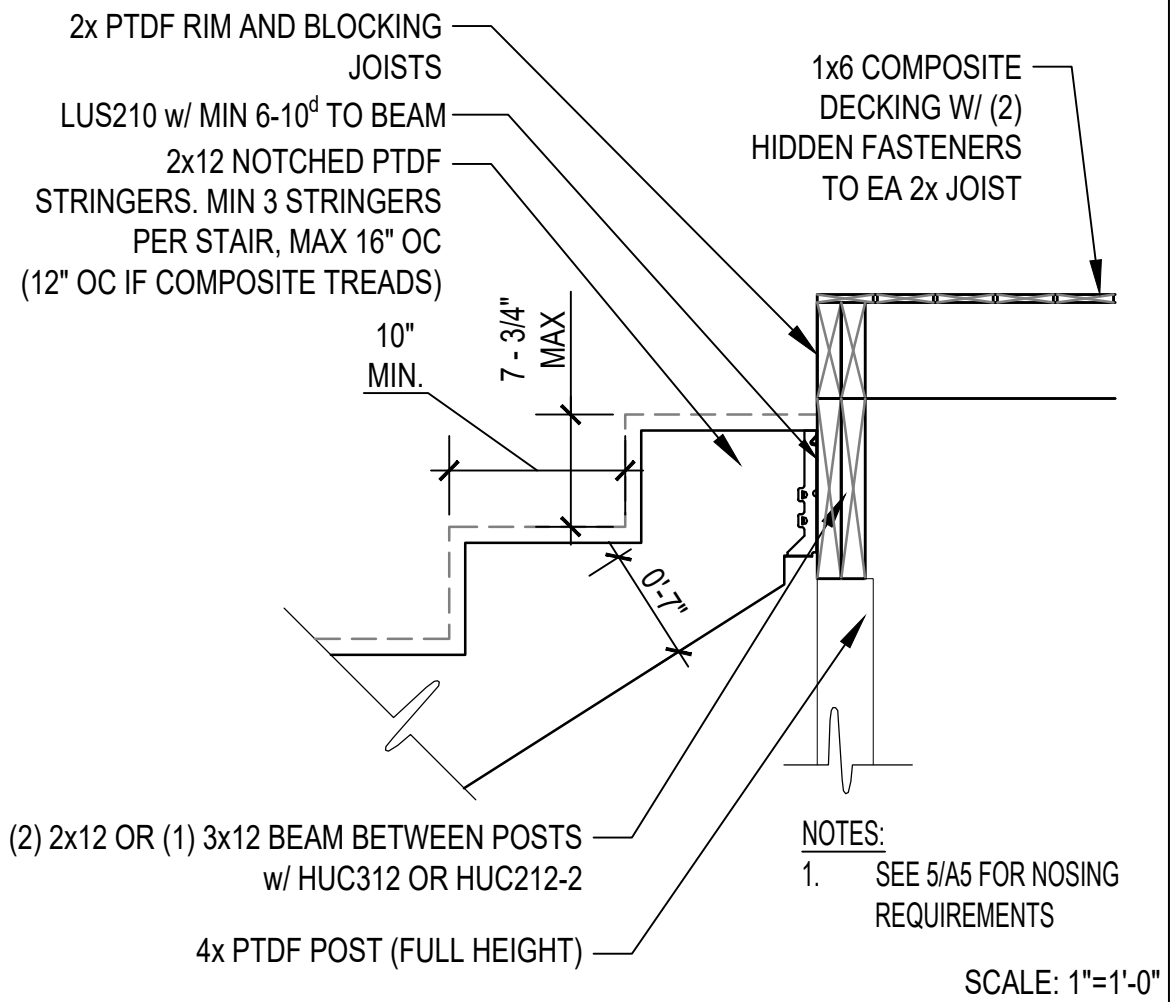
8 TRENCH PARALLEL TO FOOTING



4 STRINGERS AT LANDING



12 DECK/PORCH POST TO FOUNDATION



8 TRENCH PARALLEL TO FOOTING

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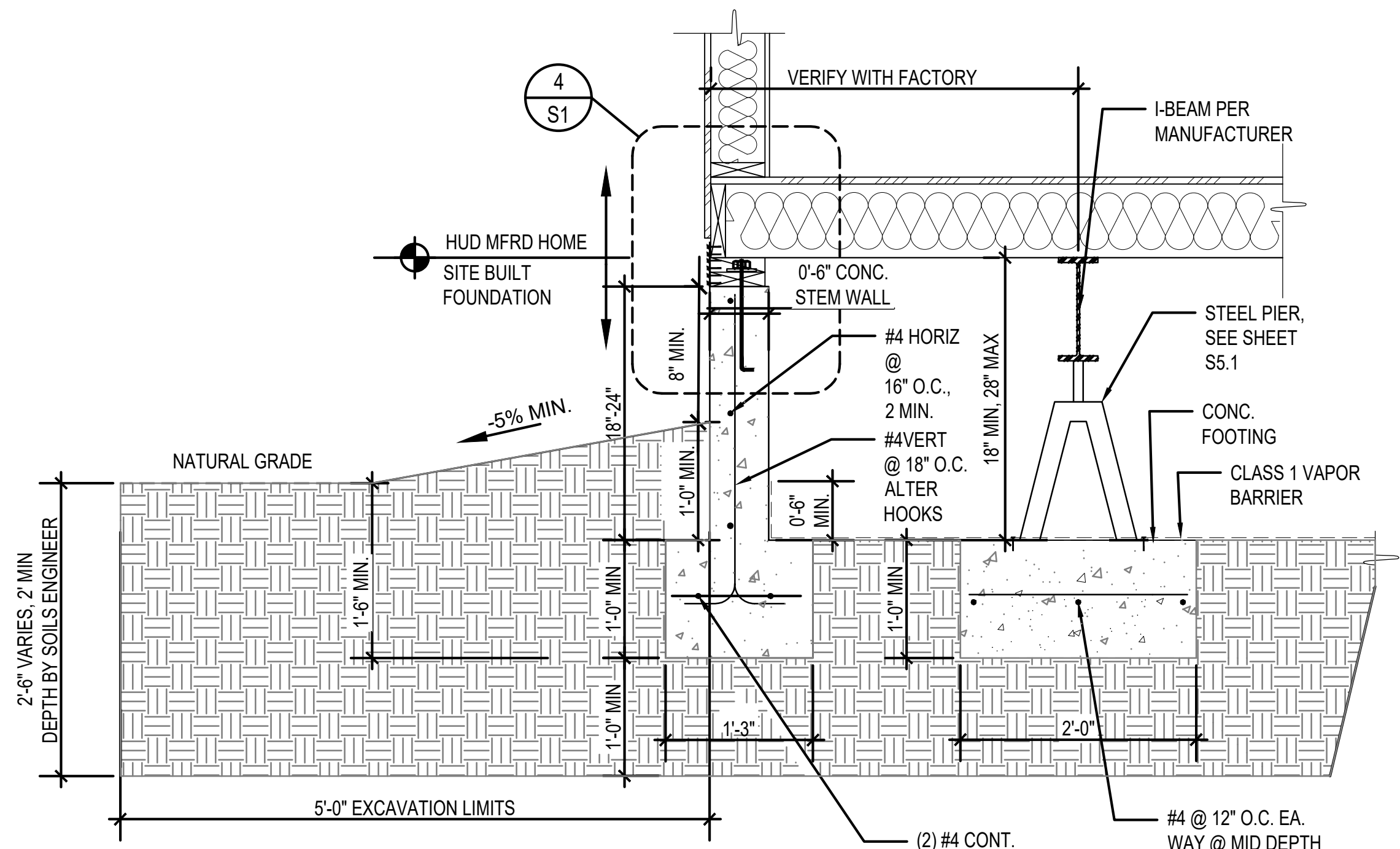
REVISION LIST	DATE

Project number 599  
Date 5/22/24

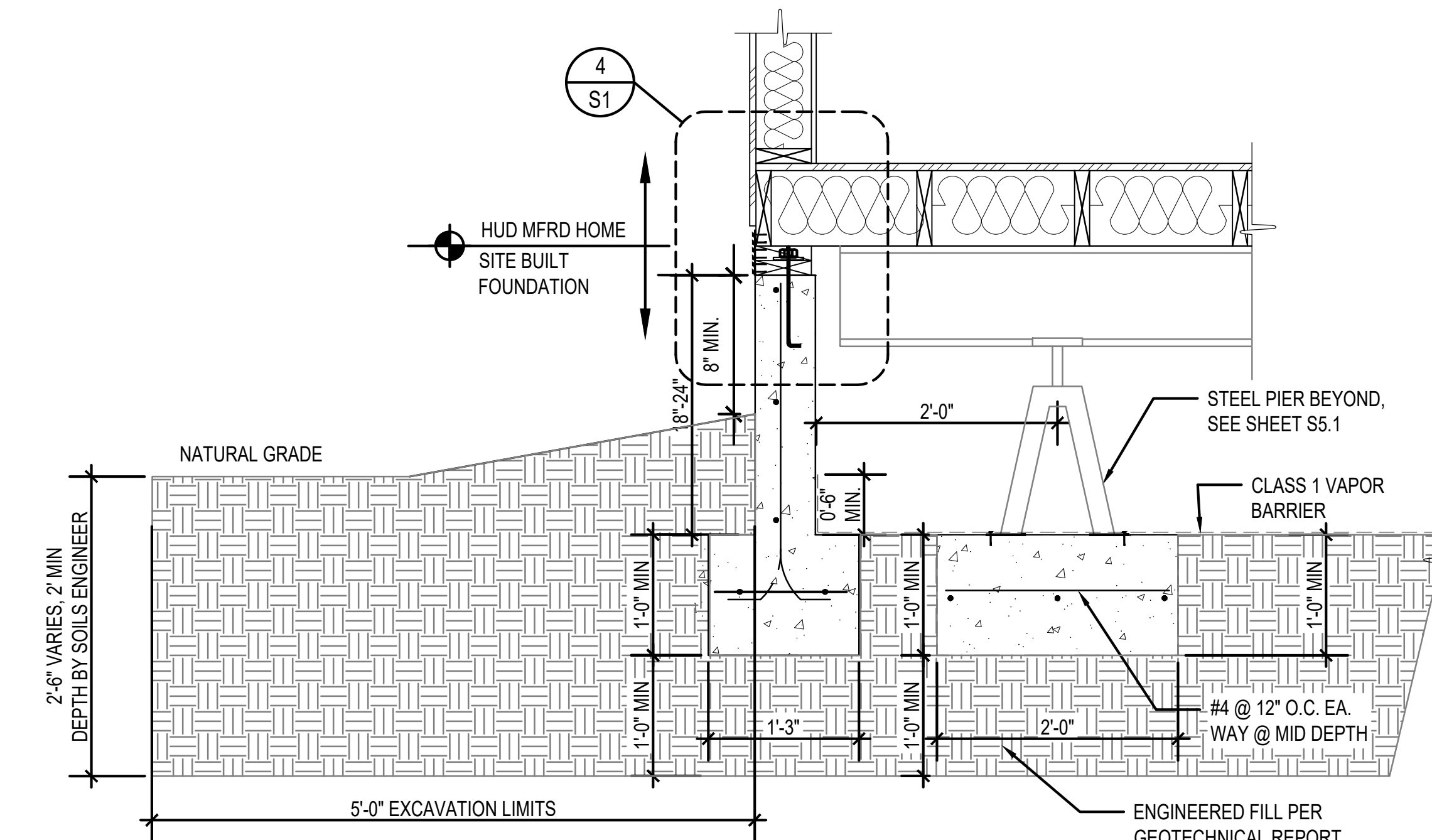
DETAILS

A5

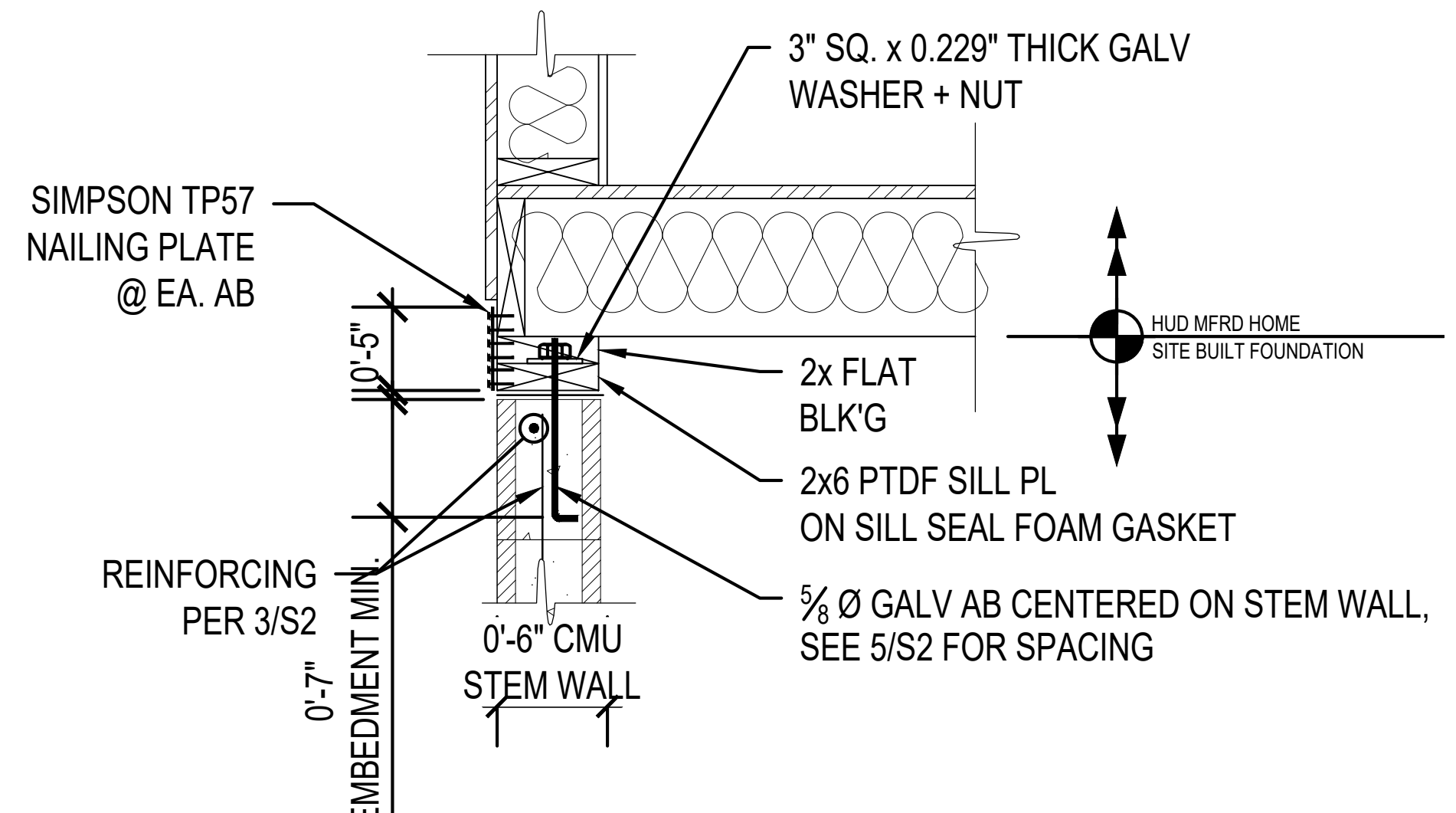




2 PERIMETER FOUNDATION SECTION - ENDWALL  
1" = 1'-0"



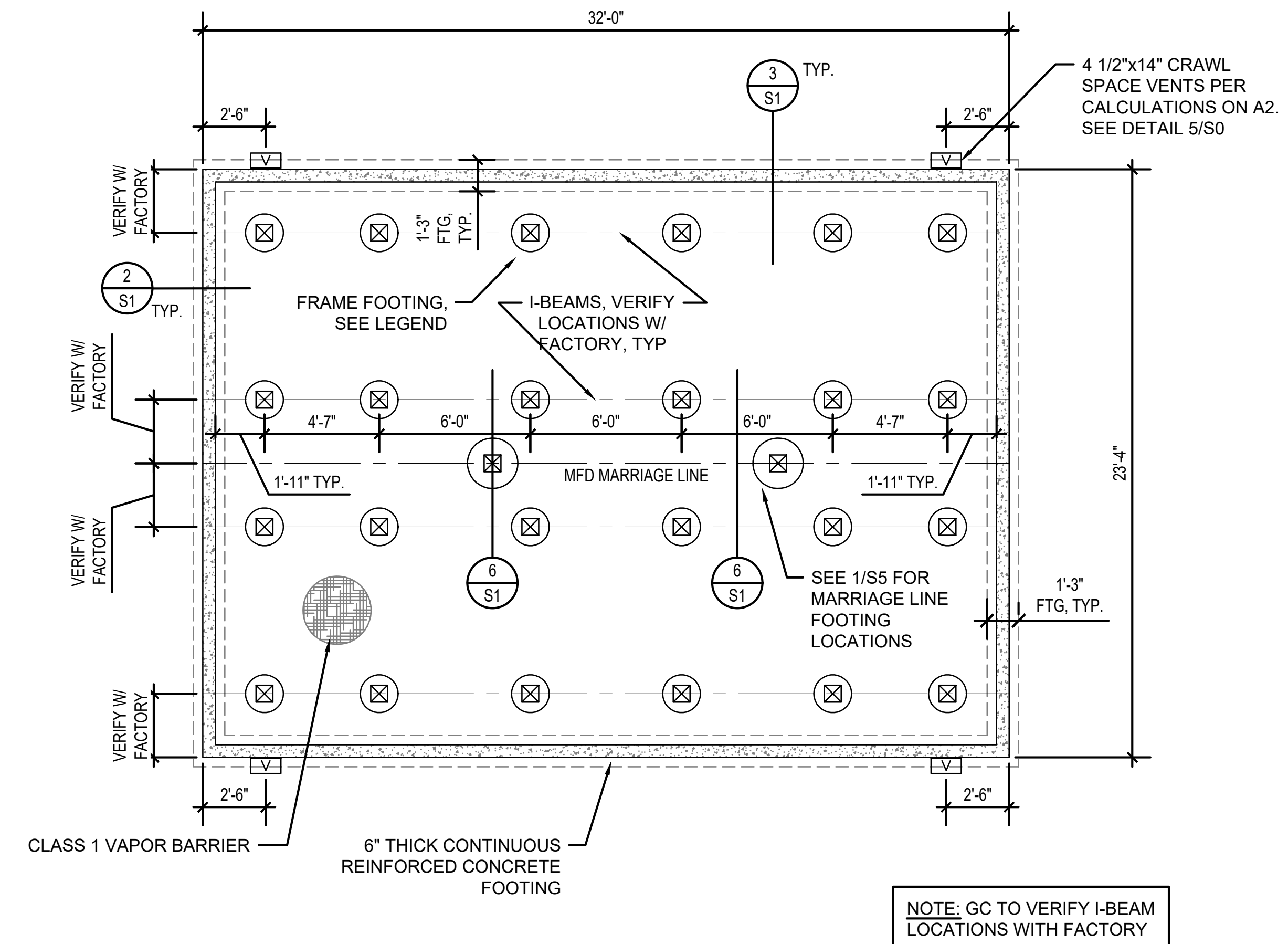
3 PERIMETER FOUNDATION SECTION - SIDEWALL  
1" = 1'-0"



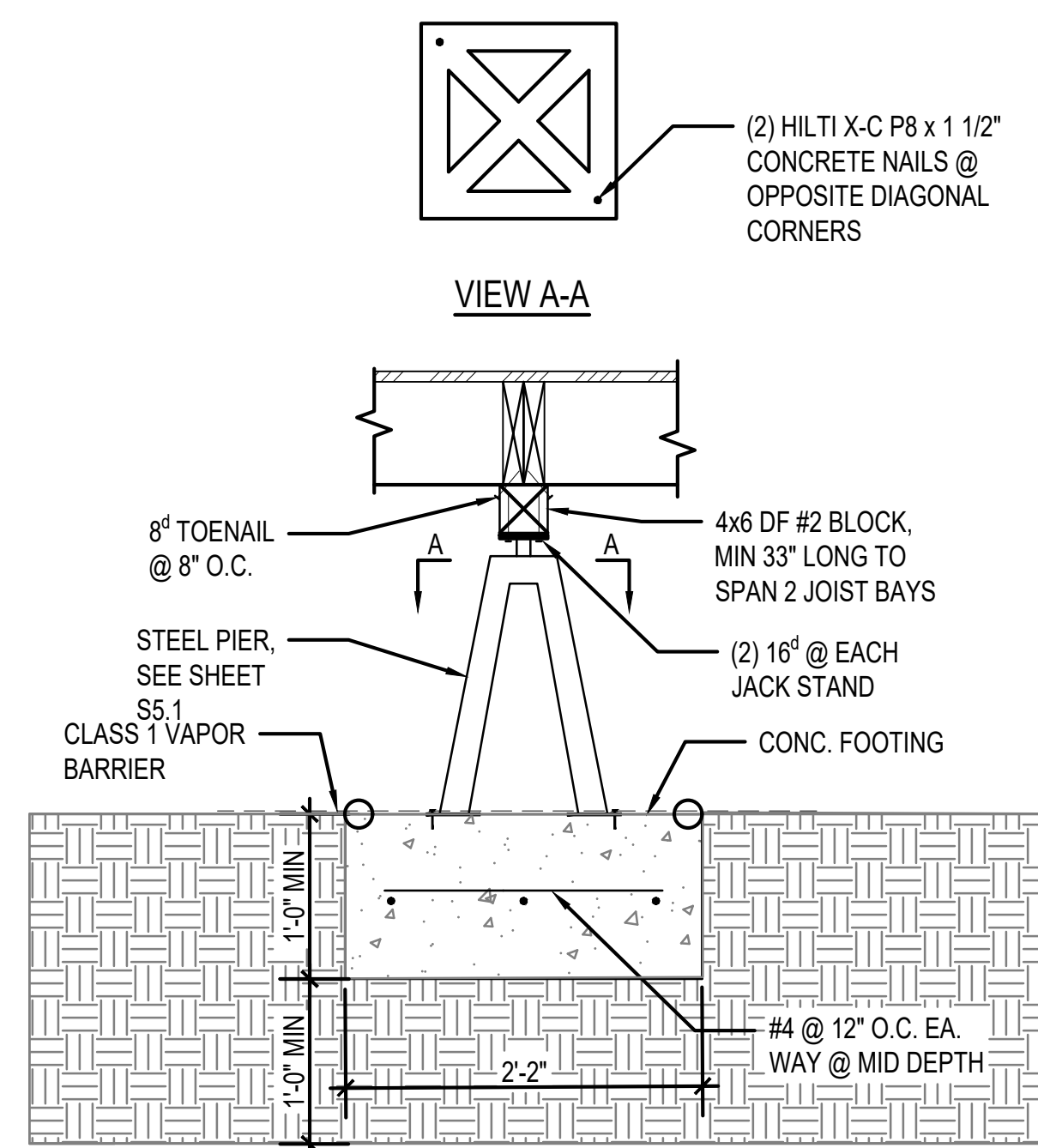
4 STEM WALL CONNECTION SECTION  
1-1/2" = 1'-0"

**FOUNDATION LEGEND**

FOUNDATION WALL VENT	⊞	SEE VENT CALCULATIONS ON SHEET A2 ALONG WITH DETAIL 5/S0
FRAME FOOTING	⊞	ADJUSTABLE STEEL PIERS PER SHEET S5.1 SUPPORTED ON CONCRETE FOOTING, SEE 2/S1 & 3/S1
MARRIAGE LINE FOOTING	⊞	ADJUSTABLE STEEL PIERS PER SHEET S5.1 SUPPORTED ON CONCRETE FOOTING, SEE 6/S1
MARRIAGE LINE SUPPORT	⊞	MARRIAGE LINE SUPPORTED BY PERIMETER FOUNDATION



1 FOUNDATION PLAN  
1/4" = 1'-0"



6 SECTION @ MARRIAGE LINE  
1" = 1'-0"

5/8" DIAMETER ANCHOR BOLT SPACING

VILLA MODEL	LENGTH	WIDTH	ENDWALL BOLT SPACING	SIDEWALL BOLT SPACING
450	29'-0"	15'-2"	30"	72"
550	37'-6"	15'-2"	30"	72"
650 A/B	43'-10"	15'-2"	30"	72"
750	32'-0"	23'-4"	36"	72"
800	40'-0"	20'-0"	30"	72"
1000 A/B	37'-6"	26'-8"	42"	72"
1200 A	45'-0"	26'-8"	42"	72"
1200 B	44'-10"	26'-8"	42"	72"

- NOTES:
- 7" EMBEDMENT REQUIRED INTO CONCRETE.
  - 3" SQUARE, 0.229" THICK WASHER ON EACH BOLT.
  - 2 BOLTS MIN. PER SILL PLATE. IF SILL PLATE SPLICE IS REQ'D, 2 BOLTS MIN. PER EACH MEMBER.
  - LOCATE 12" MAX AND 4-1/2" MIN. FROM EACH END.

5 ANCHOR BOLT SPACING



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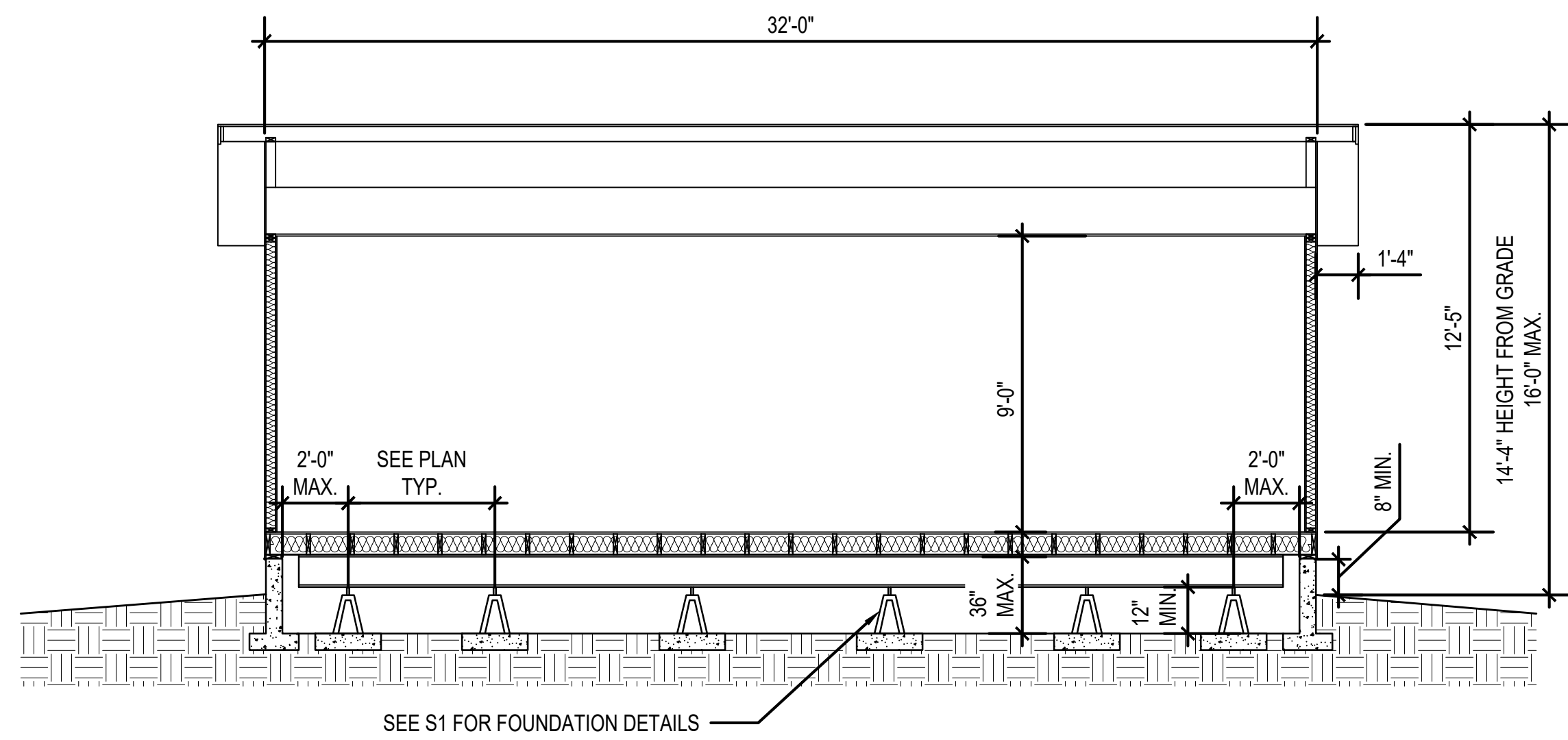
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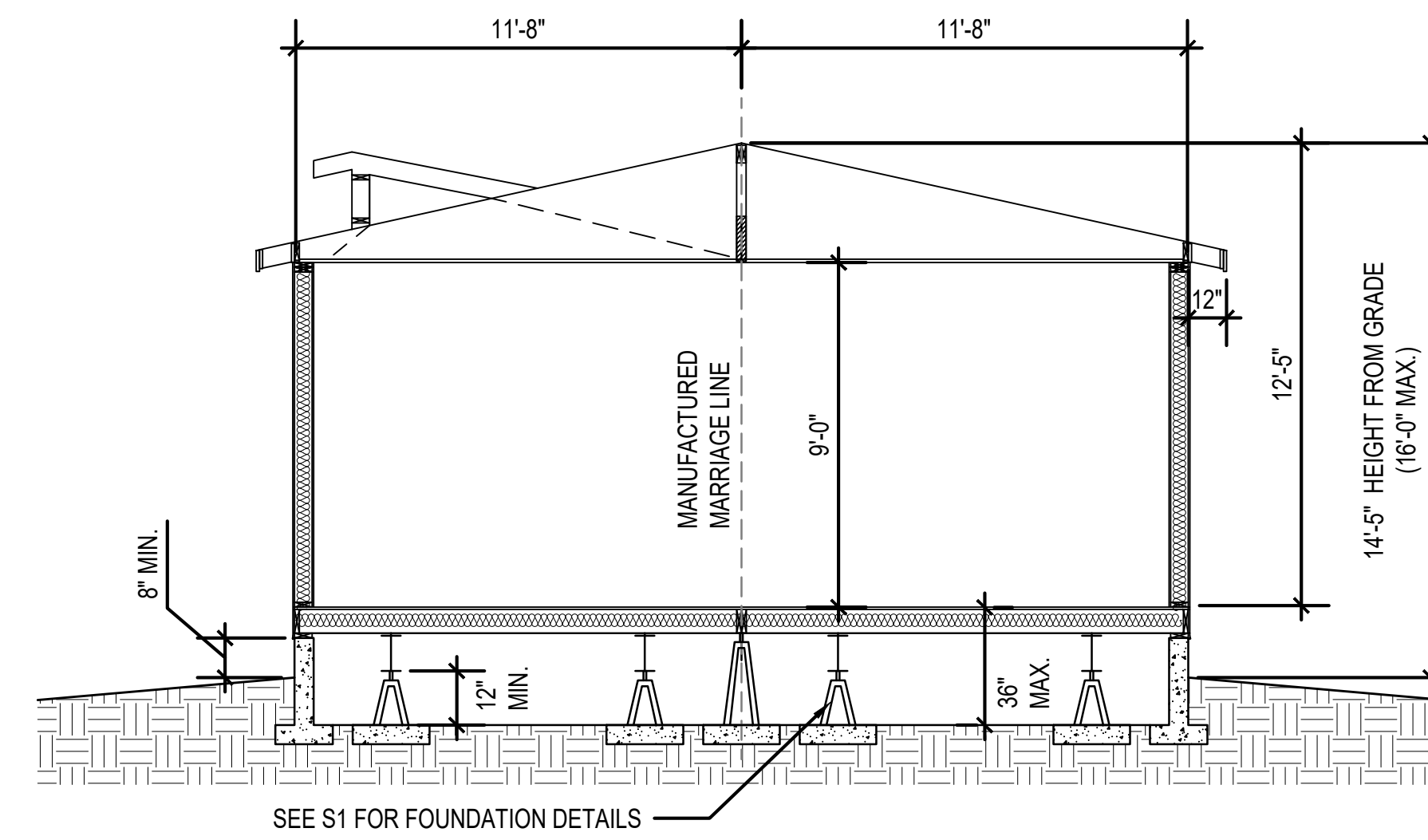
Project number 599  
Date 5/22/24

FOUNDATION  
PLAN &  
DETAILS

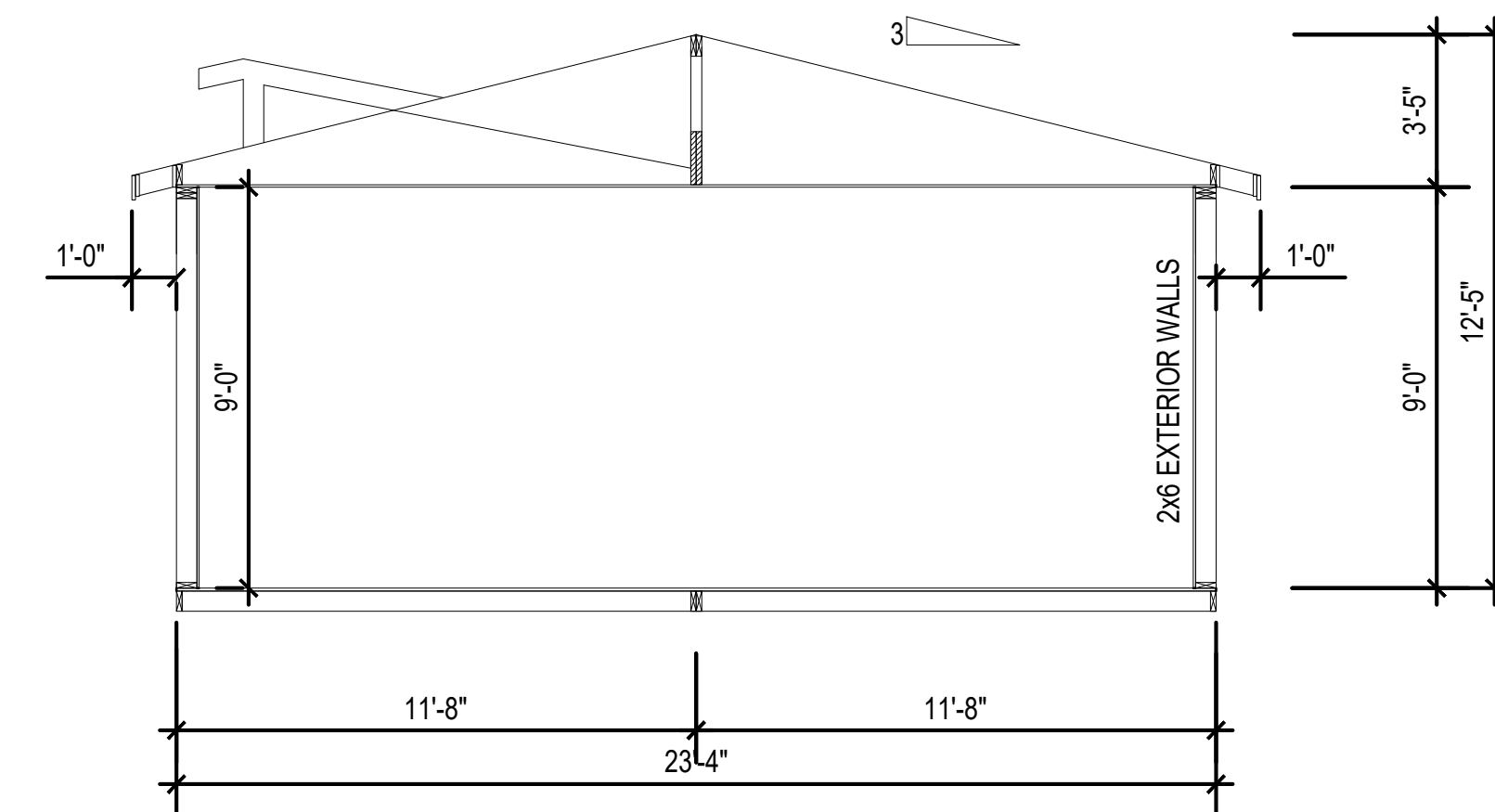
S1



3 LONGITUDINAL SECTION WITH GRADE  
1/4" = 1'-0"



1 CROSS SECTION WITH GRADE  
1/4" = 1'-0"



2 MANUFACTURER'S CROSS SECTION  
1/4" = 1'-0"



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ALL MANUFACTURER  
DRAWINGS INCLUDED ON  
THIS SHEET HAVE BEEN  
APPROVED BY HUD. REFER  
TO INSTALLATION MANUAL

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SECTIONS

S3



**DRAWING NOTES**

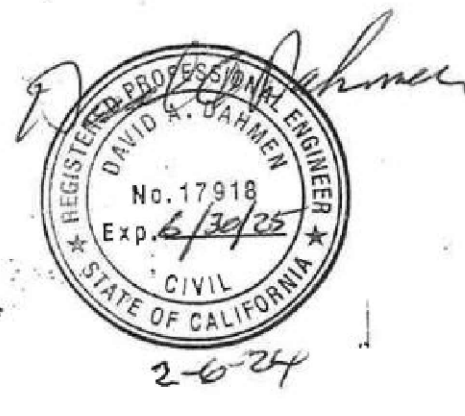
- PIER CAP - SEE SHEETS 4, 5 & 6 FOR AVAILABLE PIER CAPS
- 3/4" DIAMETER x 5" LONG ASTM A307 THREADED ROD
- 3/4" DIAMETER ASTM A307 HEX NUT
- 1-1/2" DIAMETER x 12 GA. PUNCHED WASHER
- 1" x 1" x 12 GA. COLD FORMED A575 OR 59 STEEL LEG
- 1-1/4" x 14 GA. ASTM STEEL BRACE. SEE PIER SCHEDULE ON SHEET 2 FOR PIER HEIGHTS THAT REQUIRE BRACES
- 1-1/4" x 14 GA. ASTM A33 STEEL BASE STRIPS
- 1/4" DIAMETER HOLE FOUR LOCATIONS FOR SECURING PIER TO PAD
- 1" DIAMETER x 1-1/4" LONG STEEL PIPE SHIM LISTING LABEL - SEE DETAIL ON SHEET 3
- BASE WIDTH 'B' - SEE PIER SCHEDULE ON SHEET 2
- 3/4" DIAMETER ASTM A307 HEX NUT BELOW COLLAR - LOWER NUT AND COLLAR ARE OPTIONAL WHERE POSITIVE CONNECTION BETWEEN PIER CAP AND CHASSIS BEAM IS NOT REQUIRED BY CODE
- 10 GAUGE STEEL PLATE FORMED AS SHOWN
- 13 GAUGE STEEL PLATE FORMED AS SHOWN
- 8 GAUGE STEEL PLATE
- 3/8" DIAMETER BY 1-1/4" LONG PLATED CD 5 CHASSIS BOLT W/ NUT AND LOCK WASHER - INSTALLED THROUGH A 1" LONG SLOTTED HOLE
- 3/16" HOLE FOR NAIL OR SCREW PIER TO BE DIP COATED IN PERVO PAINT & 6659 SOLVENT BASE BROWN PRIMER

**PERSPECTIVE VIEW OF PIER**  
NOT TO SCALE  
**MANUFACTURED HOME SUPPORT PIER**  
BSK Listing Number 1050 Rated Capacity 4000 lbs & 6000 lbs Tested Capacity 12000 lbs & 18000 lbs

Pacific Consulting Engineers  
9739 North Vista Drive  
Kingman, AZ 86401  
916-296-7376

D-Mac LLC  
1105 E. Discovery Lane  
Anaheim, CA 92801-1121  
(888) 968-EMAC  
FAX (714) 808-3922

Sheet: 1 of 6  
Date: June 2008  
Rev: -  
Drawing: 1810UTL.DWG



MOBILEHOME & ACCESSORY STRUCTURE BUILDING COMPONENT HEALTH AND SAFETY CODE DIVISION 13, PART 2 APPROVED

Approval does not authorize or approve any omission or deviation from requirements of applicable State laws and regulations.

STATE OF CALIFORNIA  
DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT  
DIVISION OF CODES AND STANDARDS

By: *[Signature]* Date: 2/12/24  
(signature)

BP NO. 21-01  
This Approval Expires: 3/27/26

**PIER SCHEDULE**

NOMINAL HEIGHT	ACTUAL HEIGHT 'H'	BASE WIDTH 'B'	BRACED	CAPACITY
6"	5-1/2"	7-1/4"	NO	6000 lbs
8"	7-1/2"	7-1/4"	NO	6000 lbs
10"	9-1/2"	9-1/4"	NO	6000 lbs
12"	11-1/2"	9-1/4"	NO	6000 lbs
14"	13-1/2"	9-1/4"	NO	6000 lbs
16"	15-1/2"	11-1/4"	NO	6000 lbs
18"	17-1/2"	11-1/4"	NO	6000 lbs
20"	19-1/2"	11-1/4"	NO	6000 lbs
22"	21-1/2"	11-1/4"	NO	6000 lbs
24"	23-1/2"	11-1/4"	YES	6000 lbs
26"	25-1/2"	11-1/4"	YES	6000 lbs
28"	27-1/2"	11-1/4"	YES	6000 lbs
30"	29-1/2"	11-1/4"	YES	6000 lbs
32"	31-1/2"	11-1/4"	YES	4000 lbs
34"	33-1/2"	11-1/4"	YES	4000 lbs
36"	35-1/2"	11-1/4"	YES	4000 lbs

**PIER SCHEDULE & ELEVATION**  
**MANUFACTURED HOME SUPPORT PIER**  
BSK Listing Number 1050 Rated Capacity 4000 lbs & 6000 lbs Tested Capacity 12000 lbs & 18000 lbs

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**LEG TO BASE CONNECTION** HALF SIZE

**SECTION A-A WASHER CONNECTION AT TOP** HALF SIZE

**STEEL BASE** 3" x 1'-0"  
D-MAC ANAHEIM, CA  
BSK # 1050  
6000# RATED 18000# TESTED  
14" M.H. STEEL PIER  
2" MAX JACK EXTN.

**BRACE CONNECTION** NOT TO SCALE

**MANUFACTURED HOME SUPPORT PIER**  
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**PERSPECTIVE I BEAM PIER CAP**

**PERSPECTIVE HOT ROLLED C CHANNEL CAP**

**MANUFACTURED HOME SUPPORT PIER**  
BSK Listing Number 1050 Rated Capacity 4000 lbs & 6000 lbs Tested Capacity 12000 lbs & 18000 lbs

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**PERSPECTIVE COLD ROLLED C CHANNEL CAP**

**PERSPECTIVE FLAT TOPPED COMMERCIAL CAP**

**MANUFACTURED HOME SUPPORT PIER**  
BSK Listing Number 1050 Rated Capacity 4000 lbs & 6000 lbs Tested Capacity 12000 lbs & 18000 lbs

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**PERSPECTIVE L TOP CAP**

**PERSPECTIVE SADDLE CAP FOR WOOD BEAMS**

**MANUFACTURED HOME SUPPORT PIER**  
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BUILDING C, SUITE 3500  
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ALL MANUFACTURER DRAWINGS INCLUDED ON THIS SHEET HAVE BEEN APPROVED BY HCD

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WEARE

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PIER DETAILS

S5.1