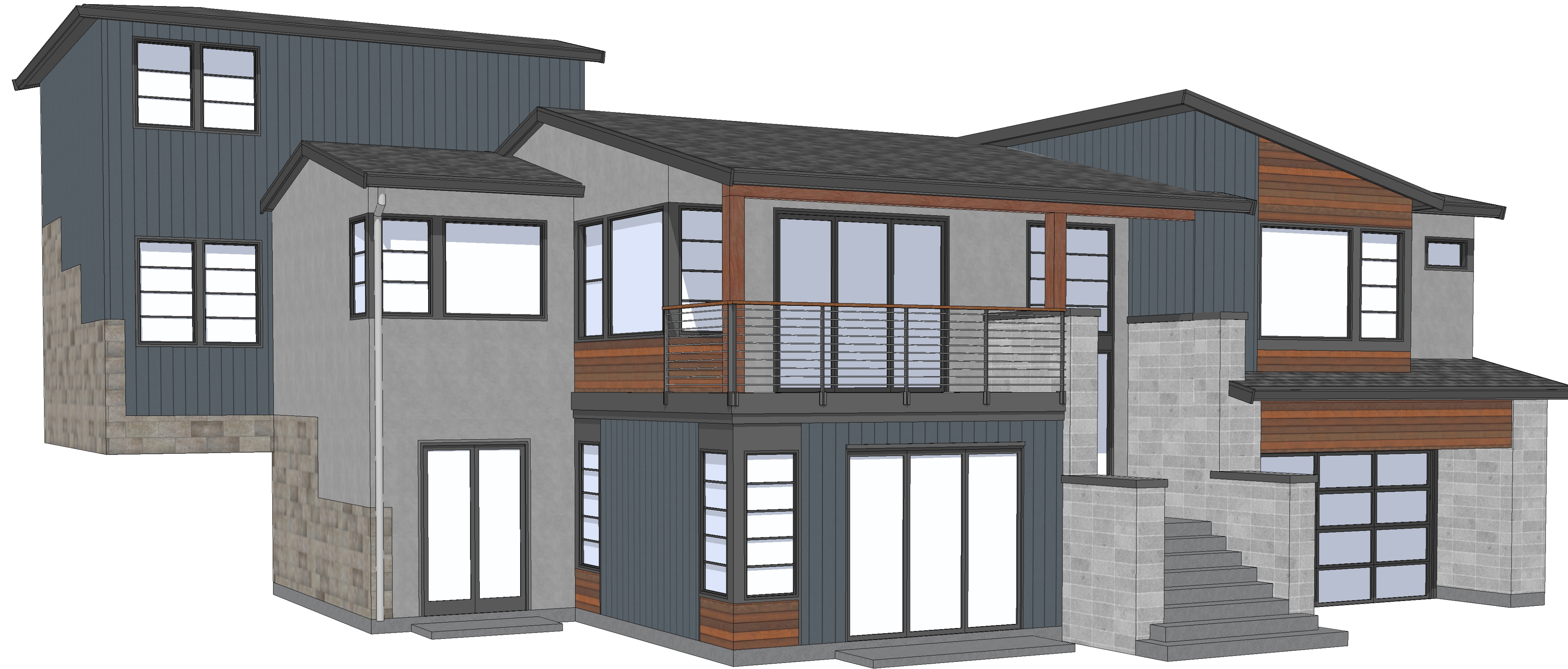


LEGACY AT LUCAS VALLEY

SAN RAFAEL, CA



PROJECT DATA	
PROJECT DESCRIPTION: CONSTRUCTION OF NEW 4,270 SQUARE FOOT THREE-STORY, SINGLE FAMILY RESIDENCE AND ATTACHED ADU AND ALL RELEVANT SITE AND LANDSCAPING IMPROVEMENTS	
ASSESSOR'S PARCEL NUMBER:	164-650-19
ZONING:	RMP - 1.38
OCCUPANCY CLASSIFICATION:	R-3
DESCRIPTION OF USE:	SINGLE FAMILY RESIDENCE
CONSTRUCTION TYPE:	V-B
STORIES	3
SPRINKLERS	YES
LOT AREA:	28,165 SQ. FT.
AVERAGE SLOPE:	31.50%
PROPOSED BUILDING AREA:	4,270 SQ. FT.
PROPOSED FLOOR AREA:	3,730 SQ. FT.
PROPOSED FLOOR AREA RATIO:	0.13
AREA OF ADDITIONAL DISTURBANCE:	
PROPOSED IMPERVIOUS AREA	3,360 SQ. FT.
PROPOSED PERVIOUS AREA	24,805 SQ. FT.
GRADING CALCULATIONS:	
CUT:	320 CUBIC YARDS
FILL:	140 CUBIC YARDS
NET:	180 (CUT) CUBIC YARDS
ON-SITE PARKING	3 TOTAL SPACES
PROPOSED SETBACK FOR EXTERIOR WALLS:	
PROPOSED FRONT YARD SETBACK	20.5'
PROPOSED SIDE YARD SETBACK	6.0' & 8.5'
PROPOSED REAR YARD SETBACK	117.5'
MAX HEIGHT FOR MAIN BUILDING	30'-0"
PROPOSED HEIGHT FOR MAIN BUILDING:	25'-5"

IMPORTANT TO NOTE:
FINISHED GRADE IS LOWER THAN NATURAL GRADE AND IS MORE RESTRICTIVE

VICINITY MAP

THE PROPERTY IS LOCATED NORTHEAST OF LUCAS VALLEY ROAD AND EAST OF LAS GALLINAS AVENUE BY AN EXTENSION OF ERIN DRIVE ON PROPERTY IDENTIFIED AS ASSESSOR'S PARCEL 164-650-19.



PROJECT TEAM

APPLICANT

HAVEN DEVELOPMENT COMPANY
696 SAN RAMON VALLEY BLVD.
DANVILLE, CA 94526
CONTACT: PREM DEHOOT
PHONE: 925-963-2114
EMAIL: PDHOOT@HAVEN-DEVELOPMENT.COM

ARCHITECT

DAHLIN GROUP, INC.
5865 OWENS DRIVE
PLEASANTON, CA 94588
CONTACT: DON RICCI
PHONE: 925-251-7200
EMAIL: DON.RICCI@DAHLINGROUP.COM

CIVIL ENGINEER

CB AND G
2633 CAMINO RAMON, SUITE 350
SAN RAMON, CA 94583
CONTACT: DAN JOHNSON
PHONE: 925-866-0322
EMAIL: DJOHNSON@CBANDG.COM

LANDSCAPE ARCHITECT

GATES ASSOCIATES
2671 CROW CANYON RD,
SAN RAMON, CA 94583
CONTACT: MELONIE REYNOLDS
PHONE: 925-736-8176
EMAIL: MELONIE@DGATES.COM

SHEET INDEX

ARCHITECTURAL DRAWINGS

CS.1	COVER SHEET
CS.2	FOCUSED SITE PLAN W/ ELEVATIONS
A.1	FIRST FLOOR PLAN
A.2	SECOND FLOOR PLAN
A.3	THIRD FLOOR PLAN
A.4	ROOF PLAN
A.5	ELEVATIONS, MATERIALS & COLORS
A.6	ELEVATIONS, MATERIALS & COLORS
A.7	SITE SECTIONS

LANDSCAPE DRAWINGS

-----	LANDSCAPE PLAN
-----	PLANT LIST AND MATERIAL LIST

CIVIL DRAWINGS

-----	CIVIL SITE, GRADING, DRAINAGE, & UTILITY PLAN
-----	DRIVEWAY INGRESS
-----	DRIVEWAY EGRESS
-----	IP-14 : IMPROVEMENT PLANS
-----	STORMWATER CONTROL PLAN
-----	IP-15 : GRADING PLANS

LEGACY AT LUCAS VALLEY (2ND SUBMITTAL)

119 ERIN COURT SAN RAFAEL, MARIN COUNTY, CA

LOT 19

BLDG. CORNER & RIDGE HEIGHTS AND STORY POLE LEGEND

*PLEASE NOTE THAT ALL ELEVATIONS ARE IN DECIMAL FEET, ALL ELEVATIONS ARE PROPOSED AND ALL ELEVATION MARKERS SHOULD BE PRECEDED BY A (+/-)

MARK #	ELEV @ FINISHED GRADE	TOP OF BUILDING @ POINT INDICATED	HEIGHT ABOVE FINISHED GRADE
#1	164	175.89	11.89
#2	160	175.89	15.89
#3	154	175.89	21.89
#4	145	164.83	19.83
#5	145	165.58	20.58
#6	145	165.58	20.58
#7	145	165.58	20.58
#8	155.68	176.26	20.58
#9	145	170.42	25.42
#10	145	171.6	24.08
#11	145	155.27	10.27
#12	154	186.89	32.89

NOTES:

HIGHLIGHTED STORY POLES TO BE INSTALLED ON SITE WITH STRINGS IN BETWEEN

***STORY POLES INSTALLED ON SITE REPRESENT PREVIOUS BUTTERFLY VERSION ROOF

NOTE:

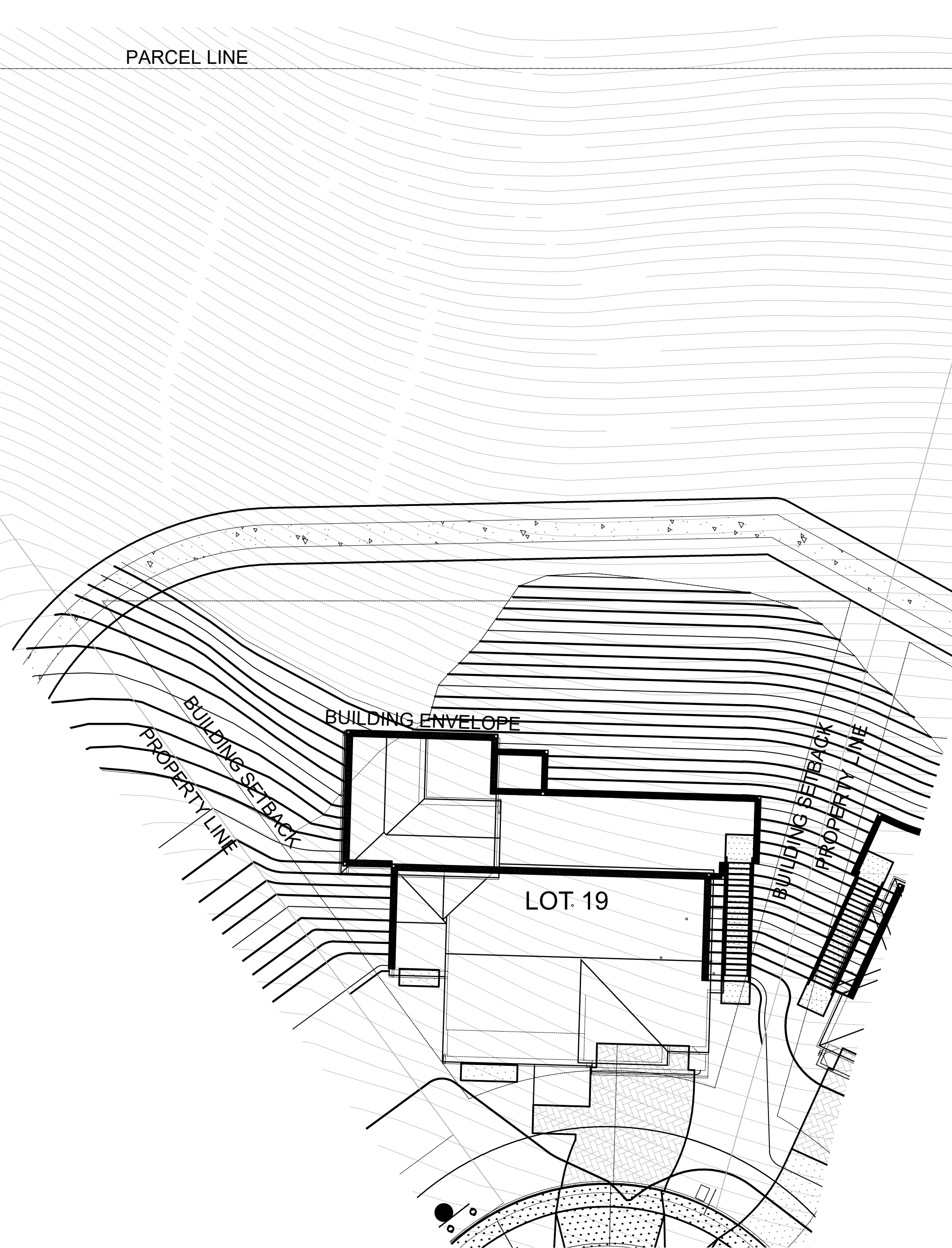
SITE PLAN IS FOR DIAGRAMMATIC PURPOSES ONLY. SEE CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.



**ENCROACHMENT INTO STEPBACK ZONE IS PERMITTED ALONG 25% OF BUILDING LENGTH. (SINGLE FAMILY RESIDENTIAL DESIGN GUIDELINES B-1.1 2))

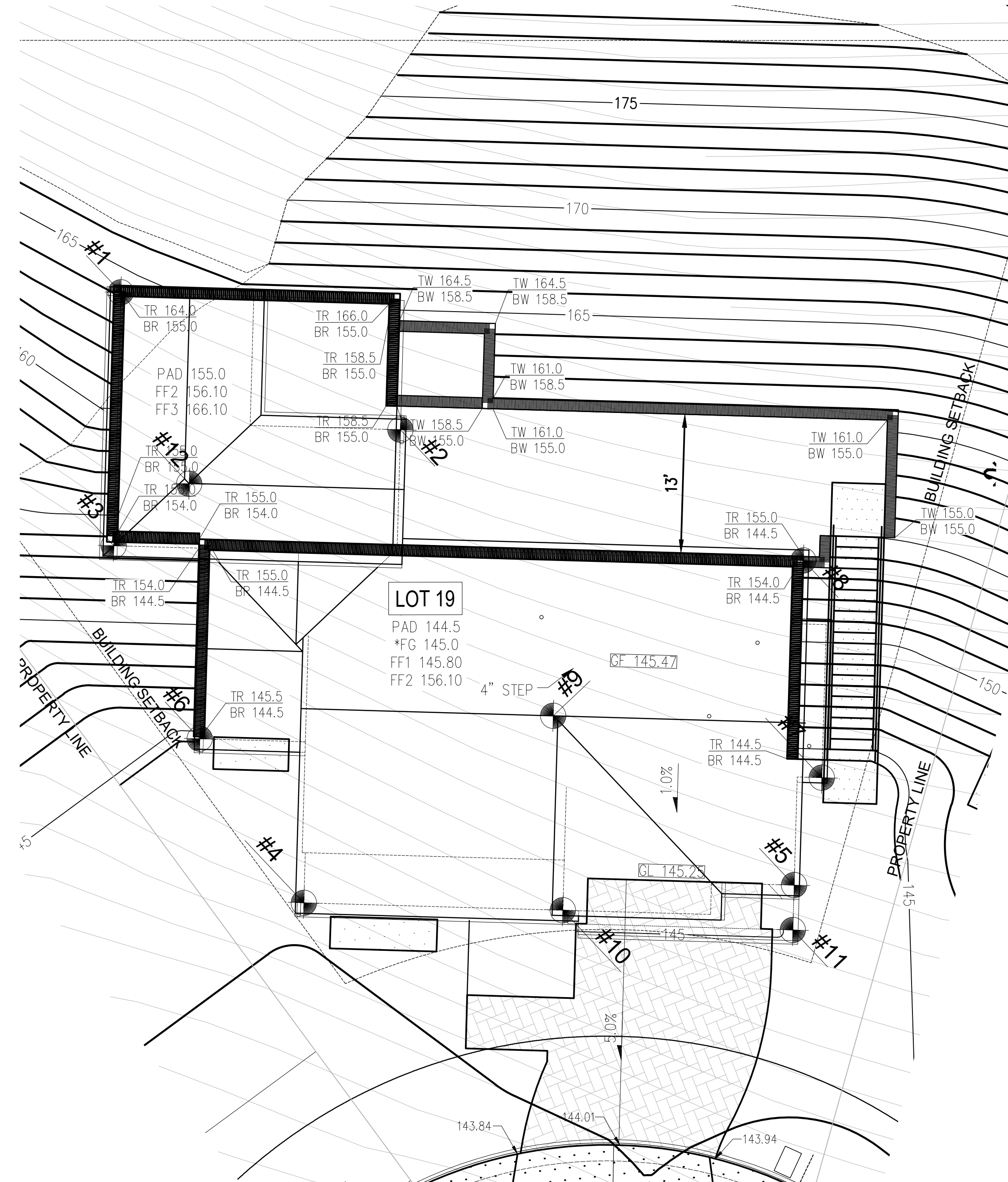
**67'-8" X 25% = 16'-11" (14'-0"<16'-11")

PARCEL LINE



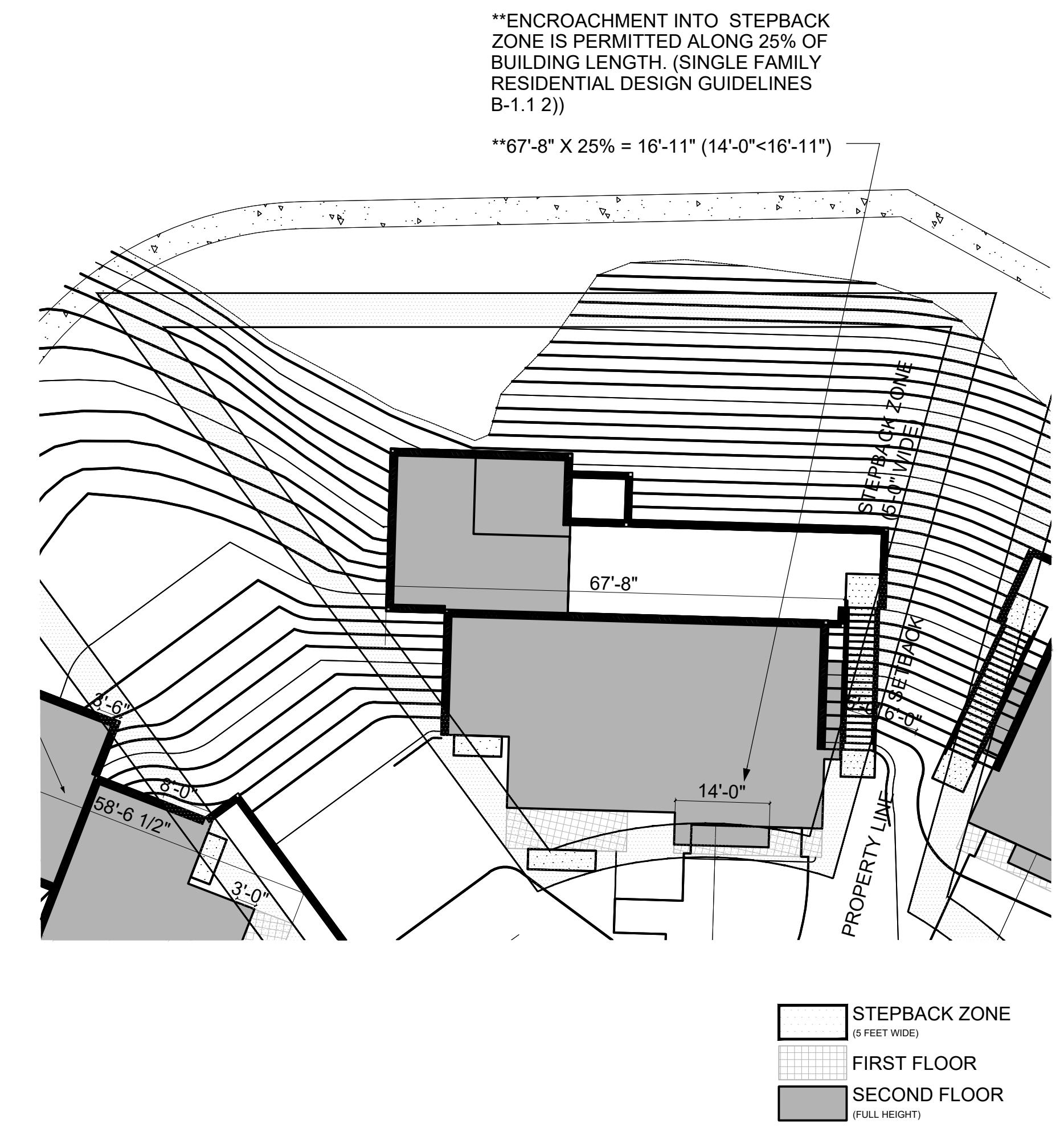
FULL BOUNDARY SITE PLAN

SCALE: 1/16" = 1'-0"



FOCUSED SITE PLAN WITH ROOF PLAN

SCALE: 1/8" = 1'-0"



STEP BACK ZONE DIAGRAM

NOT TO SCALE

- STEPBACK ZONE (5 FEET WIDE)
- FIRST FLOOR
- SECOND FLOOR (FULL HEIGHT)

LEGACY AT LUCAS VALLEY (2ND SUBMITTAL)

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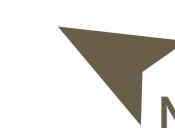
LOT 19

FOCUSED SITE PLAN WITH ELEVATIONS

SCALE: 1/8" = 1'-0"



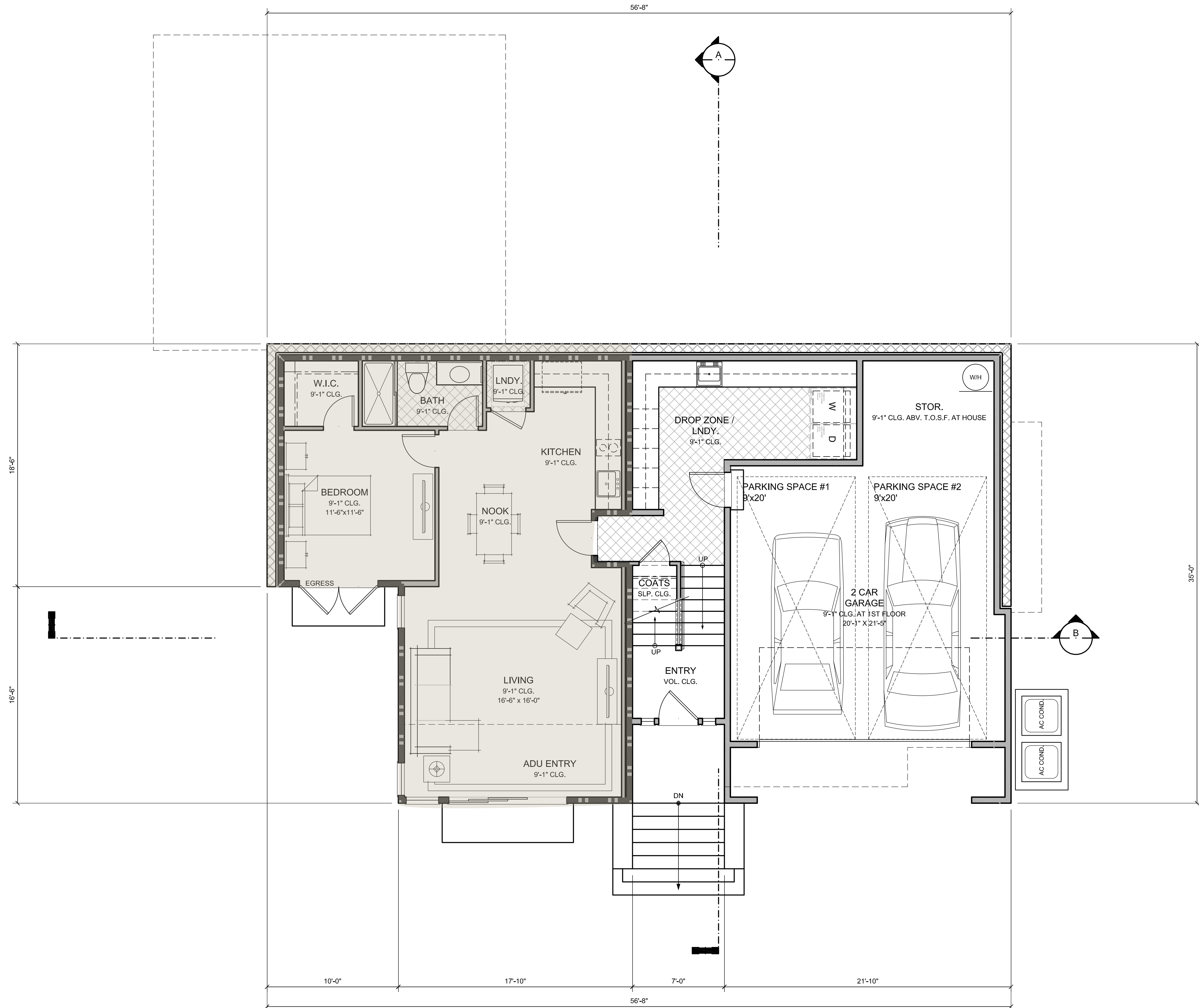
SCALE: 1/16" = 1'-0"



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PROJECT NO.: 1615.003
DATE: 06/26/2023





LEGEND

- ADU
- 1-HR RATED WALL

SQUARE FOOTAGE SUMMARY

FIRST FLOOR	302	SQ. FT.
SECOND FLOOR	2206	SQ. FT.
THIRD FLOOR	381	SQ. FT.
TOTAL LIVING	2889	SQ. FT.
ADU	799	SQ. FT.
TOTAL LIVING w/ADU	3688	SQ. FT.
GARAGE	582	SQ. FT.
BUILDABLE AREA	4270	SQ. FT.

FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



LEGACY AT LUCAS VALLEY (2ND SUBMITTAL)

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LOT 19

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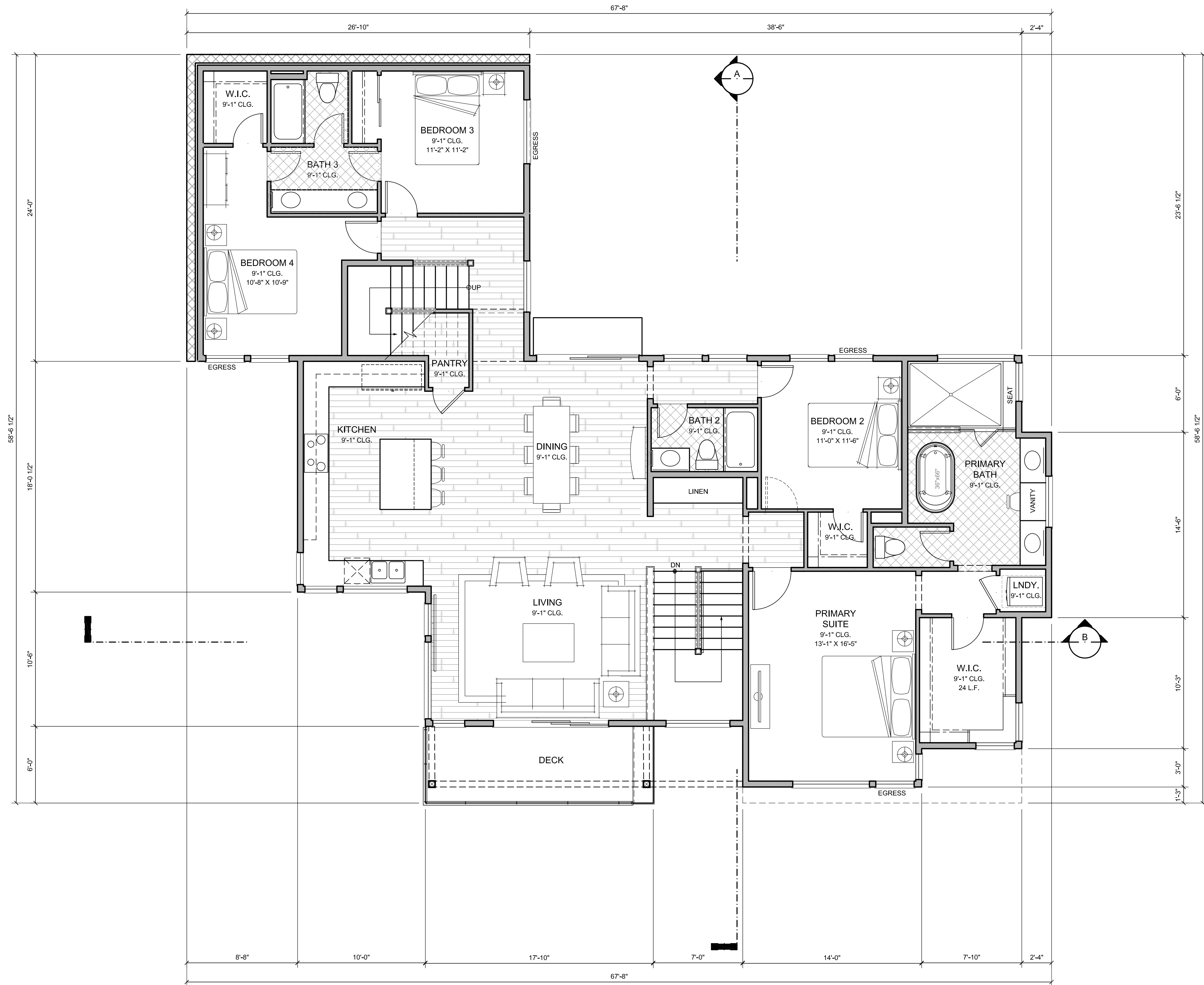
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925-251-7200

PROJECT NO.: 1615.003
DATE: 06/26/2023

SHEET **A.1**





SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

SQUARE FOOTAGE SUMMARY

FIRST FLOOR	302	SQ. FT.
SECOND FLOOR	2206	SQ. FT.
THIRD FLOOR	381	SQ. FT.
TOTAL LIVING	2889	SQ. FT.
ADU	799	SQ. FT.
TOTAL LIVING w/ADU	3688	SQ. FT.
GARAGE	582	SQ. FT.
BUILDABLE AREA	4270	SQ. FT.

LEGACY AT LUCAS VALLEY (2ND SUBMITTAL)

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LOT 19

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SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

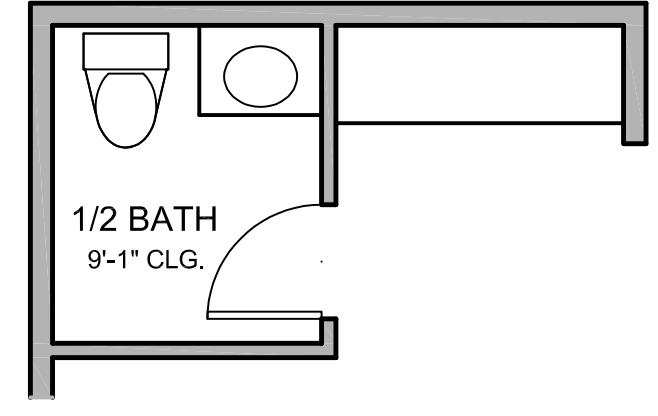
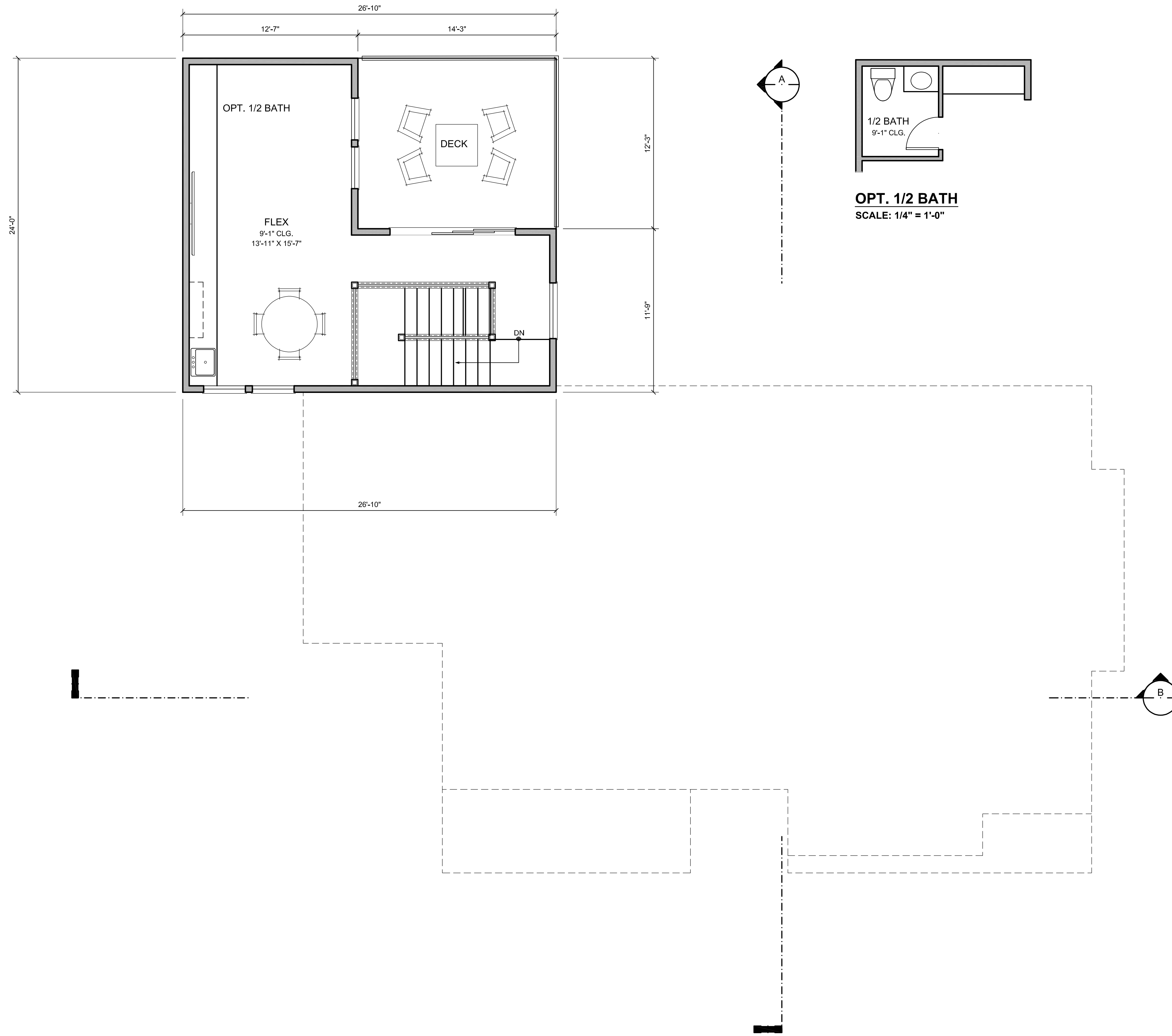


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DATE: 06/26/2023

SHEET **A.2**





SQUARE FOOTAGE SUMMARY		
FIRST FLOOR	302	SQ. FT.
SECOND FLOOR	2206	SQ. FT.
THIRD FLOOR	381	SQ. FT.
TOTAL LIVING	2889	SQ. FT.
ADU	799	SQ. FT.
TOTAL LIVING w/ADU	3688	SQ. FT.
GARAGE	582	SQ. FT.
BUILDABLE AREA	4270	SQ. FT.

THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"

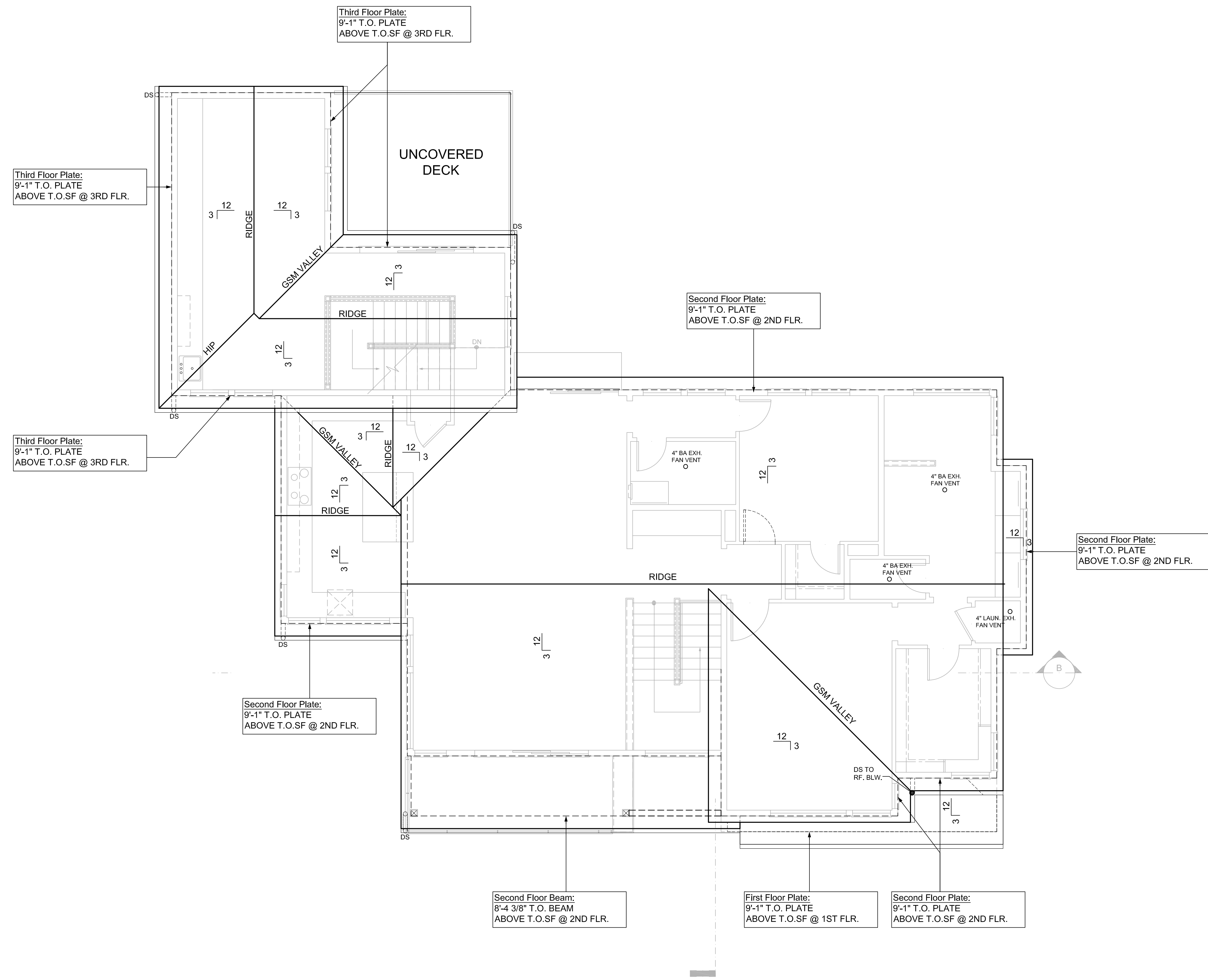
THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"



LEGACY AT LUCAS VALLEY (2ND SUBMITTAL)
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LOT 19





ROOF PLAN
SCALE: 1/4" = 1'-0"

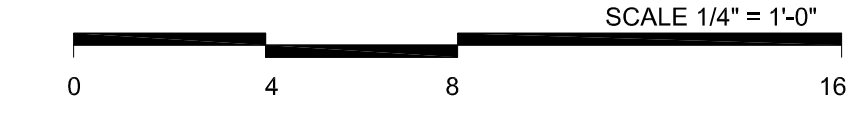
LEGACY AT LUCAS VALLEY (2ND SUBMITTAL)

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LOT 19

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ROOF PLAN
SCALE: 1/4" = 1'-0"



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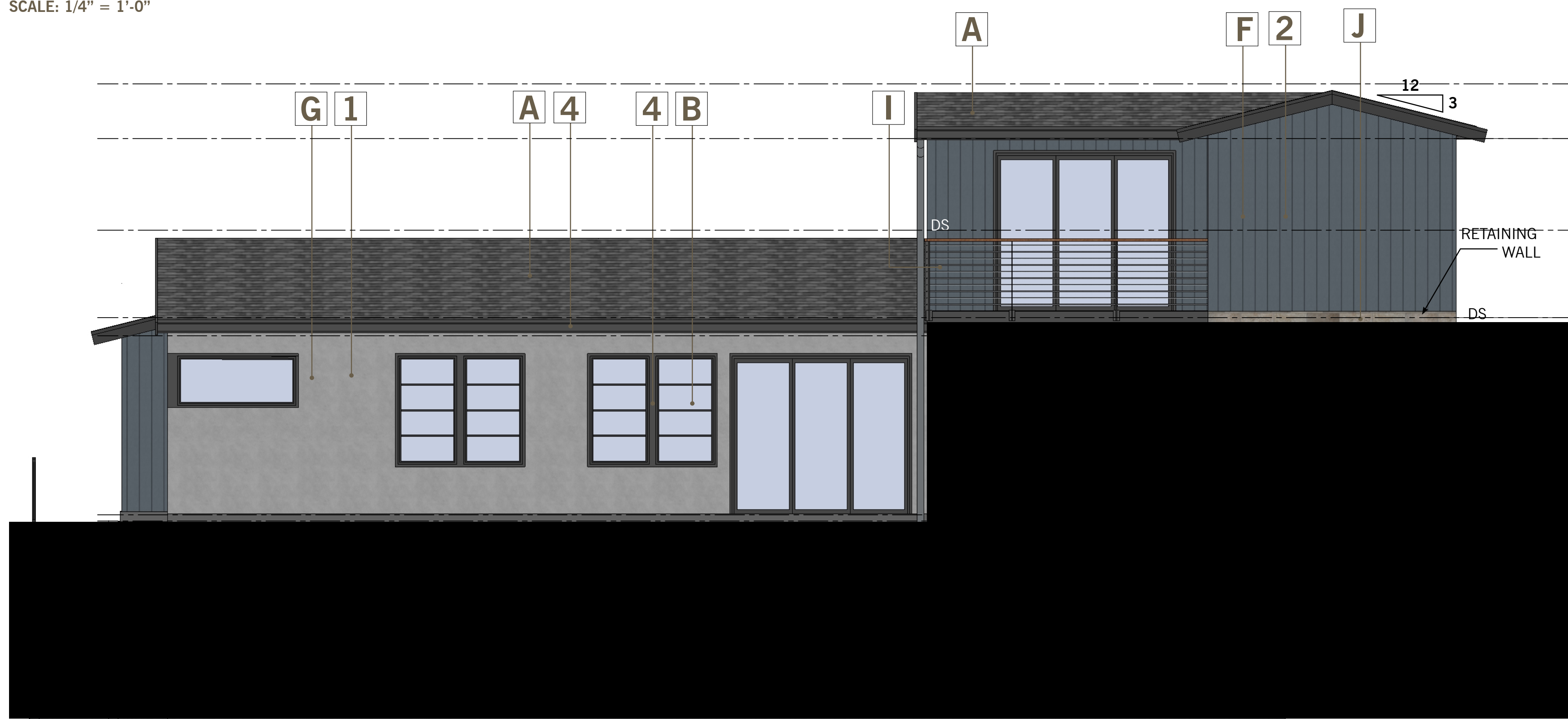
PROJECT NO.: 1615.003
DATE: 06/26/2023

SHEET **A.4**





FRONT ELEVATION
SCALE: 1/4" = 1'-0"

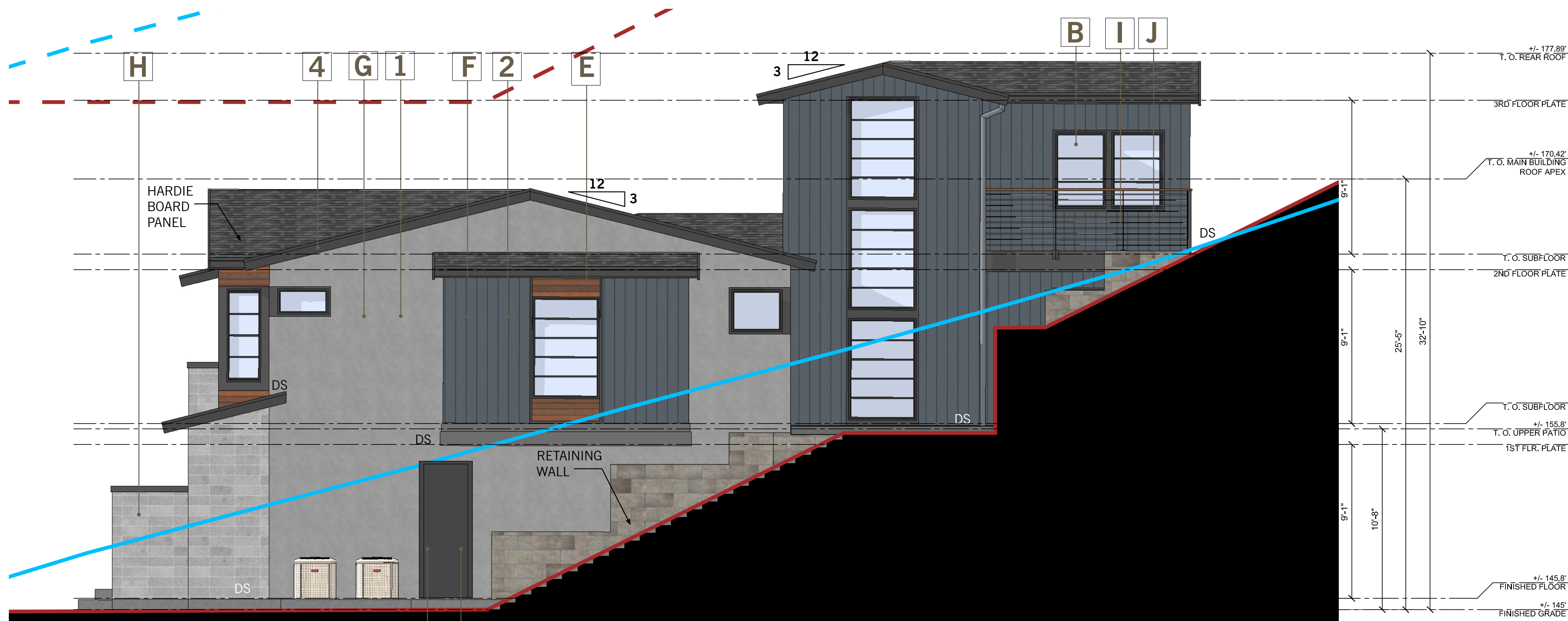


REAR ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR MATERIALS & COLORS
(SEE ELEVATION NOTES ON THIS SHEET- ALL PAINT COLORS ARE SHERWIN WILLIAMS)

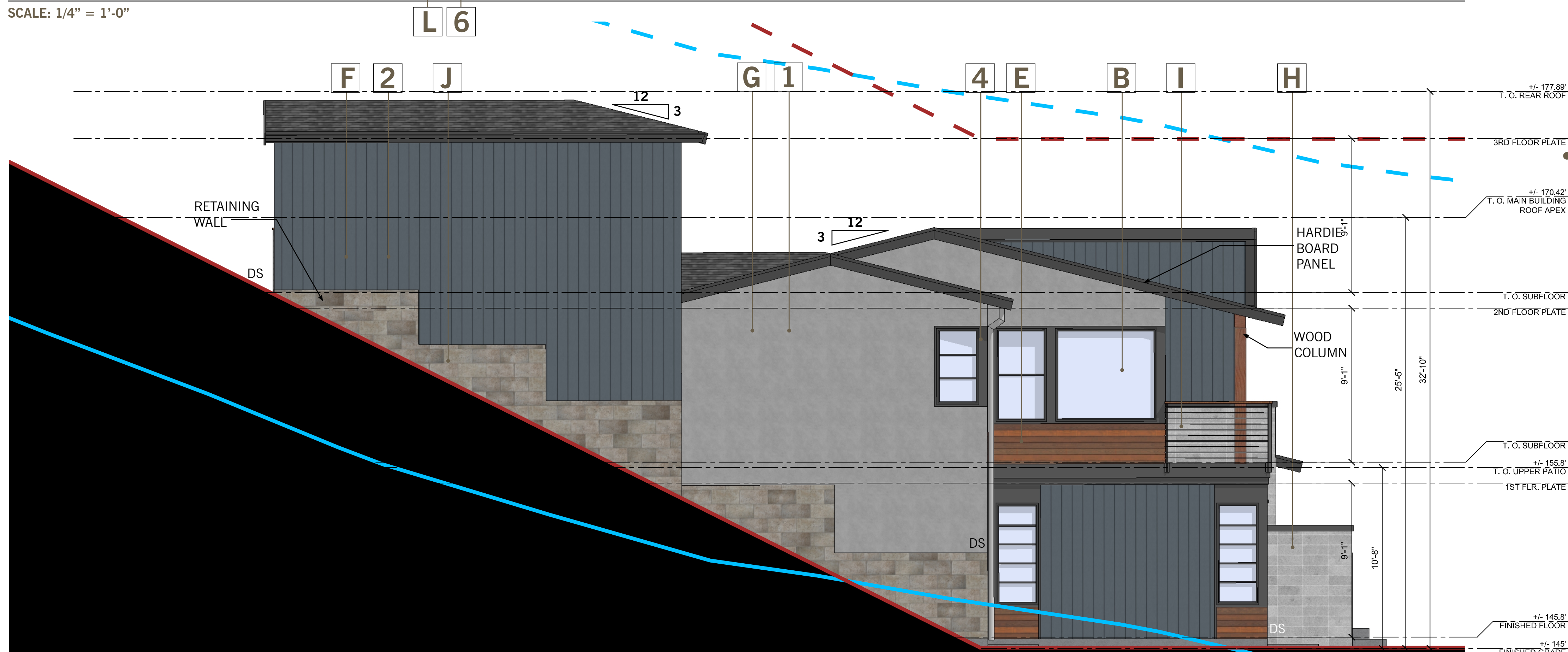
- A ROOF**
METAL ROOF
BY METAL ROOF COMPANY OR EQUAL
- B VINYL WINDOW**
BLACK
BY PLYGEM OR EQUAL
- C ENTRY DOOR**
SMOOTH STAR COLLECTION
THERMA-TRU FIBER GLASS OR EQUAL
- D GARAGE DOOR**
AVANTE COLLECTION
CLOPLAY OR EQUAL
- E ACCENT**
ACCENT WOOD PANEL INLAY
- F HARDIEPANEL VERT**
HARDIEPANEL VERTICAL SIDING
BY JAMES HARDIE OR EQUAL
- G STUCCO**
SMOOTH STUCCO FINISH
- H STONE**
BLACK OAK MOUNTAIN LEDGESTONE
BY ENVIRONMENTAL STONWORKS OR EQUAL
- I METAL RAILING**
HORIZONTAL CABLE RAILING SYSTEM
BY ULTRALOX INTERLOCKING TECHNOLOGY OR EQUAL
- J RETAINING WALL**
TAN CONCRETE SPLIT FACE BLOCK
- K FRENCH DOORS**
SMOOTH STAR COLLECTION
FRENCH DOORS WITH LITES
- L SERVICE DOOR**
SMOOTH STAR COLLECTION
PANEL OR FULL LITE FLUSH-GLAZED OR EQUAL. SEE ELEVATIONS.
- 1 BODY COLOR 1**
SMOOTH STUCCO FINISH
SW 7074 - SOFTWARE BY SHERWIN WILLIAMS OR EQUAL
- 2 BODY COLOR 2**
VERTICAL SIDING
SW 2740 - MINERAL GRAY BY SHERWIN WILLIAMS OR EQUAL
- 3 BODY COLOR 3 / NOT USED**
- 4 TRIM COLOR**
DOOR & WINDOW TRIM, FASCIA & RAFTER TAILS, GUTTERS, SERVICE DOOR
SW 7068 - GRIZZLE GRAY BY SHERWIN WILLIAMS OR EQUAL
- 5 ENTRY DOOR**
SW 7069 - IRON ORE BY SHERWIN WILLIAMS OR EQUAL
- 6 GARAGE DOOR**
SW 7069 - IRON ORE BY SHERWIN WILLIAMS OR EQUAL

NOTE:
DOWNSPOUTS: PAINT ALL EXPOSED SIDES ADJACENT COLOR
TRIM: PAINT ALL EXPOSED SIDES TRIM COLOR
VINYL WINDOWS AND DOOR FRAMES: BLACK (FACTORY FINISH)
EXTERIOR LIGHTING: RECESSED DOWNLIGHTING AT PORCH AND PATIO LOCATIONS. NO STAND ALONE LIGHT FIXTURES.
S.C.D: SEE CIVIL DRAWINGS



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

EXTERIOR MATERIALS & COLORS
(SEE ELEVATION NOTES ON THIS SHEET- ALL PAINT COLORS ARE SHERWIN WILLIAMS)

- A ROOF**
METAL ROOF
BY METAL ROOF COMPANY OR EQUAL
- B VINYL WINDOW**
BLACK
BY PLYGEM OR EQUAL
- C ENTRY DOOR**
SMOOTH STAR COLLECTION
THERMA-TRU FIBER GLASS OR EQUAL
- D GARAGE DOOR**
AVANTE COLLECTION
CLOPLAY OR EQUAL
- E ACCENT**
ACCENT WOOD PANEL INLAY
- F HARDIEPANEL VERT**
HARDIEPANEL VERTICAL SIDING
BY JAMES HARDIE OR EQUAL
- G STUCCO**
SMOOTH STUCCO FINISH
- H STONE**
BLACK OAK MOUNTAIN LEDGESTONE
BY ENVIRONMENTAL STONWORKS OR EQUAL
- I METAL RAILING**
HORIZONTAL CABLE RAILING SYSTEM
BY ULTRALOX INTERLOCKING TECHNOLOGY OR EQUAL
- J RETAINING WALL**
TAN CONCRETE SPLIT FACE BLOCK
- K FRENCH DOORS**
SMOOTH STAR COLLECTION
FRENCH DOORS WITH LITES
- L SERVICE DOOR**
SMOOTH STAR COLLECTION
PANEL OR FULL LITE FLUSH-GLAZED OR EQUAL. SEE ELEVATIONS.
- 1 BODY COLOR 1**
SMOOTH STUCCO FINISH
SW 7074 - SOFTWARE BY SHERWIN WILLIAMS OR EQUAL
- 2 BODY COLOR 2**
VERTICAL SIDING
SW 2740 - MINERAL GRAY BY SHERWIN WILLIAMS OR EQUAL
- 3 BODY COLOR 3 / NOT USED**
- 4 TRIM COLOR**
DOOR & WINDOW TRIM, FASCIA & RAFTER TAILS, GUTTERS, SERVICE DOOR
SW 7068 - GRIZZLE GRAY BY SHERWIN WILLIAMS OR EQUAL
- 5 ENTRY DOOR**
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S.C.D: SEE CIVIL DRAWINGS

LEGACY AT LUCAS VALLEY (2ND SUBMITTAL)
 119 ERIN COURT SAN RAFAEL, MARIN COUNTY, CA

LOT 19

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ELEVATIONS, MATERIALS & COLORS
 SCALE: 1/4" = 1'-0"

0 4 8 16

LEGEND

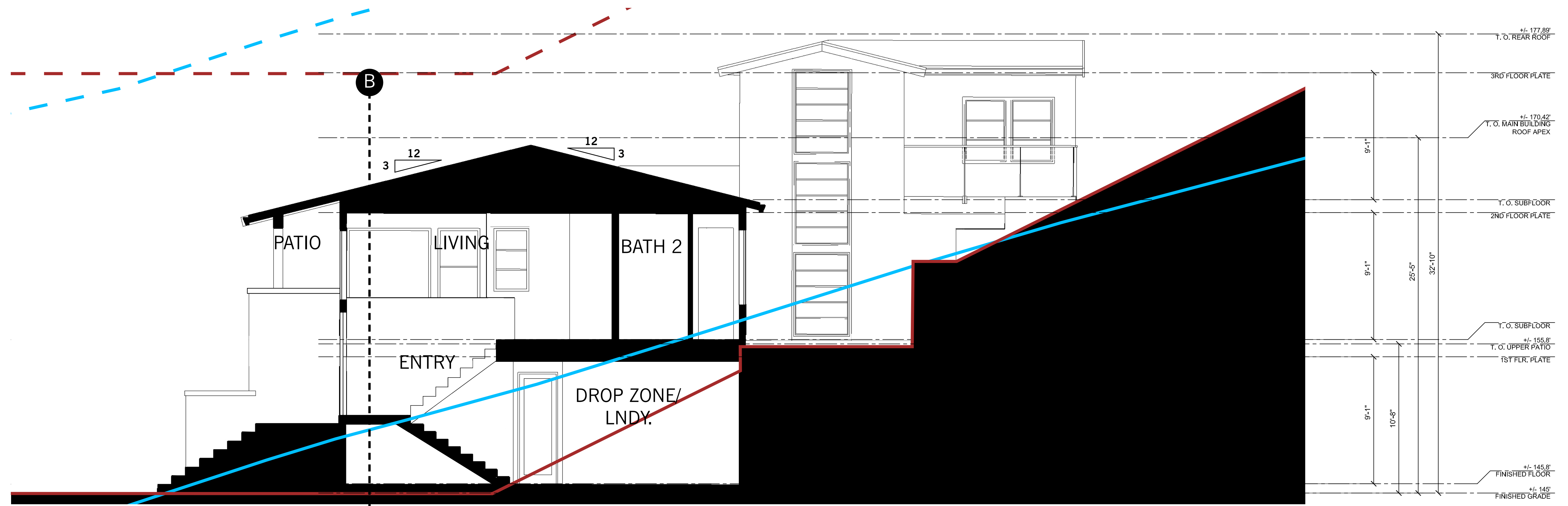
- PROPOSED FINISHED GRADE
- - - 30' HEIGHT LIMIT FROM PROPOSED FINISHED GRADE
- NATURAL GRADE
- - - 30' HEIGHT LIMIT FROM NATURAL GRADE

DAHLIN GROUP
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 Pleasanton, California 94588
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PROJECT NO.: 1615.003
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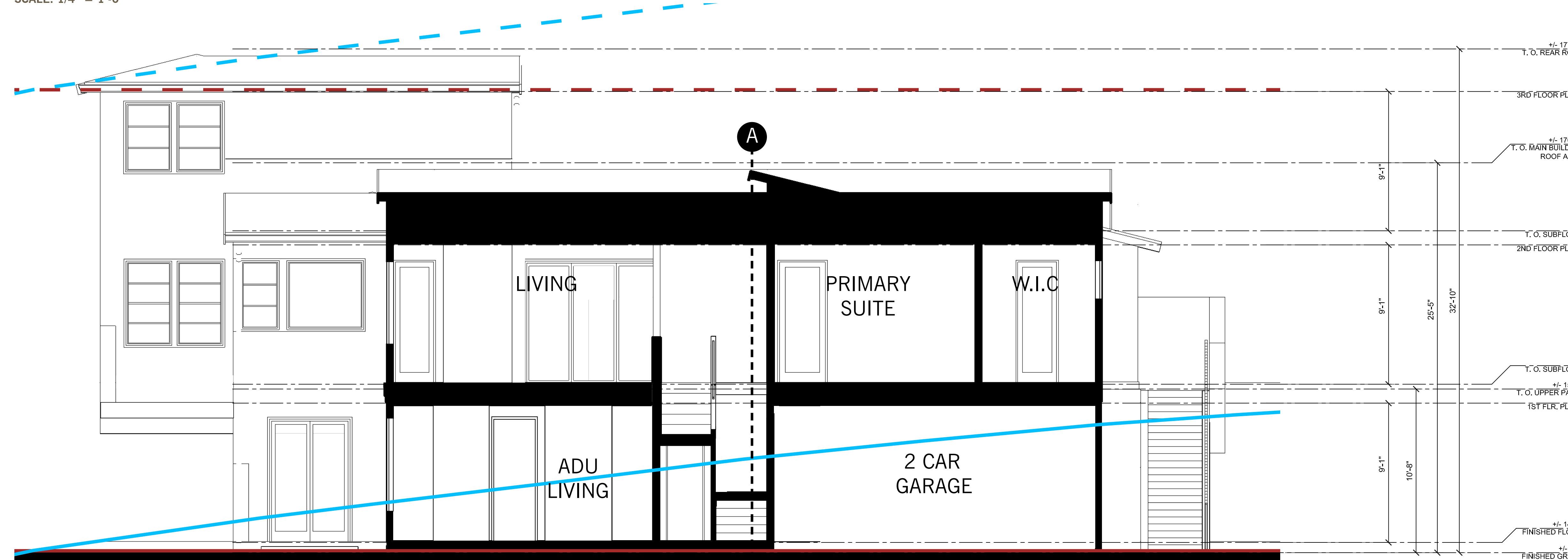
SHEET **A.6**

DAHLIN



SECTION A

SCALE: 1/4" = 1'-0"

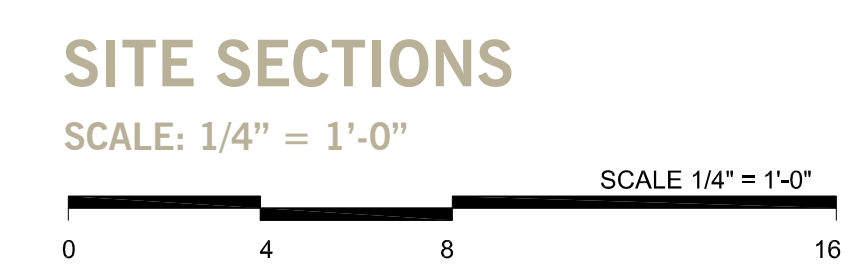


SECTION B

SCALE: 1/4" = 1'-0"

"A MAXIMUM HEIGHT LIMIT OF 25 FEET FROM NATURAL OR FINISHED GRADE, WHICHEVER IS MORE RESTRICTIVE, FOLLOWING COMPLETION OF SUBDIVISION IMPROVEMENTS SHALL APPLY TO LOTS 1 TO 12. A MAXIMUM HEIGHT LIMIT OF 30 FEET FROM NATURAL OR FINISHED GRADE, WHICHEVER IS MORE RESTRICTIVE, FOLLOWING COMPLETION OF THE SUBDIVISION IMPROVEMENTS SHALL APPLY TO LOTS 13 TO 28." AS STATED IN ORDINANCE NO. 3421, SECTION II-4D MASTER PLAN APPROVAL.

- LEGEND**
- PROPOSED FINISHED GRADE
 - - - 30' HEIGHT LIMIT FROM PROPOSED FINISHED GRADE
 - NATURAL GRADE
 - - - 30' HEIGHT LIMIT FROM NATURAL GRADE



LEGACY AT LUCAS VALLEY (2ND SUBMITTAL) **LOT 19**
119 ERIN COURT SAN RAFAEL, MARIN COUNTY, CA

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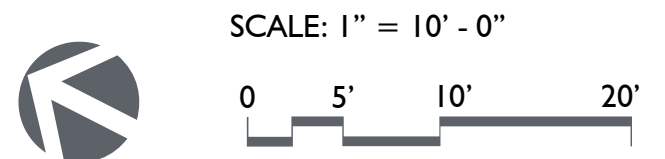


LEGEND

- 1 Shrub planting, see plant list on sheet L2
- 2 Groundcover planting, see plant list on sheet L2
- 3 Tree, see plant list on sheet L2
- 4 Permeable Pavers, paving and pattern TBD
- 5 Decorative Gravel
- 6 6'Ht Solid Wood Fence
- 7 6'Ht View Open View Fence

NOTES:

1. AS DETERMINED BY THE MARIN COUNTY FIRE DEPARTMENT HAZARD ASSESSMENT MATRIX, A DEFENSIBLE SPACE OF 30' UPSLOPE, 30' SIDESLOPE, AND 30' DOWNSLOPE FROM THE HOUSE SHALL BE MAINTAINED.
2. A "CLEAN ZONE" 15' FROM THE HOUSE SHALL BE MAINTAINED, WITH FEW TO NO COMBUSTIBLES.
3. A "FUEL REDUCTION ZONE" FROM 15'-30' SHALL BE ESTABLISHED WITH WELL-SPACED, WELL-MAINTAINED FIRE-RESISTANT PLANTS.
4. LANDSCAPE SHALL BE PLANTED WITH FIRE-RESISTANT PLANTS. NO PLANTS FROM THE MARIN COUNTY FIRE ORDINANCE'S FIRE PRONE PLANT LIST SHALL BE PLANTED.
5. TREES SHALL BE PLANTED SUCH THAT WHEN MATURE, THEIR CROWNS WILL BE SEPARATED BY AT LEAST 10'
6. SHRUBS SHALL BE PLANTED AT A HORIZONTAL DISTANCE THAT IS AT LEAST TWO TIMES THEIR HEIGHT AT MATURITY.
7. TREES SHALL BE LIMBED 10 FEET FROM THE GROUND TO REDUCE "FIRE LADDER".
8. TREES SHALL BE TRIMMED AT LEAST 10 FEET FROM CHIMNEY, AND DEAD BRANCHES SHALL BE REMOVED IF THEY GROW OVER THE ROOF.
9. ALL PLANTS SHALL BE MAINTAINED BY WATERING AS NECESSARY, AND BY REMOVING DEAD BRANCHES, LEAVES AND NEEDLES.
10. DRY GRASS SHALL BE MOWN REGULARLY, BUT ONLY ON COOL MOIST DAYS OR BEFORE 10 AM.



TREES



Cercis occidentalis
Western Redbud



Cornus florida 'Cload Nine'
Dogwood Cloud Nine



Olea ueropaea 'Swan Hill'
Swan Hill Olive

SHRUBS



Ddonaea viscosa 'Purpurea'
Purple Leafed Hopseed Bush



Hesperaloe parviflora 'Brakelights'
Breaklights Red Yucca



Penstemon heterophyllus 'Margarita bop'
Purple Leafed Hopseed Bush



Muhlenbergia rigens
Deer Grass



Ribes Sanguineum
Red Flowering Currant



Lavandula angustifolia
English Lavender

GROUND COVER



Coprosma kirkii 'Variegata'
Creeping Mirror Plant



Delosperma cooperi
Purple Ice Plant



Lantana montevidensis
Trailing Lantana



Oenothera speciosa
Pink Evening Primrose



Zauschneria californica
California Fuchsia

MATERIALS



PLANT LIST

TREES	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	SPACING	CA NATIVE
CER	CERCIS OCCIDENTALIS	WESTERN REDBUD	24"BOX	VL (WUCOLS IV)	AS SHOWN	Y
CFO	CORNUS FLORIDA 'CLOAD NINE'	DOGWOOD COULD NINE	24"BOX	M (WUCOLS IV)	AS SHOWN	N

SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	SPACING	CA NATIVE
DP	DODONAEA VISCOSA 'PURPUREA'	PURPLE LEAFED HOPSEED BUSH	5 GAL	L (WUCOLS IV)	60"	N
HP	HESPERALOE PARVIFLORA 'BRAKELIGHTS'	BRAKELIGHTS RED YUCCA	5 GAL	L (WUCOLS IV)	60"	N
MR	MUHLENBERGIA RIGENS	DEER GRASS	5 GAL	L (WUCOLS IV)	36" O.C.	Y

GROUND COVERS	BOTANICAL NAME	COMMON NAME	CONT	WATER USE	SPACING	CA NATIVE
CM	COPROSMA KIRKII 'VARIEGATA'	CREEPING MIRROR PLANT	1 GAL	L (WUCOLS IV)	48" O.C.	N
DC	DELOSPERMA COOPERI	PURPLE ICE PLANT	1 GAL	L (WUCOLS IV)	18" O.C.	N
LP	LANTANA MONTEVIDENSIS	TRAILING LANTANA	1 GAL	L (WUCOLS IV)	72" O.C.	N
LA	LAVANDULA ANGUSTIFOLIA	ENGLISH LAVENDER	1 GAL	L (WUCOLS IV)	24" O.C.	N
OS	OENOTHERA SPECIOSA	PINK EVENING PRIMROSE	1 GAL	L (WUCOLS IV)	30" O.C.	N
ZC	ZAUSCHNERIA CALIFORNICA	CALIFORNIA FUCHSIA	1 GAL	L (WUCOLS IV)	36" O.C.	Y

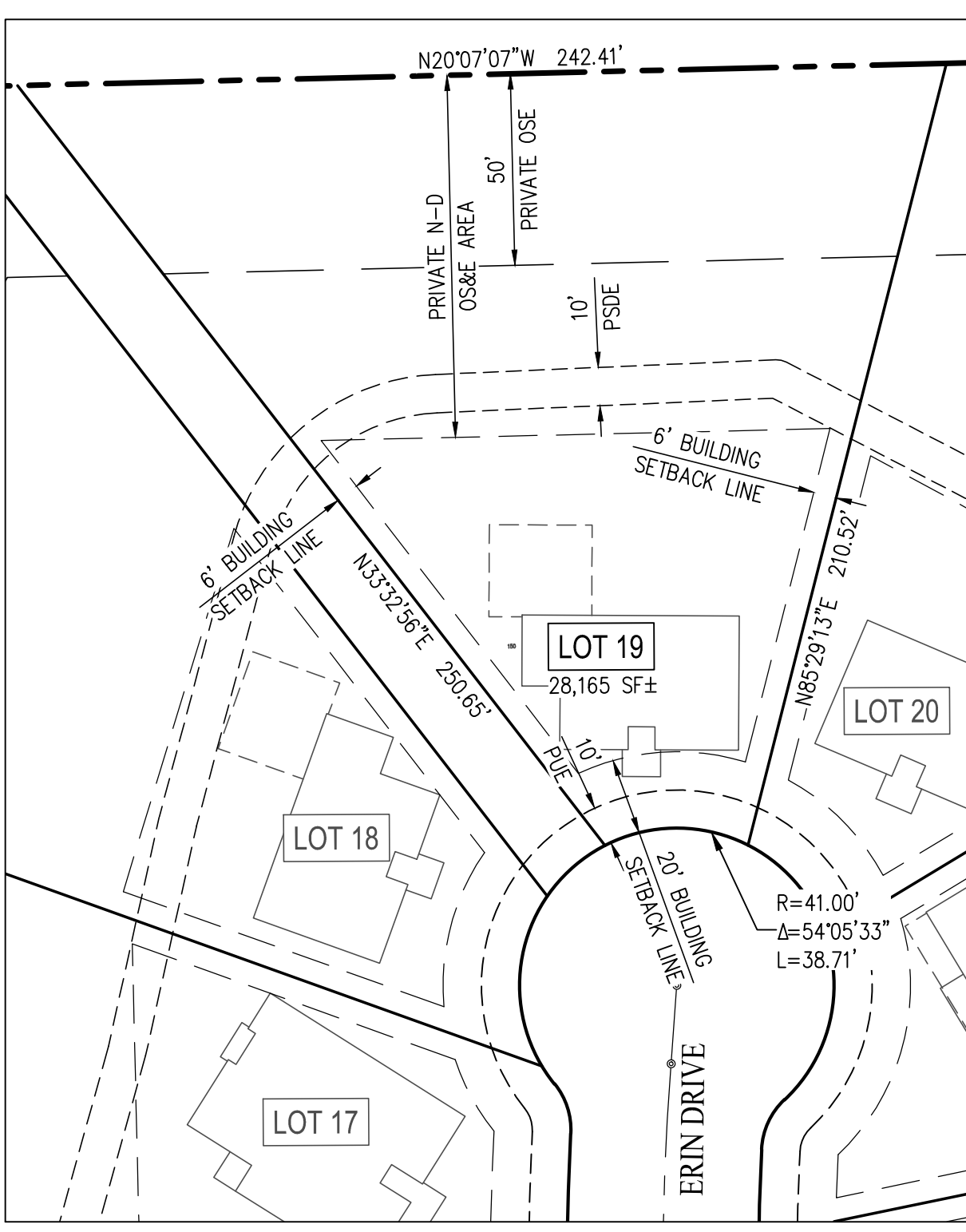
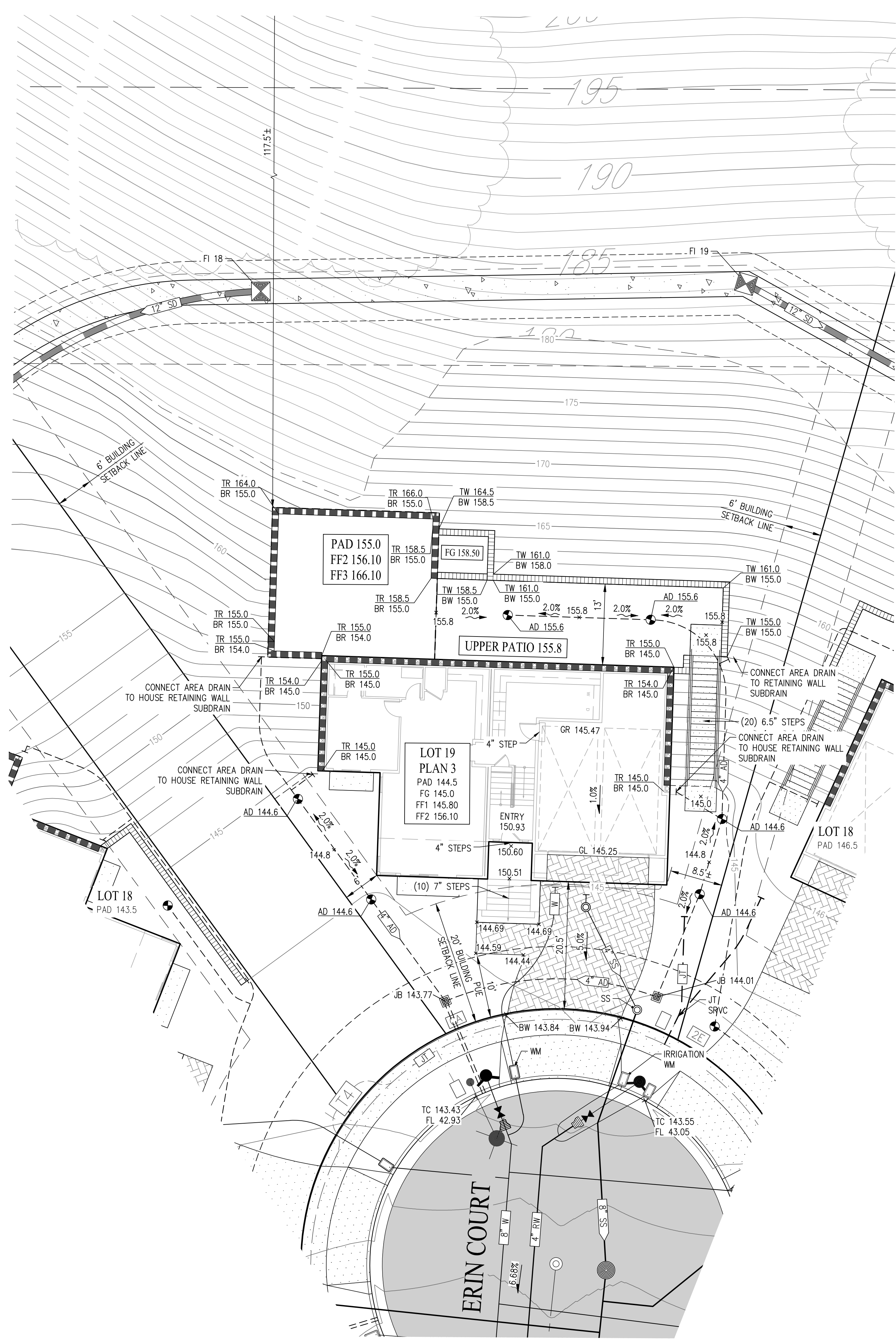
HAZARD ASSESSMENT MATRIX

Hazard Points	1	2	3	4	5	6	7	8	Points
Aspect	NE, E	NW, N	SE, W	S	SW				
Slope		0-10		11-20		21-30		31+	
Fuel 0-30	Specimen Garden	Hardwood	Grass	Mostly Grass	Mostly Brush	Pyrophoric Hardwoods Chaparral	Conifer	Conifer w/brush under story	
Fuel 31-100	Grass, Mostly Grass	Mostly Brush	Grass	Pyrophoric Hardwoods Chaparral	Conifer with brush under story				

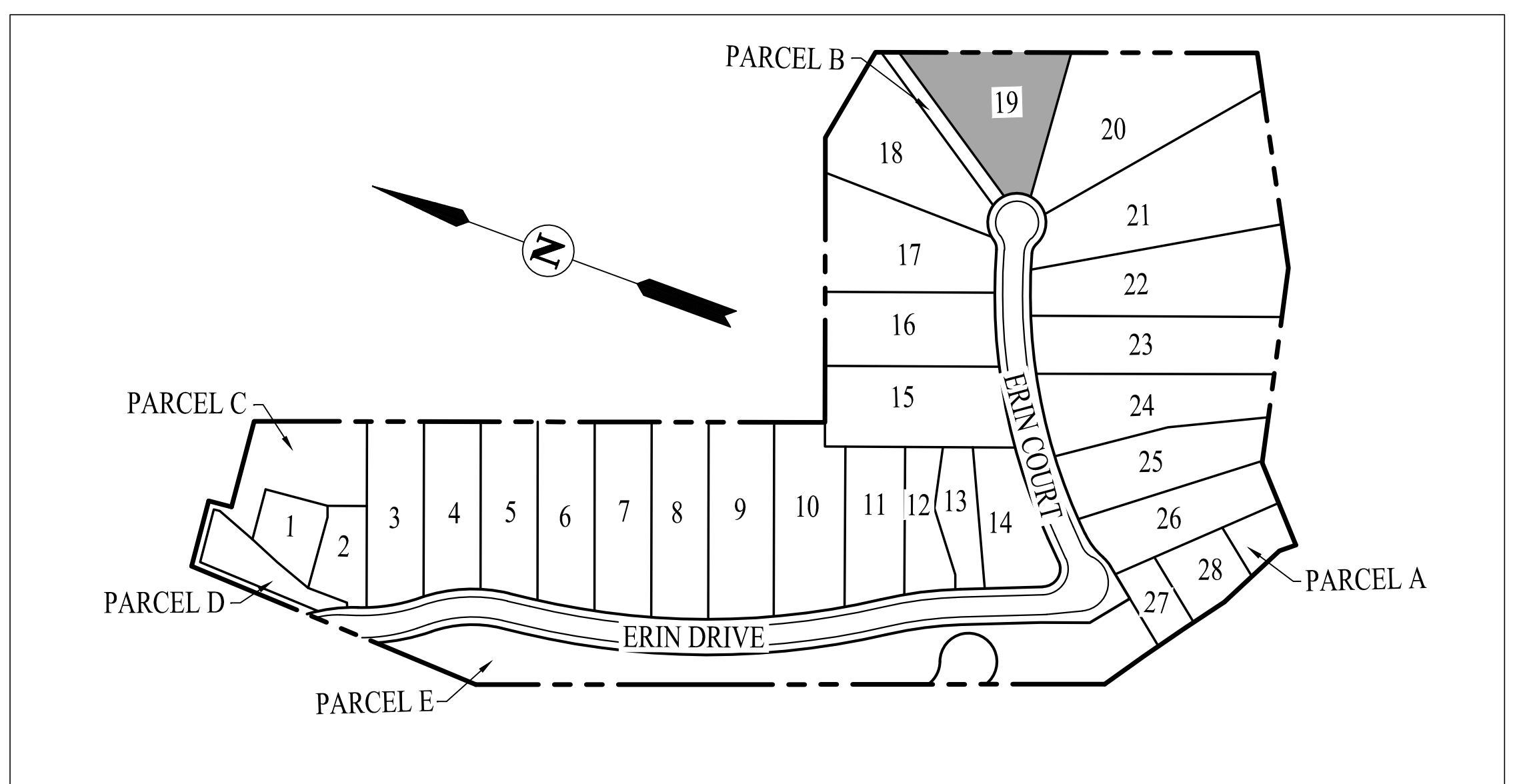
Total Hazard Points: 18

Minimum Horizontal Modification Requirement in Feet: 50x50x100

1 2 3 4 5 6 7	8 9 10 11 12 13 14	15 16 17 18 19 20 21 22 23 24 25 >
30x30x30 ft.	30x30x50 ft	50x50x100 ft.



LOT & EASEMENT PLAN
SCALE: 1" = 40'



INDEX MAP

LEGEND

LOT 12 PLAN 1	LOT NUMBER
---	PLAN TYPE
---	PROJECT BOUNDARY
---	LOT LINE
---	AREA DRAIN
---	JUNCTION BOX & SIDEWALK UNDERDRAIN PER MARIN COUNTY STD DWG 145
SS	SANITARY SEWER SERVICE & CLEANOUT
WM	WATER SERVICE & METER
IRR WM	RECYCLED WATER SERVICE & METER
JT	JOINT TRENCH SERVICE
15" SD	STORM DRAIN
8" W	SANITARY SEWER
4" RW	WATER
JT	RECYCLED WATER
JT	JOINT TRENCH
●	FIRE HYDRANT
●	ELECTROLIER & BOX
■	CATCH BASIN
■	FIELD INLET
17" C	UTILITY BOX
□	PG&E SUBSURFACE TRANSFORMER
2%	SLOPE
~	SWALE
▨	RETAINING WALL/BUILDING STEM WALL
▨	PERVIOUS PAVERS
▨	CONCRETE DRIVEWAY/WALK
○	EX TREE TO REMAIN
□	20' X 9' PARKING SPACE

ABBREVIATIONS

AD	AREA DRAIN
BUD	BUBBLE UP DRAIN
EP	EDGE OF SIDEWALK
ESMT	EASEMENT
FF	FINISHED FLOOR
FG	FINISHED GROUND
FL	FLOW LINE
GB	GRADE BREAK
GL	GARAGE LIP ELEVATION
GR	GARAGE REAR ELEVATION
INV	INVERT
JB	JUNCTION BOX
JT	JOINT TRENCH
LP/HP	LOW/HIGH POINT
MH	MANHOLE
N-D	NON-DEVELOPABLE
OSE	OPEN SPACE EASEMENT
OS&W	OPEN SPACE & WOODLANDS
P	PAD
PSDE	PRIVATE STORM DRAIN EASEMENT
PRUE	PRIVATE UTILITY EASEMENT
PUE	PUBLIC UTILITY EASEMENT
SD	STORM DRAIN
SDE	STORM DRAIN EASEMENT
SRVC	SERVICE
R	REVERSED
SS	SANITARY SEWER
TC	TOP OF CURB
TW/BW	TOP/BOTTOM OF RETAINING WALL
TR/BR	TOP/BOTTOM OF HOUSE RET WALL
GR	TOP OF GRATE
W	WATER

NOTES:

- SEE GRADING AND IMPROVEMENT PLANS FOR DETAILED GRADING DESIGN AND STORM DRAINAGE SYSTEM.
- ALL BUILDING FOUNDATIONS SHALL BE POST-TENSIONED MAT FOUNDATIONS. NO FOUNDATION DRAINS ARE REQUIRED.
- ALL ROOF DRAINS SHALL BE CONNECTED TO THE AREA DRAIN SYSTEM.
- ALL AREA DRAIN PIPE TO BE 4" ADS N-12 AND SLOPED AT 0.50% MINIMUM UNLESS OTHERWISE INDICATED.
- SEE IMPROVEMENT AND JOINT TRENCH PLANS FOR ALL UTILITY INFORMATION.
- GRADING INFORMATION SHOWN ON ADJACENT LOTS IS FOR REFERENCE ONLY.
- ADDITIONAL STEPS MAY BE REQUIRED TO MEET GRADE PER LANDSCAPE PLANS. SEE LANDSCAPE PLANS FOR HANDRAIL LOCATIONS AND DETAILS.
- ALL DRIVEWAYS TO COMPLY WITH MARIN COUNTY UNIFORM CONSTRUCTION STANDARDS DRAWING NO. 140 "STEEP DRIVEWAY DESIGN" FOR ASCENDING AND DESCENDING DRIVEWAYS.
- REFER TO FINAL MAP FOR EASEMENTS.
- ALL DIMENSIONS ARE MEASURED TO PROPERTY LINE OR BUILDING TO BUILDING.
- BENCHMARK USED FOR THIS SURVEY IS NGS J19552 BRASS DISK SET VERTICALLY IN THE MOST EASTERLY COLUMN OF THE FIRST ROW OF COLUMNS NORTH OF THE SOUTHERN ABUTMENT OF THE OVERPASS OF HIGHWAY 101 AT SMITH RANCH ROAD.
- BASIS OF BEARING: FOUND MONUMENTS ON LAS GALLINAS AVE. AT ERIN DRIVE AND ELLEN DRIVE AS SHOWN ON THE "MAP OF MARINWOOD UNIT 6", FILED IN BOOK 10 RM PAGE 17, MARIN COUNTY RECORDS, TAKEN AS N28°18'08"E, 833.47'.
- TOPOGRAPHIC INFORMATION SHOWN IS BASED UPON A FIELD SURVEY IN CONFORMANCE WITH REQUIREMENTS OF THE SUBDIVISIONS MAP ACT AND LOCAL ORDINANCE AT THE REQUEST OF LUCAS VALLEY-TALUS, LLC IN APRIL 2019.
- THIS PLAN IS PREPARED TO SHOW THE DIMENSIONAL RELATIONSHIP FROM BUILDING FOUNDATION TO PROPERTY LINE, DESIGN DRAINAGE CONTROL ELEVATIONS, AND DIRECTION OF FLOW TO CONFORM WITH LOCAL ORDINANCE FOR THE PURPOSE OF BUILDING PERMIT ISSUANCE ONLY. INFORMATION SHOWN IS APPROXIMATE EXCEPT FOR THOSE SETBACKS WHICH ARE MINIMUMS REQUIRED BY ORDINANCE OR DIMENSIONS OF RECORD. THIS PLOT DOES NOT REFLECT AS-BUILT CONDITIONS, HOWEVER ALL CONSTRUCTION SHALL BE CONSISTENT WITH COUNTY CODE.
- THE CIVIL ENGINEER/ARCHITECT SHALL CERTIFY TO THE COUNTY IN WRITING UPON THE COMPLETION OF WORK THAT ALL GRADING AND DRAINAGE IMPROVEMENTS WERE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND FIELD DIRECTION.
- THE RETAINING WALL DESIGN ENGINEER SHALL INSPECT AND CERTIFY IN WRITING TO DEPARTMENT OF PUBLIC WORKS THAT EACH RETAINING WALL WAS CONSTRUCTED PER APPROVED PLAN AND FIELD DIRECTION.

AREA BREAKDOWN

TOTAL LOT AREA:	28,165 SF
EXISTING IMPERVIOUS AREA:	0 SF
EXISTING PERVIOUS AREA:	28,165 SF
PROPOSED IMPERVIOUS AREA:	3,360 SF
PROPOSED PERVIOUS AREA:	24,805 SF

EARTHWORK

CUT:	320 CY
FILL:	140 CY
NET:	180 CY (CUT)

AVERAGE SLOPE

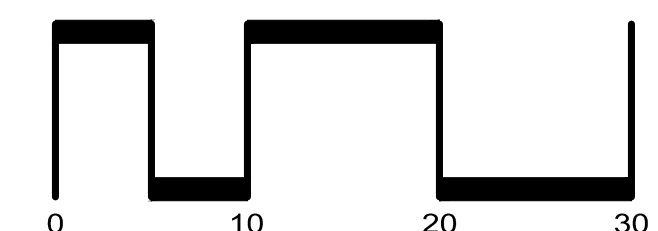
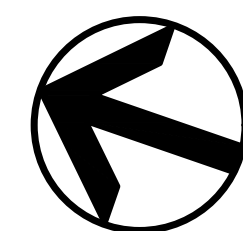
ACROSS ENTIRE LOT: 31.5%

ELECTRICAL CONNECTION TO HOUSE TO BE UNDERGROUND

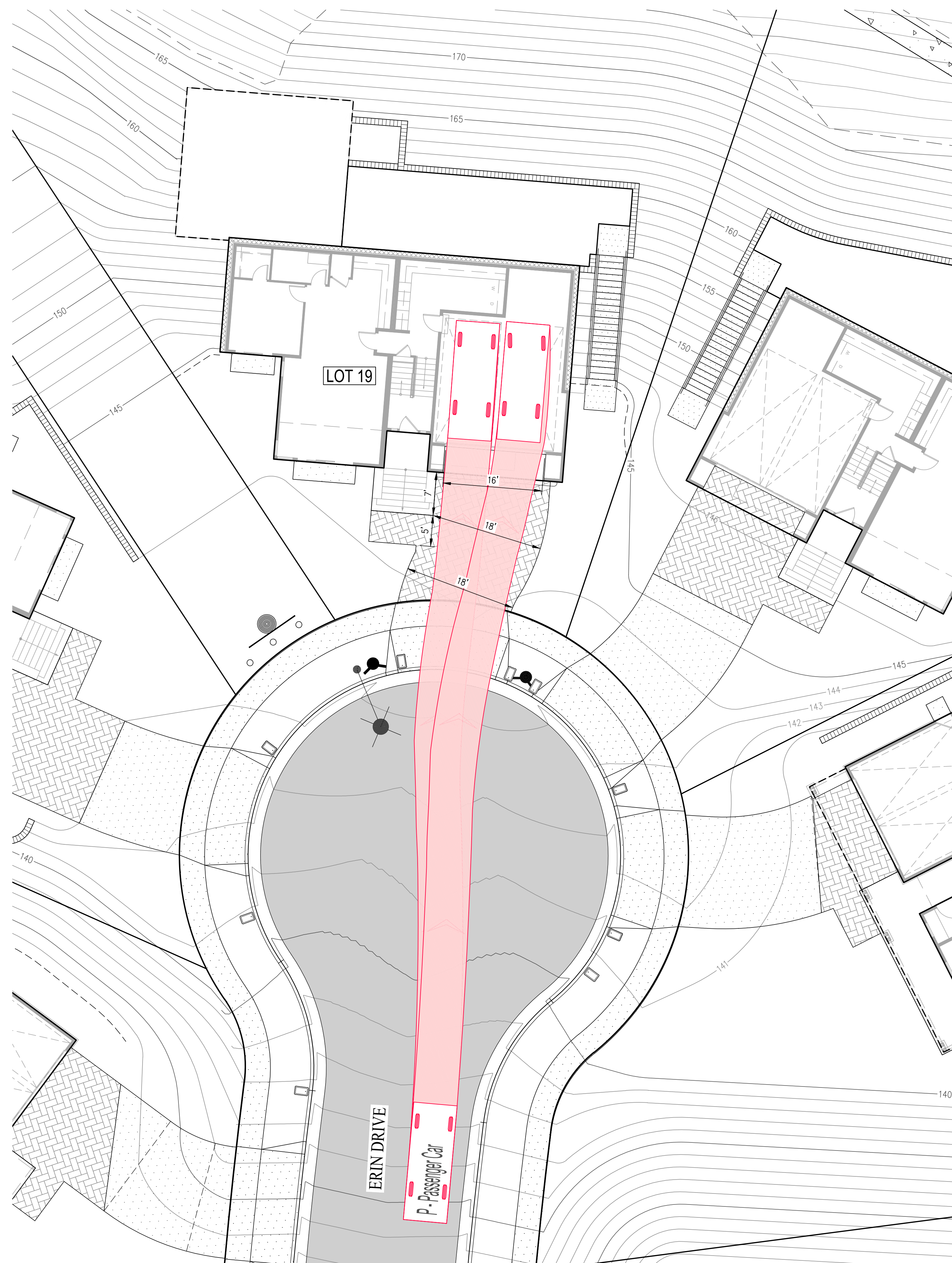
PRELIMINARY GRADING, DRAINAGE, UTILITY, AND SITE PLAN
RM 2022-208 - LOT 19 - 119 ERIN COURT
LEGACY AT LUCAS VALLEY

MARIN COUNTY CALIFORNIA
SCALE: 1"=10' DATE: JUNE 26, 2023

APN: 164-650-019



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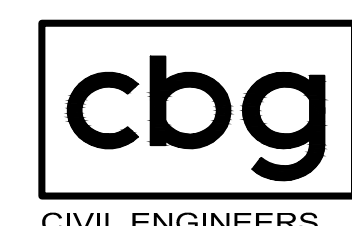
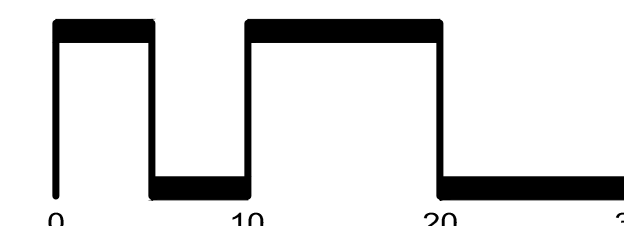
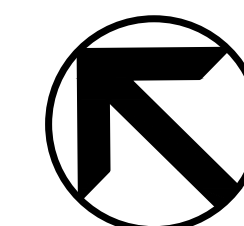


P - Passenger Car	19.000ft
Overall Length	7.000ft
Overall Width	4.300ft
Overall Body Height	1.115ft
Min Body Ground Clearance	6.000ft
Track Width	4.00s
Lock-to-lock time	31.60°
Max Steering Angle (Virtual)	

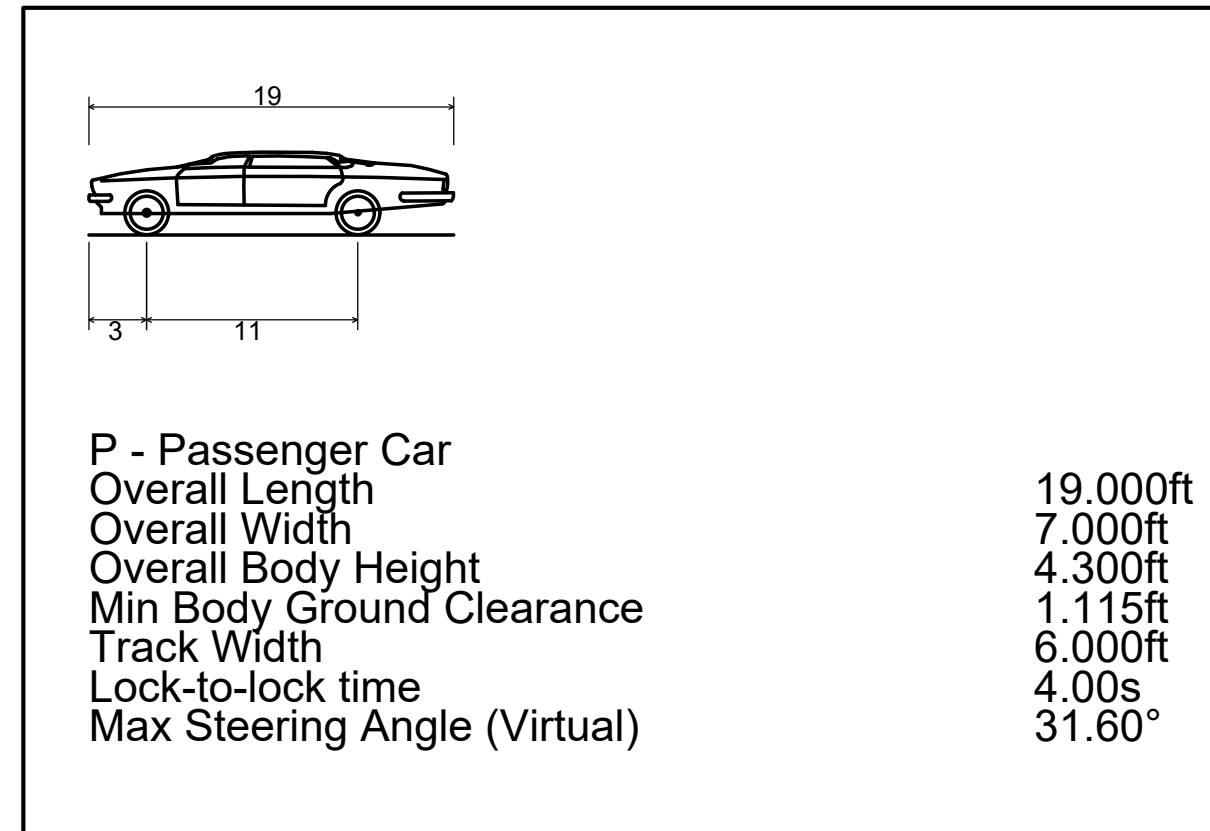
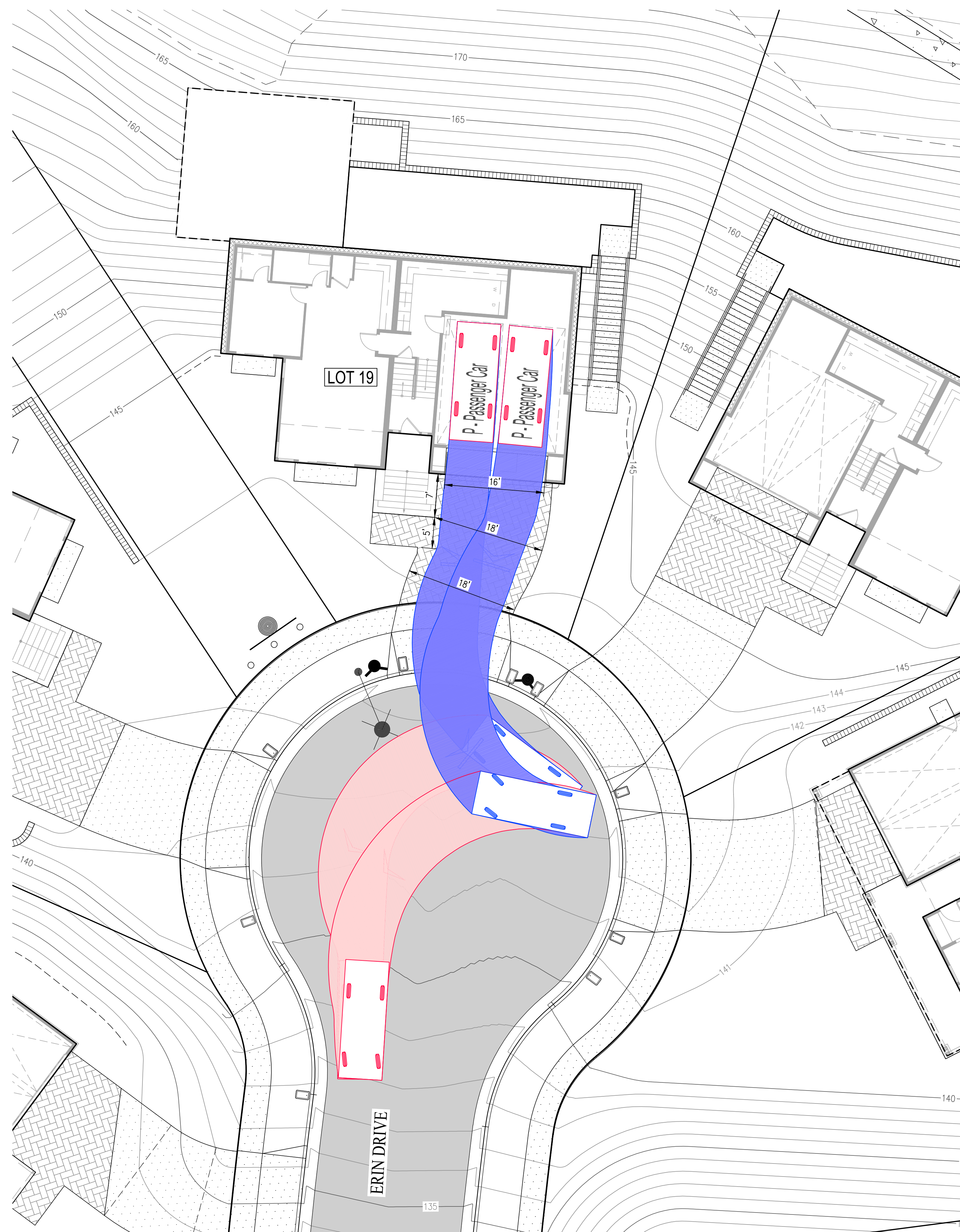
PASSENGER CAR TEMPLATE
(PER AUTODESK 2023 VEHICLE TRACKING LIBRARY)

DRIVEWAY EGRESS LOT 19 LEGACY AT LUCAS VALLEY

MARIN COUNTY CALIFORNIA
SCALE: 1"=10' DATE: JUNE 2023



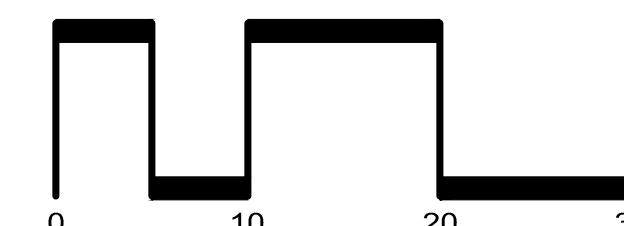
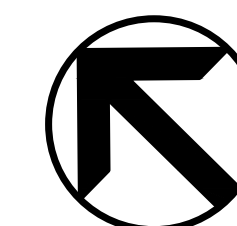
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PASSENGER CAR TEMPLATE
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DRIVEWAY EGRESS LOT 19 LEGACY AT LUCAS VALLEY

MARIN COUNTY CALIFORNIA
SCALE: 1"=10' DATE: JUNE 2023



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BIORETENTION AREA SIZING CALCULATIONS:

DMA 1					
PARCEL/LOT	AREA (SF)	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)	EFFECTIVE IMPERVIOUS AREA (SF)	
PUBLIC R/W	22,305	17,550	4,655	18,016	
PARCEL C/D	12,706		12,706	1,271	
1	5,770	1,730	4,040	2,134	
2	8,387	2,930	5,457	3,476	
3	10,764	3,140	7,624	3,902	
4	9,673	3,200	6,473	3,847	
5	11,851	5,300	6,551	5,955	
6	14,199	3,330	10,869	4,417	
7	12,959	3,110	9,849	4,095	
8	7,986	3,640	4,346	4,075	
TOTAL	116,500	43,930	72,570	51,187	
				REQUIRED TREATMENT AREA (SF)	PROVIDED TREATMENT AREA (SF)
				2,047	2,595

DMA 2					
PARCEL/LOT	AREA (SF)	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)	EFFECTIVE IMPERVIOUS AREA (SF)	
PUBLIC R/W	58,490	45,350	13,140	46,664	
PARCEL B/E	21,240	1,300	20,050	3,205	
8	3,850	180	3,670	547	
9	12,521	3,970	8,551	4,825	
10	12,384	4,120	8,264	4,946	
11	10,918	4,050	6,868	4,737	
12	10,808	2,490	8,318	3,322	
13	9,937	2,470	7,467	3,217	
14	16,660	3,390	13,270	4,717	
15	15,577	4,390	11,187	5,509	
16	13,090	3,430	9,660	4,396	
17	11,697	3,430	8,267	4,257	
18	7,221	2,720	4,501	3,170	
19	10,980	3,360	7,620	4,122	
20	8,776	4,110	4,666	4,577	
21	12,838	3,710	9,058	4,676	
22	10,378	3,680	6,698	4,350	
23	10,759	3,320	7,439	4,064	
24	13,537	4,680	8,857	5,566	
25	13,077	3,590	9,487	4,539	
26	13,596	3,640	9,956	4,636	
27	5,317	3,210	2,107	3,423	
28	6,809	1,580	5,269	2,107	
TOTAL	310,500	116,130	194,370	135,567	
				REQUIRED TREATMENT AREA (SF)	PROVIDED TREATMENT AREA (SF)
				5,423	6,152

- NOTES:
 1. CALCULATIONS ARE PER BASMAA POST CONSTRUCTION MANUAL DATED JANUARY 2019.
 2. THE CALCULATED REQUIRED TREATMENT AREA FOR THE BIORETENTION AREA IS BASED UPON THE 4% RULE, WITH A FACTOR OF 1.0 APPLIED TO IMPERVIOUS AREAS AND 0.1 APPLIED TO PERVIOUS AREAS.



STORMWATER CONTROL PLAN
SCALE: 1"=60'

NOTE:
 ARCHITECTURE IS SHOWN FOR THE PURPOSES OF IMPERVIOUS AREA CALCULATIONS AND IS FOR REFERENCE ONLY. BUILDING ARCHITECTURE TO BE APPROVED UNDER SEPARATE PERMIT.

LEGEND:

- BIORETENTION AREA
- HOUSE FOOTPRINT (IMPERVIOUS)
- HARDSCAPE (IMPERVIOUS)
- STORM DRAIN PIPE
- STORM DRAIN MANHOLE
- CURB INLET
- FIELD INLET
- STORM DRAIN PIPE
- LIMITS OF GRADING
- DRAINAGE MANAGEMENT AREA BOUNDARY
- DRAINAGE MANAGEMENT AREA

DATE: 8/10/2022
 DRAWN BY: DAJ
 PROJ. ENGR: DAJ
 PROJ. MGR: DAJ

REVISIONS

NO. BY DATE

3/23 DAJ 3/23 REVISED BIORETENTION CALCULATIONS

APR 2024

REGISTERED PROFESSIONAL ENGINEER
 KAREL A. JOHNSON
 3377
 CIVIL
 STATE OF CALIFORNIA

SAN RAMON (925) 866-0322
 SACRAMENTO (916) 375-1877
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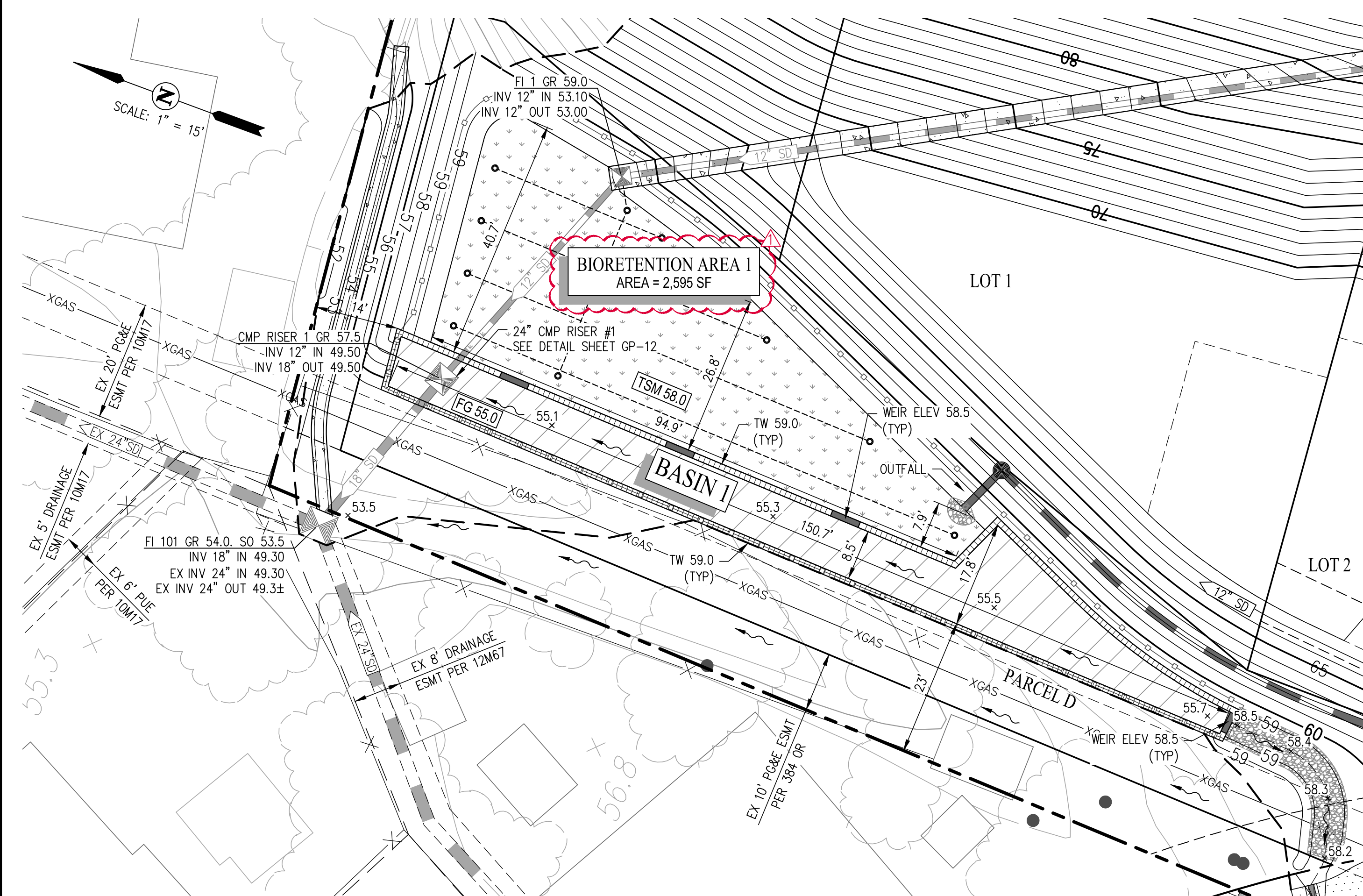
APN: 164-270-07
IMPROVEMENT PLANS
 STORMWATER CONTROL PLAN

TALUS RESERVE
 COUNTY OF MARIN
 CALIFORNIA

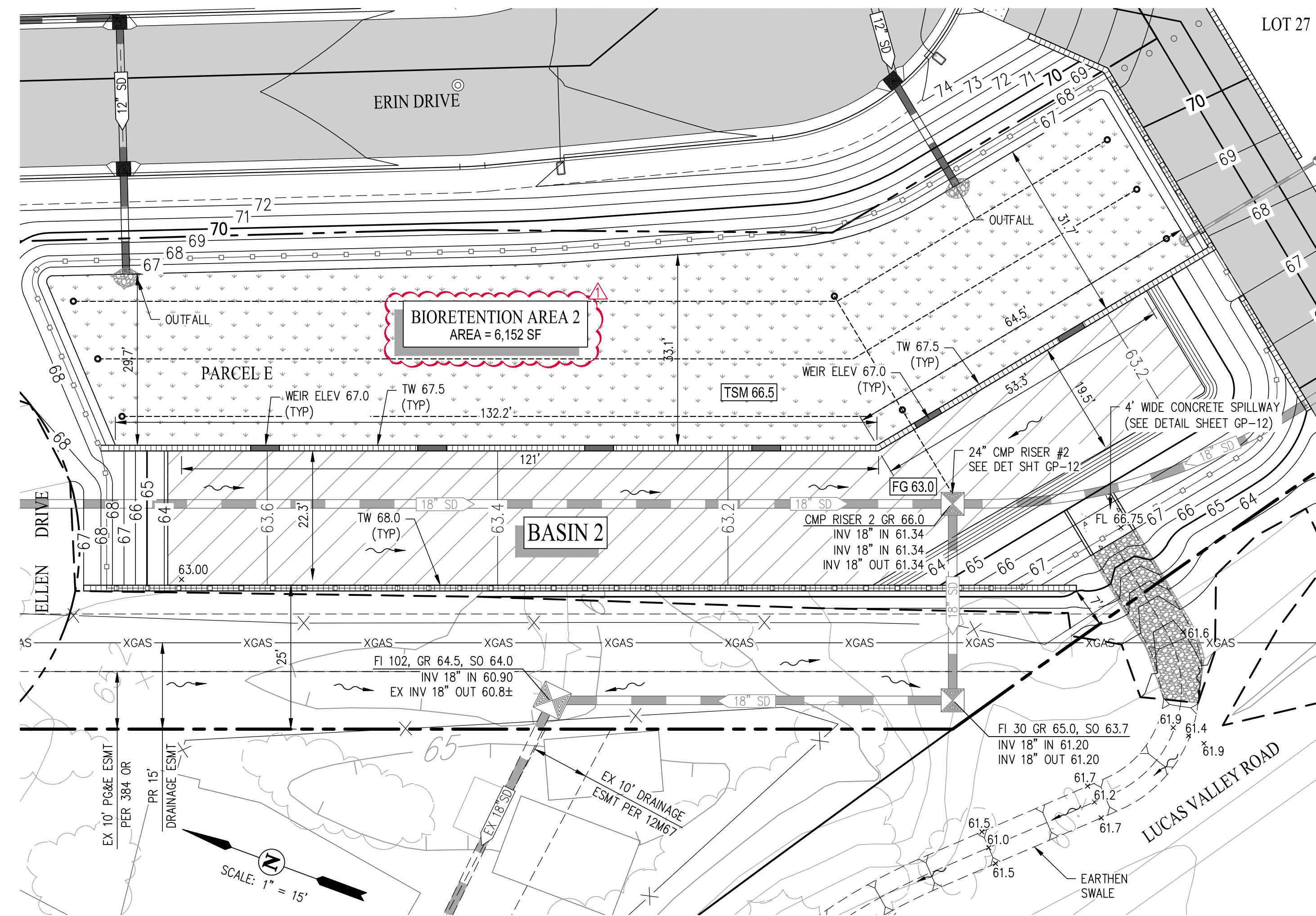
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IP-14
 OF 17

JOB NUMBER
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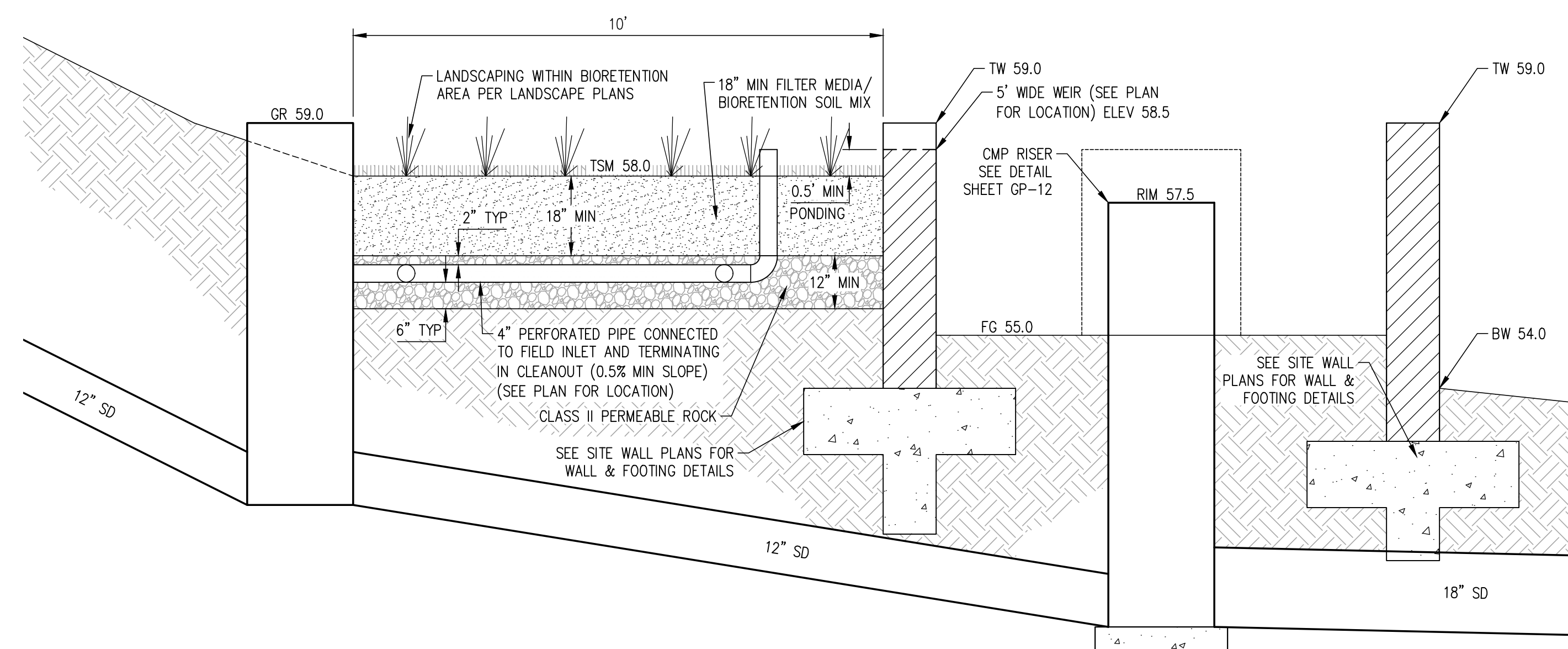
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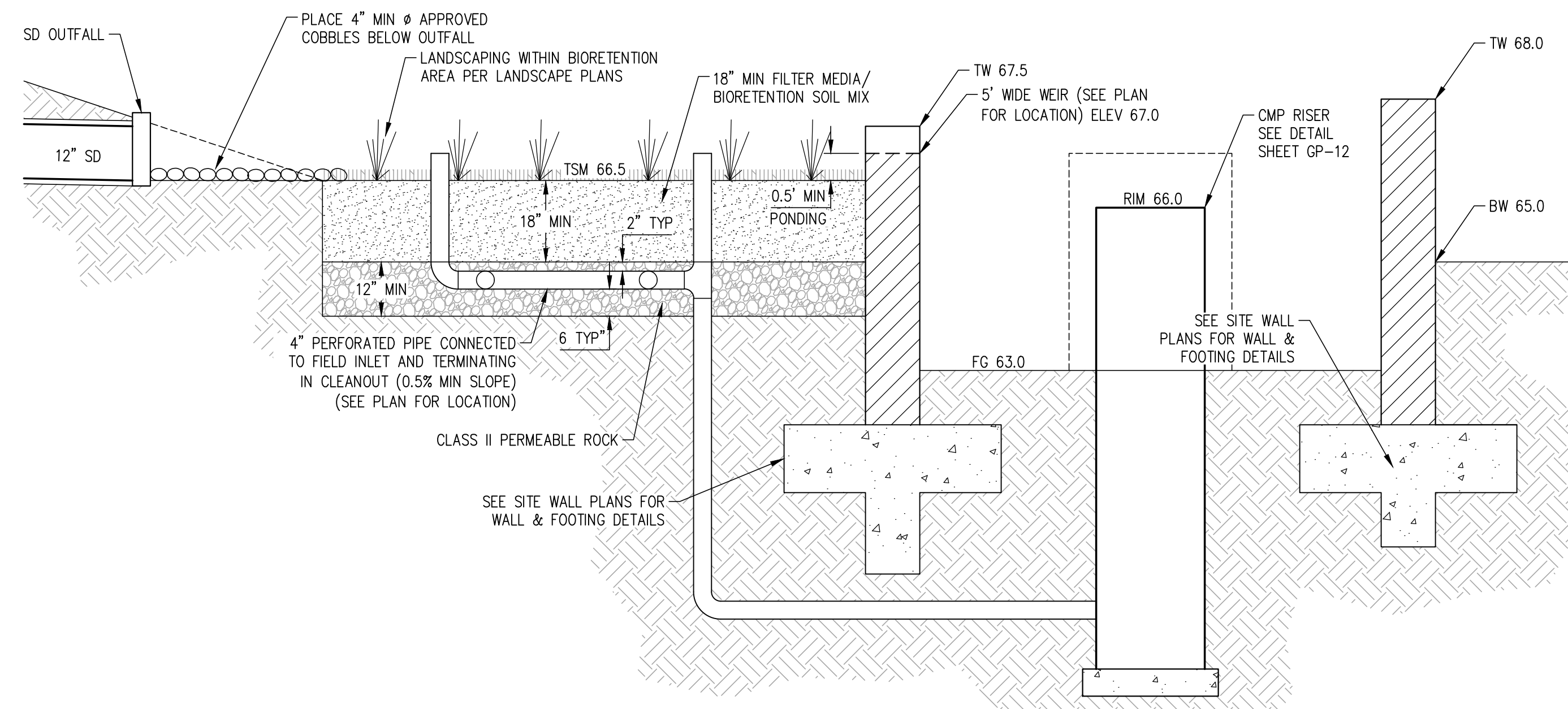
BIORETENTION AREA 1
SCALE: 1"=15'



BIORETENTION AREA 2
SCALE: 1"=15'



BIORETENTION AREA 1 DETAIL
NOT TO SCALE



BIORETENTION AREA 2 DETAIL
NOT TO SCALE

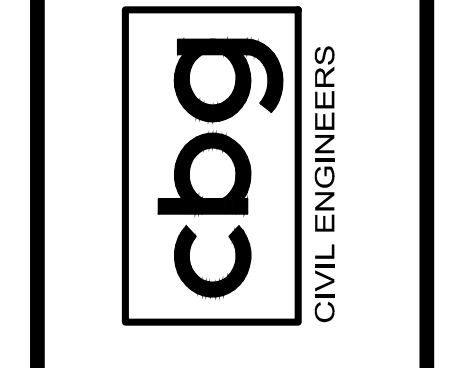
NO.	BY	DATE	REVISIONS
1	DAJ	3/23	ADDED BIORETENTION AREAS

DATE: 8/10/2022
 DRAWN BY: DAJ
 PROJECT ENGR: DAJ
 PROJ. MGR: DAJ

REGISTERED PROFESSIONAL ENGINEER
 STATE OF CALIFORNIA
 NO. 51374
 EXPIRES 08/31/2025

SAN RAMON (925) 866-0322
 SACRAMENTO (916) 375-1877
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APN: 164-270-07
 CALIFORNIA

TALUS RESERVE

GRADING PLANS
 STORMWATER CONTROL DETAILS

COUNTY OF MARIN

SHEET NUMBER
IP-15
 OF 17

JOB NUMBER
 2484-000