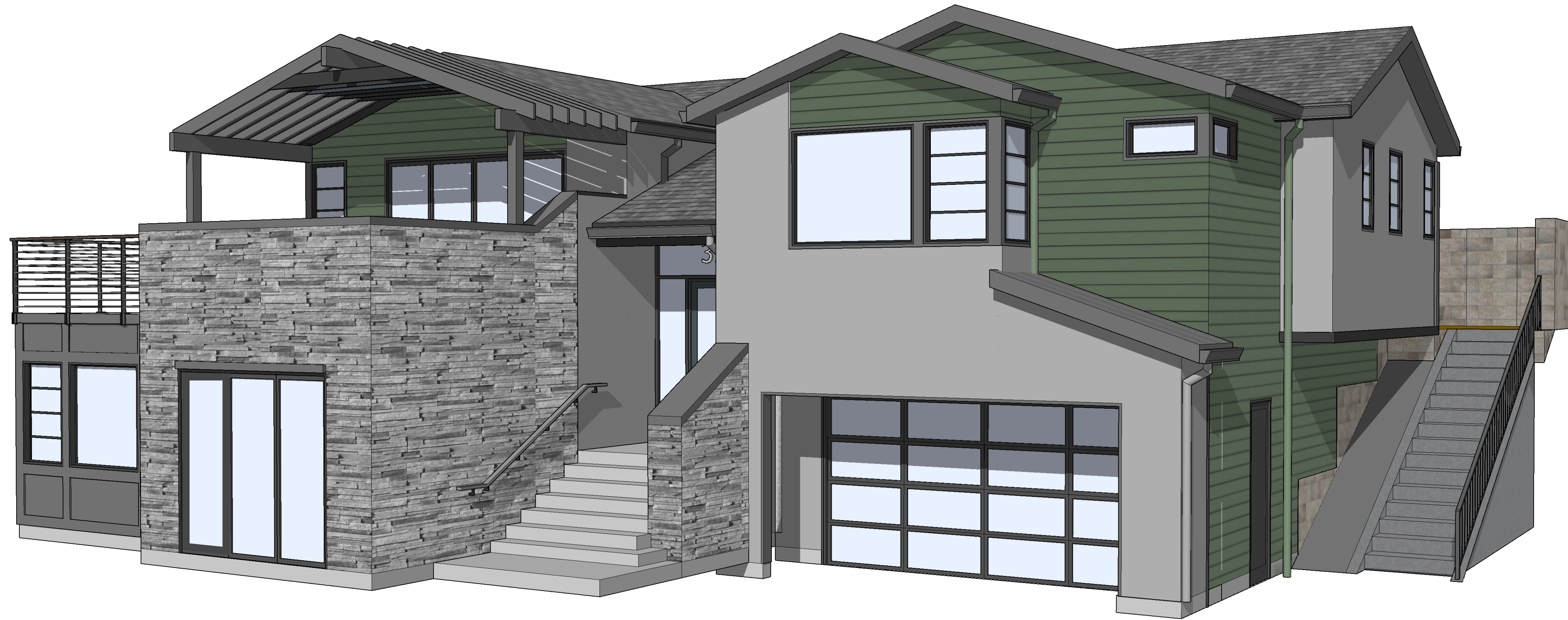


LEGACY AT LUCAS VALLEY

SAN RAFAEL, CA



PROJECT DATA	
PROJECT DESCRIPTION: CONSTRUCTION OF NEW 3,712 SQUARE FOOT TWO-STORY, SINGLE FAMILY RESIDENCE AND ATTACHED ADU AND ALL RELEVANT SITE AND LANDSCAPING IMPROVEMENTS	
ASSESSOR'S PARCEL NUMBER:	164-650-08
ZONING:	RMP - 1.38
OCCUPANCY CLASSIFICATION:	R-3
DESCRIPTION OF USE:	SINGLE FAMILY RESIDENCE
CONSTRUCTION TYPE:	V-B
STORIES	2
SPRINKLERS	YES
LOT AREA:	22,082 SQ. FT.
AVERAGE SLOPE:	18.10%
PROPOSED BUILDING AREA:	3,712 SQ. FT.
PROPOSED FLOOR AREA:	3,172 SQ. FT.
PROPOSED FLOOR AREA RATIO:	0.14
AREA OF ADDITIONAL DISTURBANCE:	
PROPOSED IMPERVIOUS AREA	3,820 SQ. FT.
PROPOSED PERVIOUS AREA	18,262 SQ. FT.
GRADING CALCULATIONS:	
CUT:	225 CUBIC YARDS
FILL:	50 CUBIC YARDS
NET:	175 (CUT) CUBIC YARDS
ON-SITE PARKING	3 TOTAL SPACES
PROPOSED SETBACK FOR EXTERIOR WALLS:	
PROPOSED FRONT YARD SETBACK	33.2'
PROPOSED SIDE YARD SETBACK	11.0' & 11.67'
PROPOSED REAR YARD SETBACK	144.4'
MAX HEIGHT FOR MAIN BUILDING	25'-0"
PROPOSED HEIGHT FOR MAIN BUILDING:	24'-11"

IMPORTANT TO NOTE:
FINISHED GRADE IS LOWER THAN NATURAL GRADE AND IS MORE RESTRICTIVE

VICINITY MAP

THE PROPERTY IS LOCATED NORTHEAST OF LUCAS VALLEY ROAD AND EAST OF LAS GALLINAS AVENUE BY AN EXTENSION OF ERIN DRIVE ON PROPERTY IDENTIFIED AS ASSESSOR'S PARCEL 164-650-08.



PROJECT TEAM

APPLICANT

HAVEN DEVELOPMENT COMPANY
696 SAN RAMON VALLEY BLVD.
DANVILLE, CA 94526
CONTACT: PREM DEHOOT
PHONE: 925-963-2114
EMAIL: PDHOOT@HAVEN-DEVELOPMENT.COM

ARCHITECT

DAHLIN GROUP, INC.
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PLEASANTON, CA 94588
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CIVIL ENGINEER

CB AND G
2633 CAMINO RAMON, SUITE 350
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EMAIL: DJOHNSON@CBANDG.COM

LANDSCAPE ARCHITECT

GATES ASSOCIATES
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EMAIL: MELONIE@DGATES.COM

SHEET INDEX

ARCHITECTURAL DRAWINGS

- CS.1 COVER SHEET
- CS.2 FOCUSED SITE PLAN W/ ELEVATIONS
- A.1 FIRST FLOOR PLAN
- A.2 SECOND FLOOR PLAN
- A.3 ROOF PLAN
- A.4 ELEVATIONS, MATERIALS & COLORS
- A.5 ELEVATIONS, MATERIALS & COLORS
- A.6 SITE SECTIONS

LANDSCAPE DRAWINGS

- LANDSCAPE PLAN
- PLANT LIST AND MATERIAL LIST

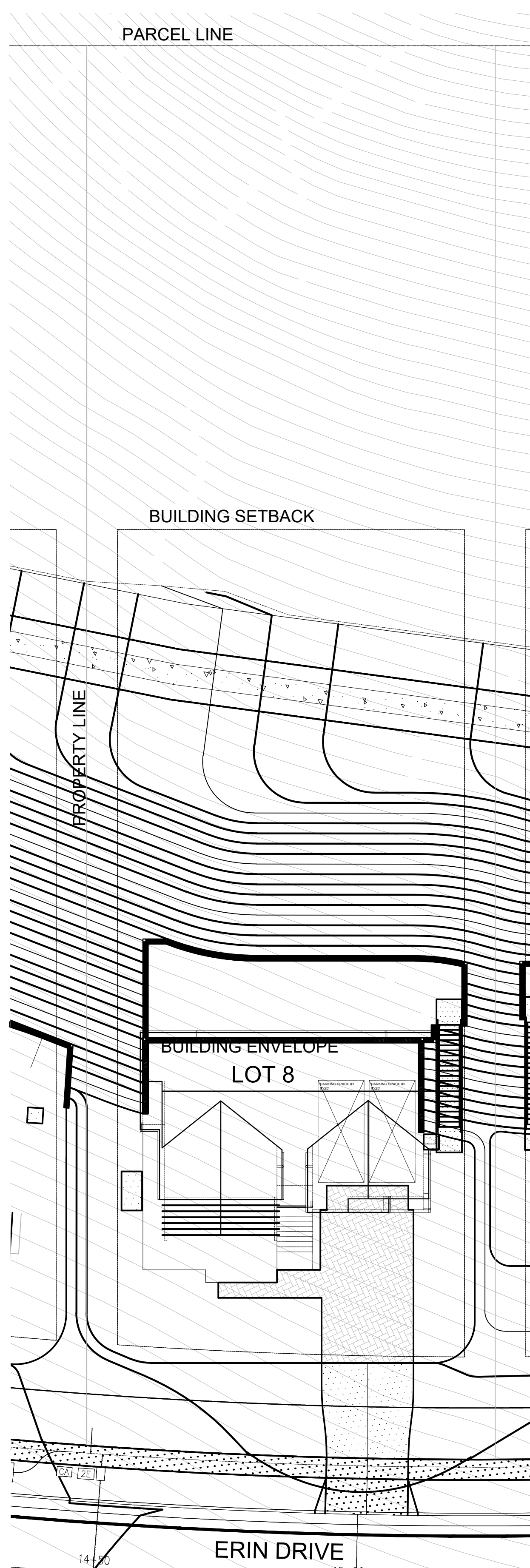
CIVIL DRAWINGS

- CIVIL SITE, GRADING, DRAINAGE, & UTILITY PLAN

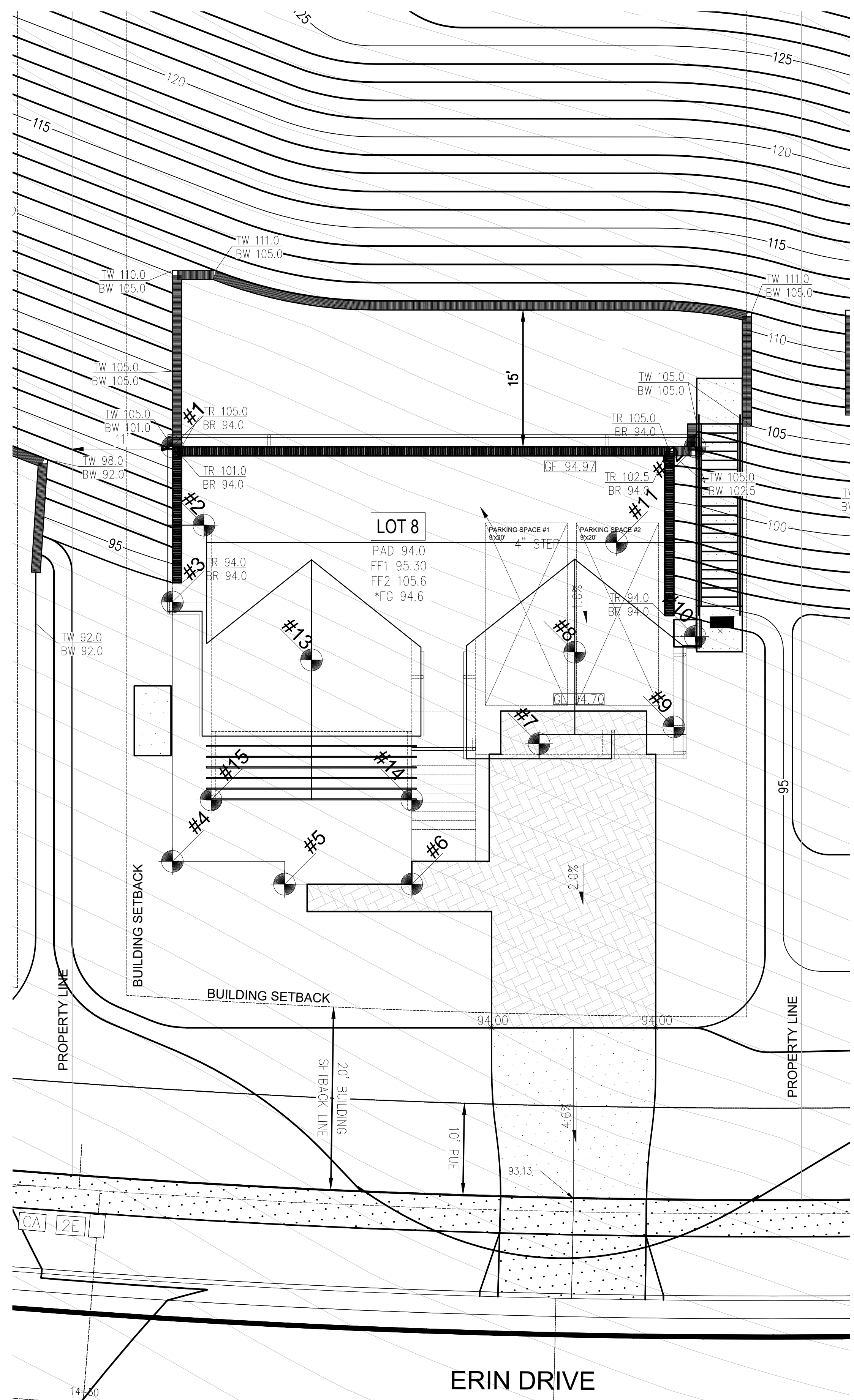
LEGACY AT LUCAS VALLEY (3RD SUBMITTAL)

31 ERIN DRIVE SAN RAFAEL, MARIN COUNTY, CA

LOT 8



FULL BOUNDARY SITE PLAN
SCALE: 1/16" = 1'-0"

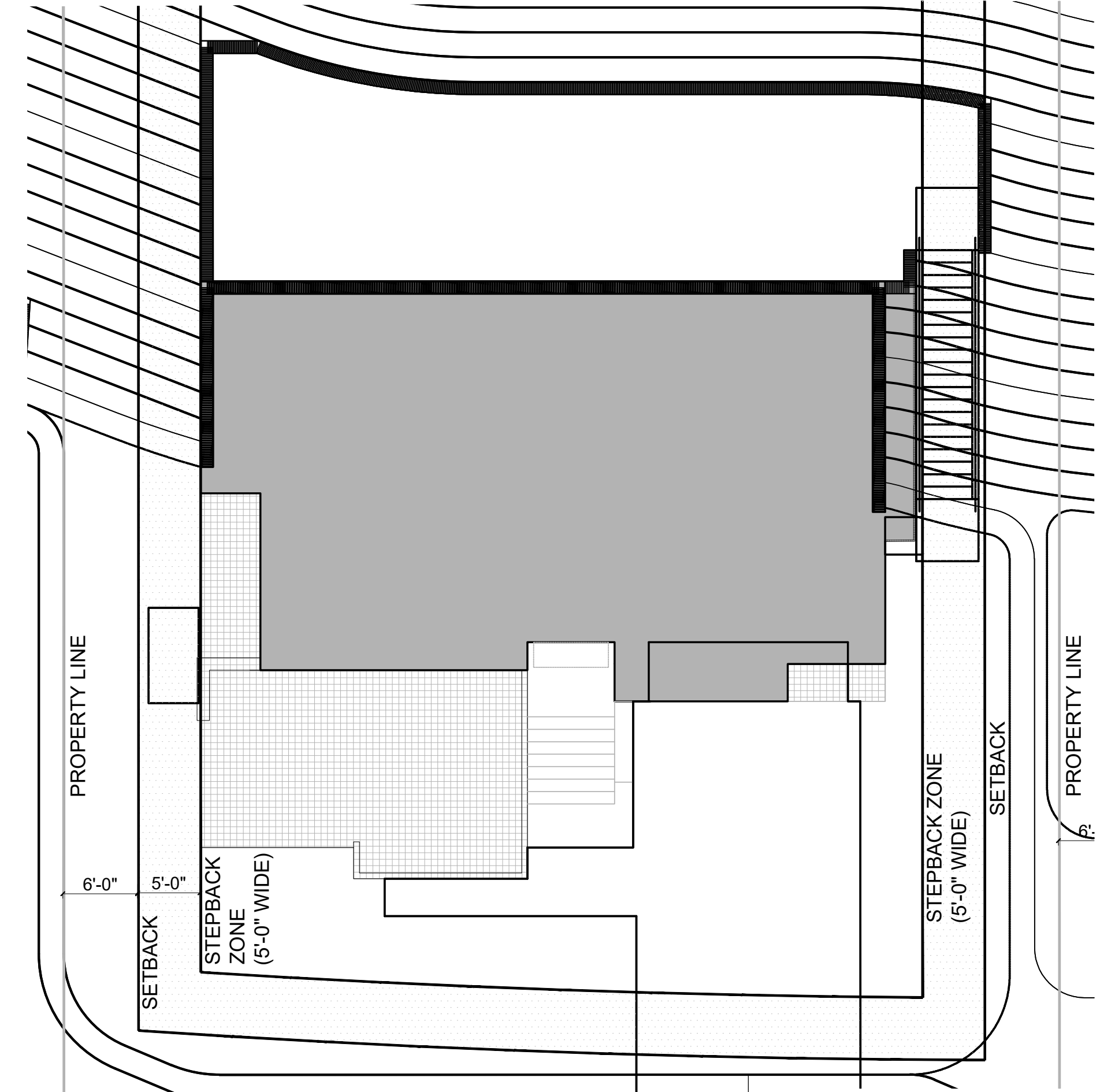


FOCUSED SITE PLAN WITH ROOF PLAN
SCALE: 1/8" = 1'-0"

BLDG. CORNER & RIDGE HEIGHTS AND STORY POLE LEGEND			
*PLEASE NOTE THAT ALL ELEVATIONS ARE IN DECIMAL FEET, ALL ELEVATIONS ARE PROPOSED AND ALL ELEVATION MARKERS SHOULD BE PRECEDED BY A (+/-)			
MARK #	ELEV @ FINISHED GRADE	TOP OF BUILDING @ POINT INDICATED	HEIGHT ABOVE FINISHED GRADE
#1	105.3	10	115.3
#2	99	19.7	118.7
#3	94.6	20.6	115.2
#4	94.6	10.3	104.9
#5	94.6	20.6	115.2
#6	94.6	22.9	117.5
#7	94.6	12	106.6
#8	94.6	12	106.6
#9	94.6	11	105.6
#10	94.6	20.6	115.2
#11	98.4	19.6	118
#12	105.3	10	115.3
#13	97.6	21.9	119.5
#14	94.6	20.6	115.2
#15	94.6	20.6	115.2

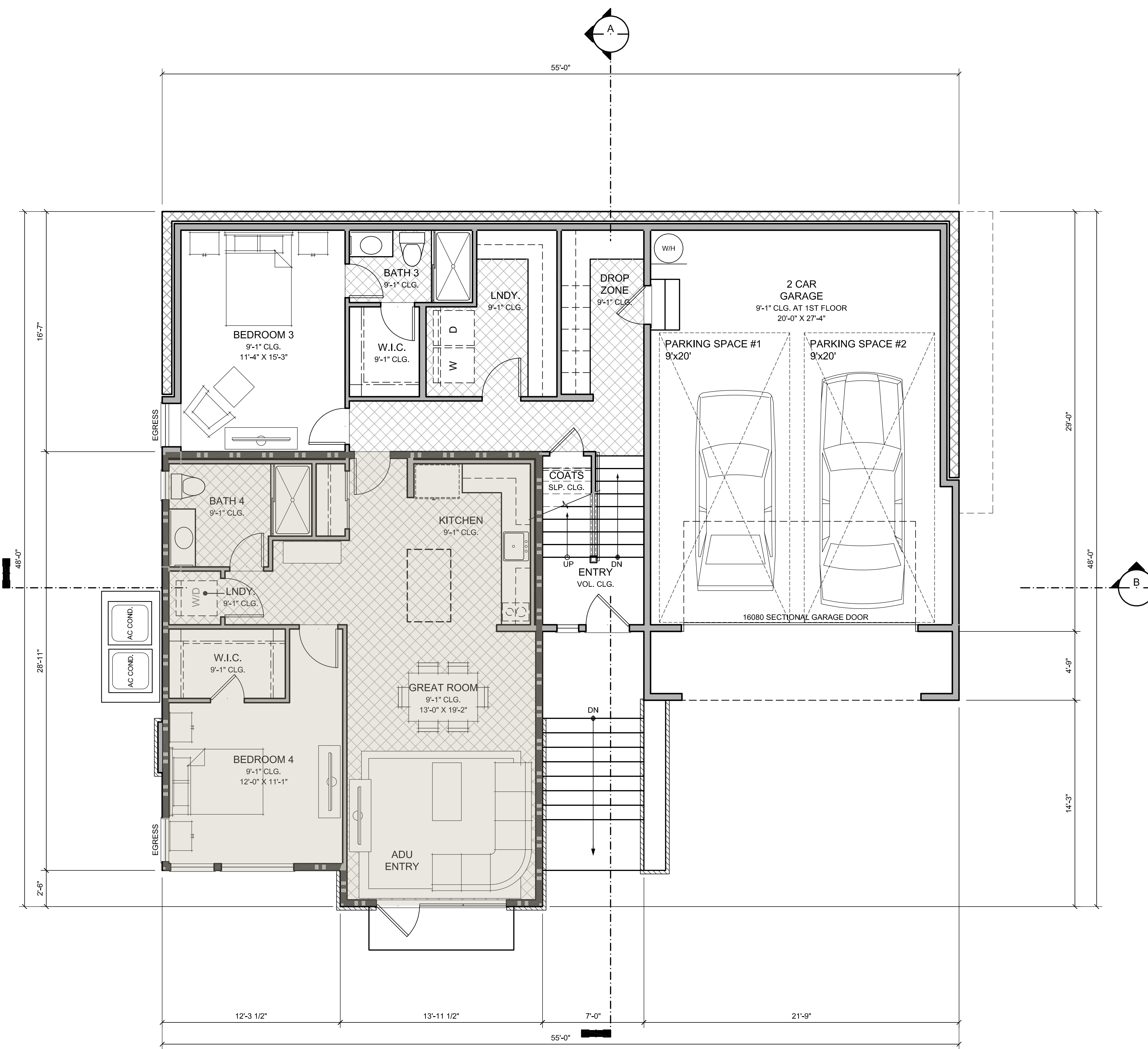
NOTE:
HIGHLIGHTED STORY POLES TO BE INSTALLED ON SITE WITH STRINGS BETWEEN

NOTE:
SITE PLAN IS FOR DIAGRAMMATIC PURPOSES ONLY.
SEE CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.



STEP BACK ZONE DIAGRAM
NOT TO SCALE

STEPBACK ZONE (5 FEET WIDE)
FIRST FLOOR
SECOND FLOOR (FULL HEIGHT)



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

LEGEND

- ADU
- 1-HR RATED WALL

SQUARE FOOTAGE SUMMARY

FIRST FLOOR	638	SQ. FT.
SECOND FLOOR	1649	SQ. FT.
TOTAL LIVING	2287	SQ. FT.
ADU	794	SQ. FT.
TOTAL LIVING w/ADU	3081	SQ. FT.
GARAGE	631	SQ. FT.
BUILDABLE AREA	3712	SQ. FT.

LEGACY AT LUCAS VALLEY (3RD SUBMITTAL)

31 ERIN DRIVE SAN RAFAEL, MARIN COUNTY, CA

LOT 8

FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

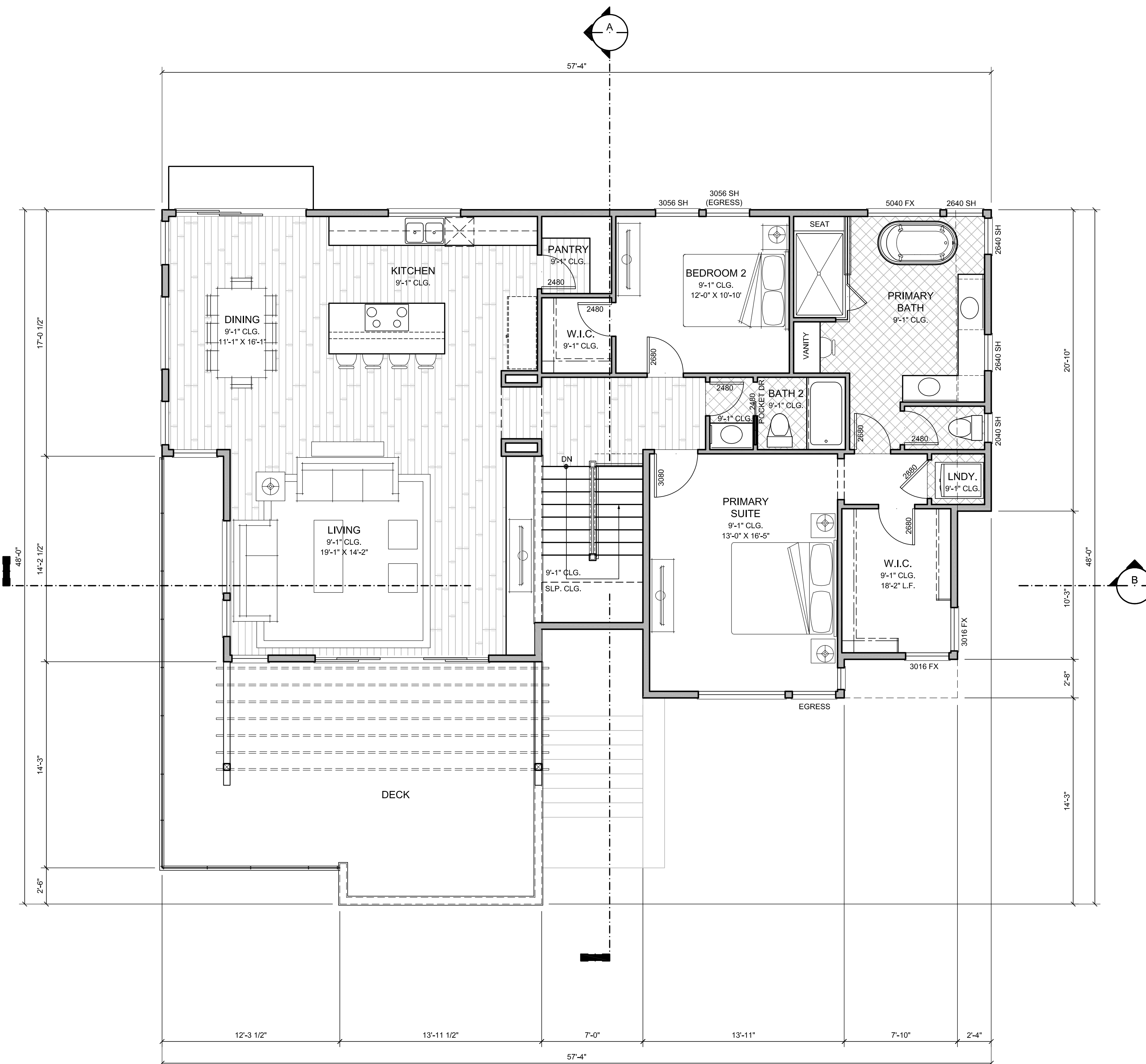


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925-251-7200

PROJECT NO.: 1615.003
DATE: 06/09/2023

SHEET **A.1**





SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

SQUARE FOOTAGE SUMMARY		
FIRST FLOOR	638	SQ. FT.
SECOND FLOOR	1649	SQ. FT.
TOTAL LIVING	2287	SQ. FT.
ADU	794	SQ. FT.
TOTAL LIVING w/ADU	3081	SQ. FT.
GARAGE	631	SQ. FT.
BUILDABLE AREA	3712	SQ. FT.

LEGACY AT LUCAS VALLEY (3RD SUBMITTAL)

31 ERIN DRIVE SAN RAFAEL, MARIN COUNTY, CA

LOT 8

SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

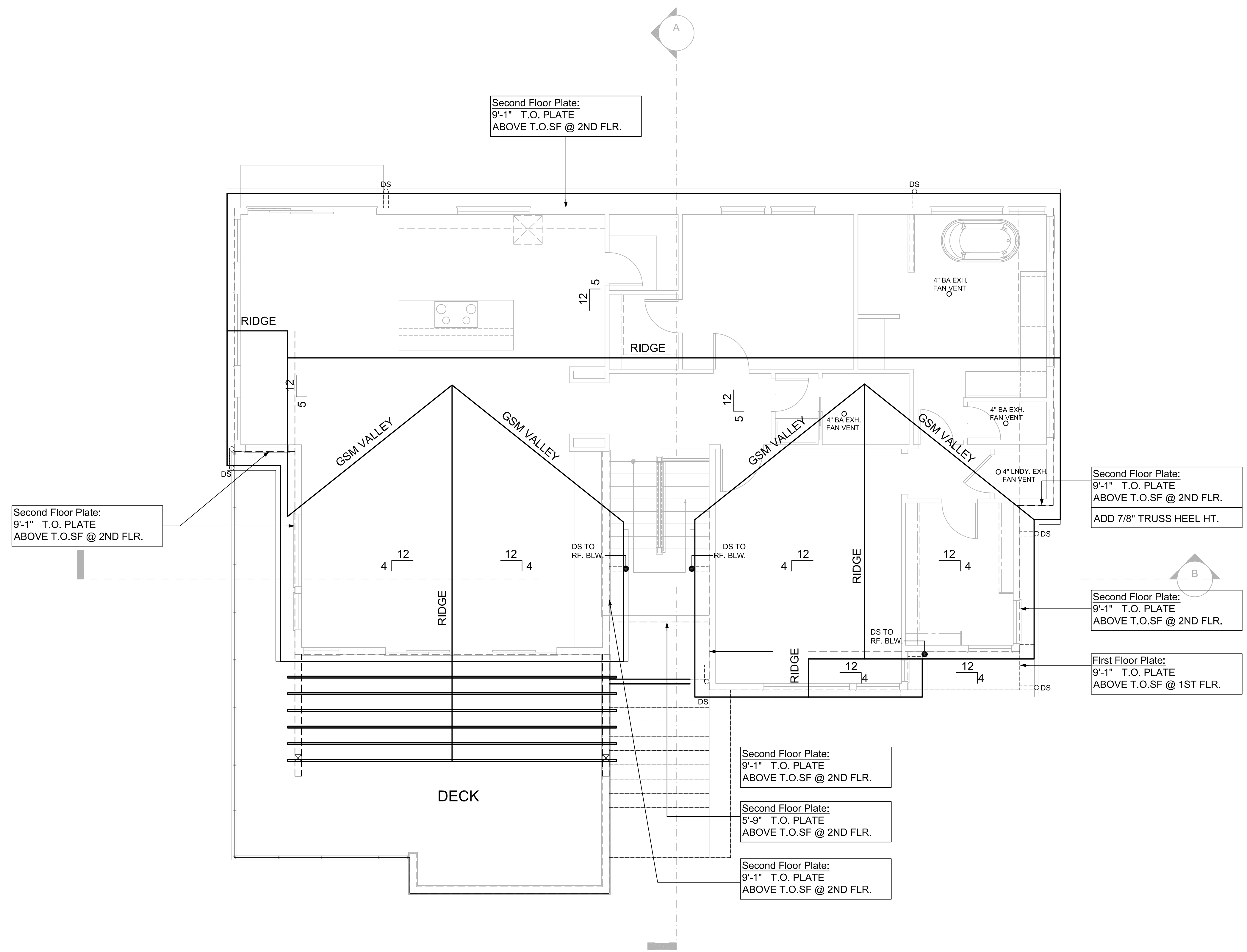


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SHEET **A.2**





ROOF PLAN

SCALE: 1/4" = 1'-0"

LEGACY AT LUCAS VALLEY (3RD SUBMITTAL)

31 ERIN DRIVE SAN RAFAEL, MARIN COUNTY, CA

LOT 8

ROOF PLAN

SCALE: 1/4" = 1'-0"

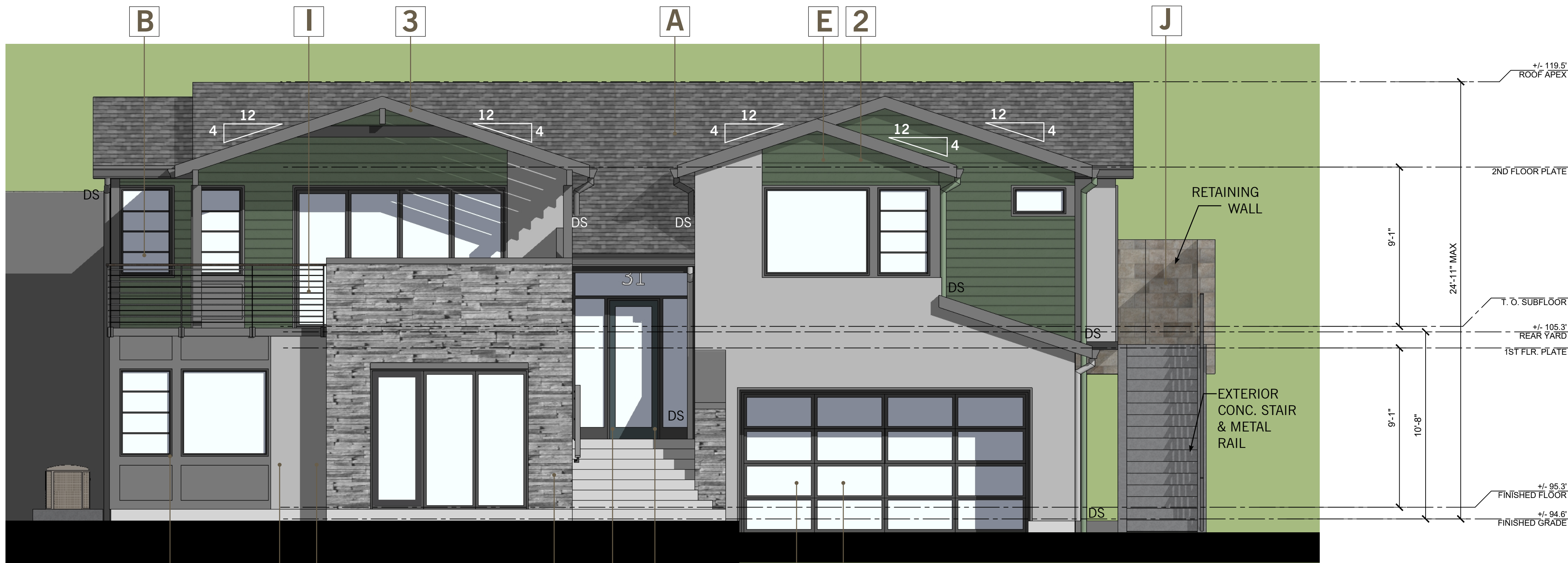


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SHEET **A.3**





FRONT ELEVATION

SCALE: 1/4" = 1'-0"

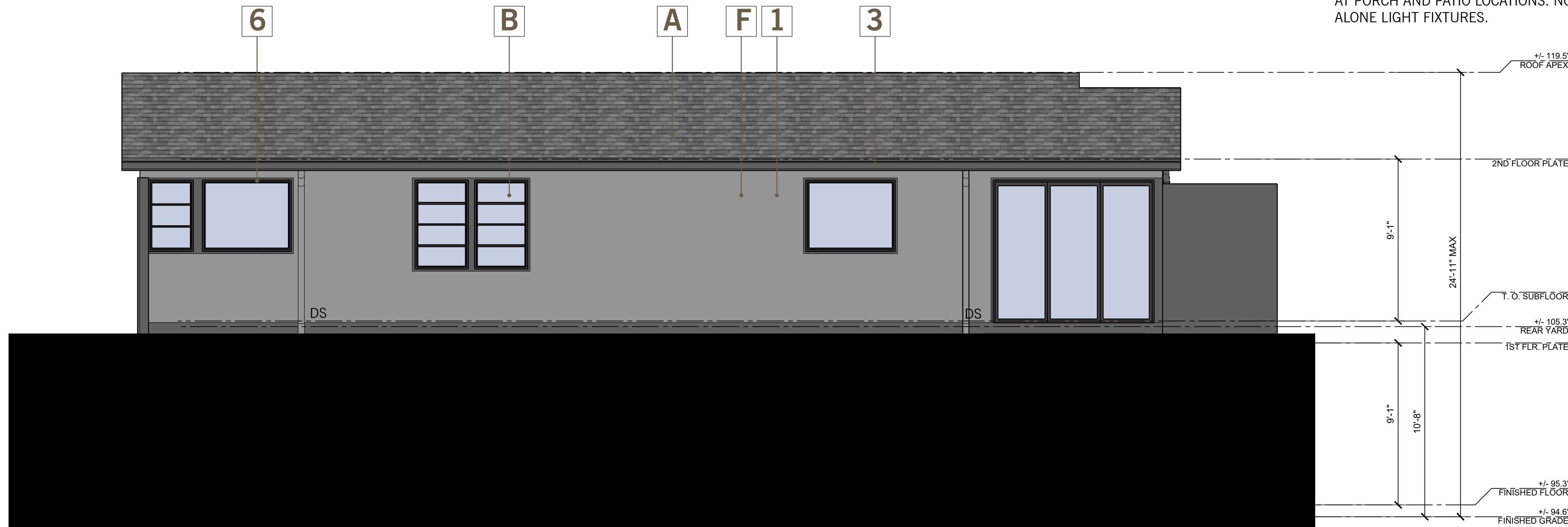
NOTE:
DOWNSPOUTS: PAINT ALL EXPOSED SIDES ADJACENT COLOR
TRIM: PAINT ALL EXPOSED SIDES TRIM COLOR
VINYL WINDOWS AND DOOR FRAMES: BLACK (FACTORY FINISH)
S.C.D: SEE CIVIL DRAWINGS
EXTERIOR LIGHTING: RECESSED DOWNLIGHTING AT PORCH AND PATIO LOCATIONS. NO STAND ALONE LIGHT FIXTURES.

EXTERIOR MATERIALS & COLORS

(SEE ELEVATION NOTES ON THIS SHEET- ALL PAINT COLORS ARE SHERWIN WILLIAMS)

- A ROOF**
COMPOSITIONAL SHINGLE ROOF
GEORGETOWN GRAY
BY LANDMARK PRO OR EQUAL
- B VINYL WINDOW**
BLACK
BY PLYGEM OR EQUAL
- C ENTRY DOOR**
SMOOTH STAR COLLECTION
THERMA-TRU FIBER GLASS OR EQUAL
- D GARAGE DOOR**
AVANTE COLLECTION
CLOPLAY OR EQUAL
- E HARDIE LAP SIDING**
6" SMOOTH HARDIE-LAP
BY JAMES HARDIE OR EQUAL
- F STUCCO**
SMOOTH STUCCO FINISH
- G STONE**
NANTUCKET PROSTACK
BY ENVIRONMENTAL STONENWORKS OR EQUAL
- H NOT USED**
- I METAL RAILING**
HORIZONTAL CABLE RAILING SYSTEM
BY ULTRALOX INTERLOCKING TECHNOLOGY OR EQUAL
- J RETAINING WALL**
TAN CONCRETE SPLIT FACE BLOCK
- K ACCENT METAL ROOF**
METAL ROOF
BY METAL BUILDING COMPANY OR EQUAL
- L SERVICE DOOR**
SMOOTH STAR COLLECTION
PANEL OR FULL LITE FLUSH-GLAZED OR EQUAL.
SEE ELEVATIONS

- 1 BODY COLOR 1**
SMOOTH STUCCO FINISH
SW 7074 - SOTWARE
BY SHERWIN WILLIAMS OR EQUAL
- 2 BODY COLOR 2**
LAP SIDING FINISH
SW 6195 - ROCK GARDEN
BY SHERWIN WILLIAMS OR EQUAL
- 3 TRIM COLOR 1**
FASCIA & RAFTER TAILS, GUTTERS
SW 7068 - GRIZZLE GRAY
BY SHERWIN WILLIAMS OR EQUAL
- 4 ENTRY DOOR**
SW 7604 - SMOKY BLUE
BY SHERWIN WILLIAMS OR EQUAL
- 5 GARAGE DOOR**
SW 7069 - IRON ORE
BY SHERWIN WILLIAMS OR EQUAL
- 6 TRIM COLOR 2**
DOOR & WINDOW TRIM, MAN DOOR
SW 7069 - IRON ORE
BY SHERWIN WILLIAMS OR EQUAL



REAR ELEVATION

SCALE: 1/4" = 1'-0"

ELEVATIONS, MATERIALS & COLORS

SCALE: 1/4" = 1'-0"



LEGACY AT LUCAS VALLEY (3RD SUBMITTAL)

31 ERIN DRIVE SAN RAFAEL, MARIN COUNTY, CA

LOT 8

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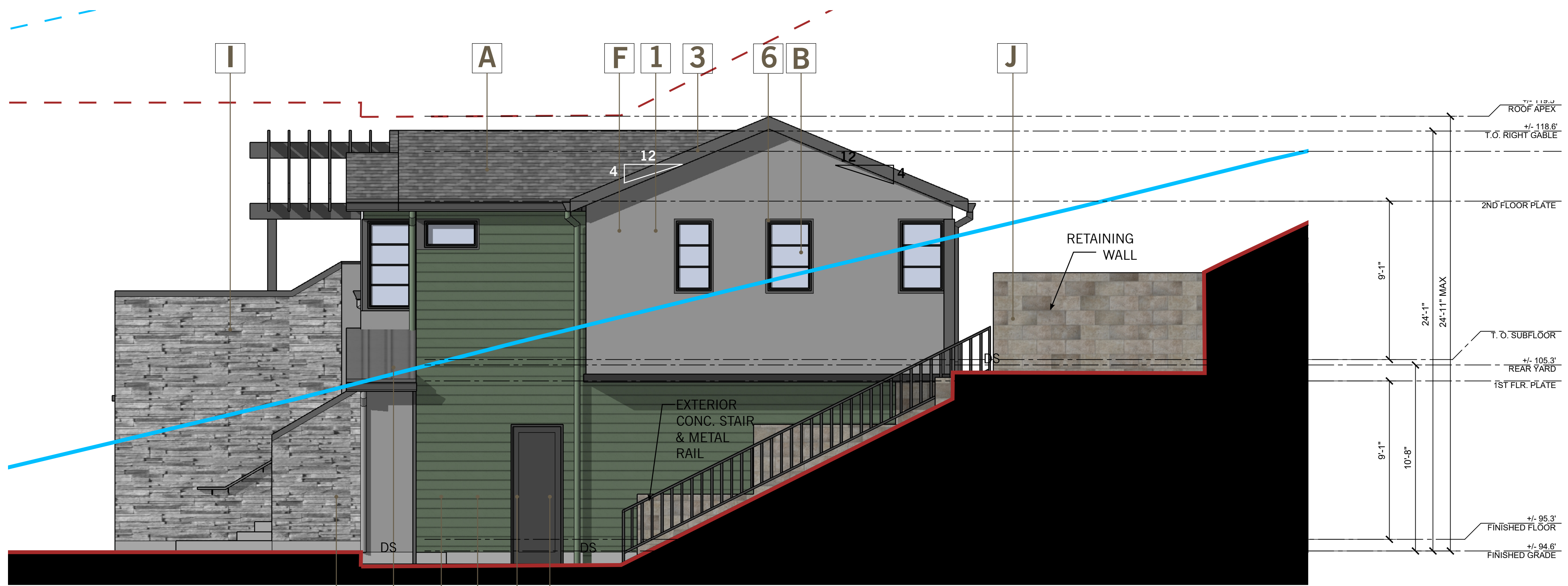
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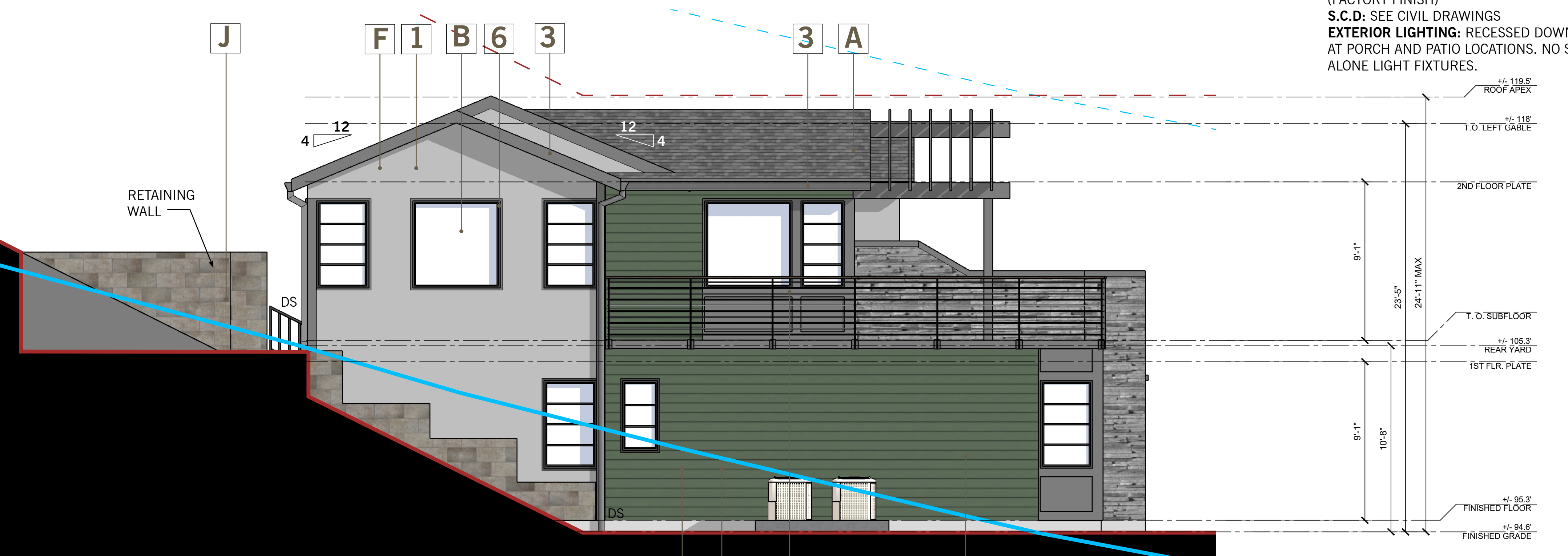
SHEET **A.4**





RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

EXTERIOR MATERIALS & COLORS

(SEE ELEVATION NOTES ON THIS SHEET- ALL PAINT COLORS ARE SHERWIN WILLIAMS)

- A ROOF**
COMPOSITIONAL SHINGLE ROOF
GEORGETOWN GRAY
BY LANDMARK PRO OR EQUAL
- B VINYL WINDOW**
BLACK
BY PLYGEM OR EQUAL
- C ENTRY DOOR**
SMOOTH STAR COLLECTION
THERMA-TRU FIBER GLASS OR EQUAL
- D GARAGE DOOR**
AVANTE COLLECTION
CLOPLAY OR EQUAL
- E HARDIE LAP SIDING**
6" SMOOTH HARDIE-LAP
BY JAMES HARDIE OR EQUAL
- F STUCCO**
SMOOTH STUCCO FINISH
- G STONE**
NANTUCKET PROSTACK
BY ENVIRONMENTAL STONWORKS OR EQUAL
- H NOT USED**
- I METAL RAILING**
HORIZONTAL CABLE RAILING SYSTEM
BY ULTRALOX INTERLOCKING TECHNOLOGY OR EQUAL
- J RETAINING WALL**
TAN CONCRETE SPLIT FACE BLOCK
- K ACCENT METAL ROOF**
METAL ROOF
BY METAL BUILDING COMPANY OR EQUAL
- L SERVICE DOOR**
SMOOTH STAR COLLECTION
PANEL OR FULL LITE FLUSH-GLAZED OR EQUAL.
SEE ELEVATIONS
- 1 BODY COLOR 1**
SMOOTH STUCCO FINISH
SW 7074 - SOTWARE
BY SHERWIN WILLIAMS OR EQUAL
- 2 BODY COLOR 2**
LAP SIDING FINISH
SW 6195 - ROCK GARDEN
BY SHERWIN WILLIAMS OR EQUAL
- 3 TRIM COLOR 1**
FASCIA & RAFTER TAILS, GUTTERS
SW 7068 - GRIZZLE GRAY
BY SHERWIN WILLIAMS OR EQUAL
- 4 ENTRY DOOR**
SW 7604 - SMOKY BLUE
BY SHERWIN WILLIAMS OR EQUAL
- 5 GARAGE DOOR**
SW 7069 - IRON ORE
BY SHERWIN WILLIAMS OR EQUAL
- 6 TRIM COLOR 2**
DOOR & WINDOW TRIM, MAN DOOR
SW 7069 - IRON ORE
BY SHERWIN WILLIAMS OR EQUAL

NOTE:
DOWNSPOUTS: PAINT ALL EXPOSED SIDES ADJACENT COLOR
TRIM: PAINT ALL EXPOSED SIDES TRIM COLOR
VINYL WINDOWS AND DOOR FRAMES: BLACK (FACTORY FINISH)
S.C.D: SEE CIVIL DRAWINGS
EXTERIOR LIGHTING: RECESSED DOWNLIGHTING AT PORCH AND PATIO LOCATIONS. NO STAND ALONE LIGHT FIXTURES.

LEGEND

- PROPOSED FINISHED GRADE
- - - 25' HEIGHT LIMIT FROM PROPOSED FINISHED GRADE
- NATURAL GRADE
- - - 25' HEIGHT LIMIT FROM NATURAL GRADE

ELEVATIONS, MATERIALS & COLORS

SCALE: 1/4" = 1'-0"



LEGACY AT LUCAS VALLEY (3RD SUBMITTAL)

31 ERIN DRIVE SAN RAFAEL, MARIN COUNTY, CA

LOT 8

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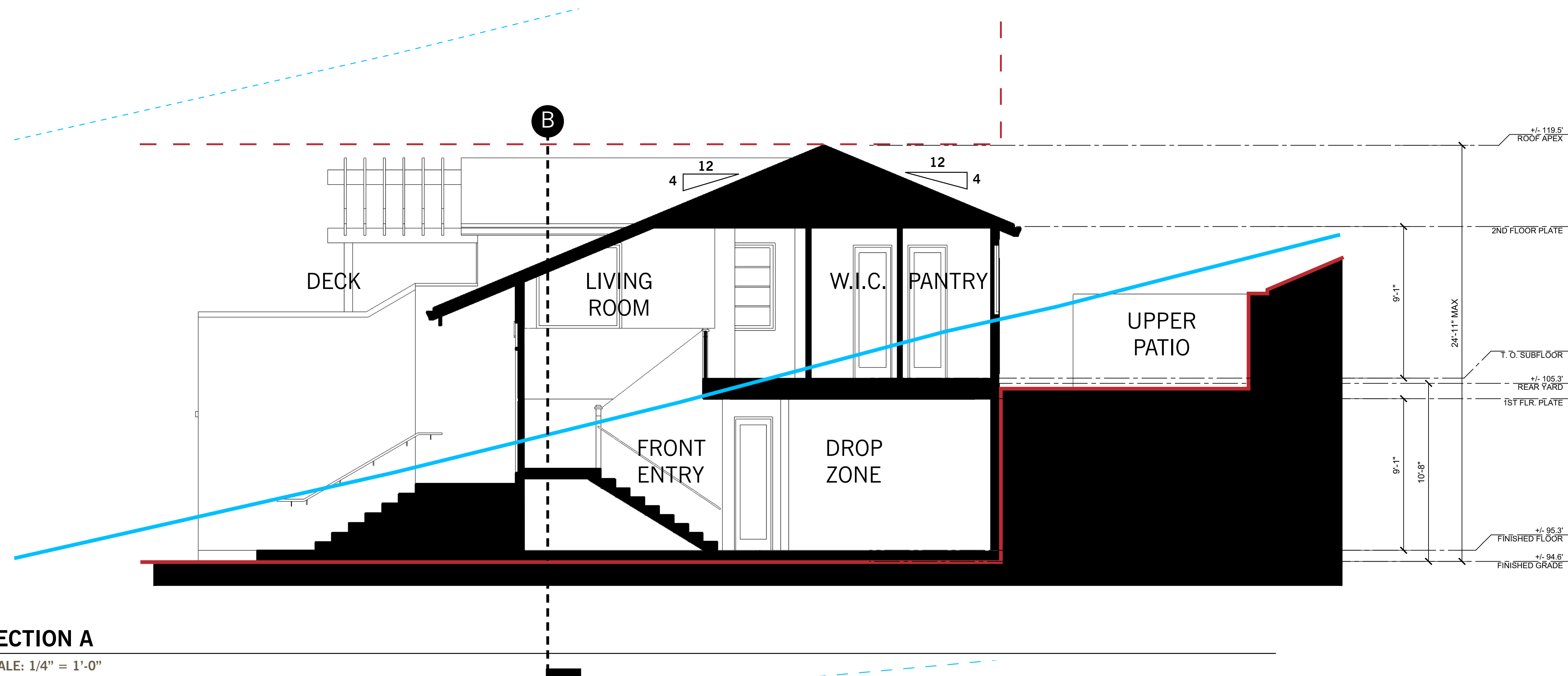
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SHEET **A.5**



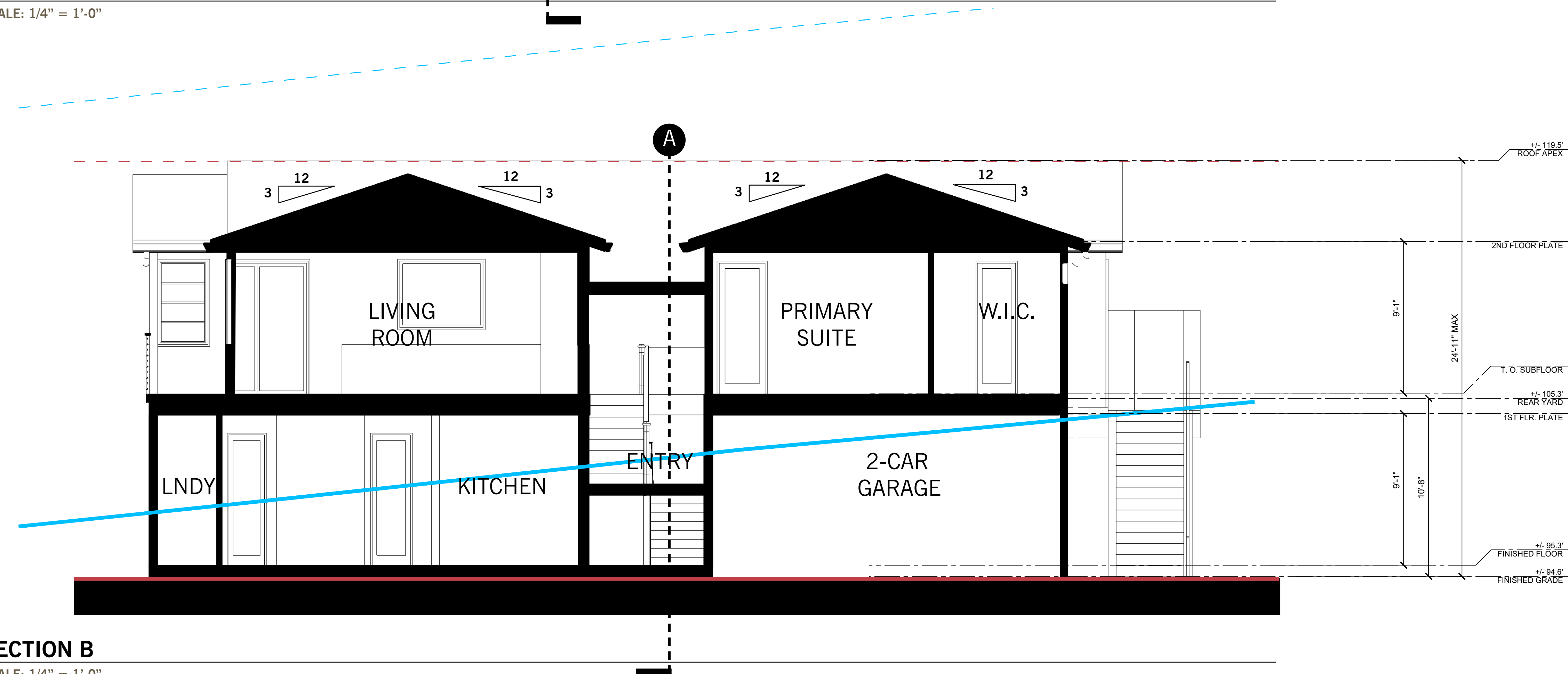
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925-251-7200

PROJECT NO.: 1615.003
DATE: 06/09/2023



SECTION A

SCALE: 1/4" = 1'-0"



SECTION B

SCALE: 1/4" = 1'-0"

"A MAXIMUM HEIGHT LIMIT OF 25 FEET FROM NATURAL OR FINISHED GRADE, WHICHEVER IS MORE RESTRICTIVE, FOLLOWING COMPLETION OF SUBDIVISION IMPROVEMENTS SHALL APPLY TO LOTS 1 TO 12. A MAXIMUM HEIGHT LIMIT OF 30 FEET FROM NATURAL OR FINISHED GRADE, WHICHEVER IS MORE RESTRICTIVE, FOLLOWING COMPLETION OF THE SUBDIVISION IMPROVEMENTS SHALL APPLY TO LOTS 13 TO 28." AS STATED IN ORDINANCE NO. 3421, SECTION II-4D MASTER PLAN APPROVAL.

LEGEND

- PROPOSED FINISHED GRADE
- - - 25' HEIGHT LIMIT FROM PROPOSED FINISHED GRADE
- NATURAL GRADE
- - - 25' HEIGHT LIMIT FROM NATURAL GRADE

SITE SECTIONS

SCALE: 1/4" = 1'-0"



LEGACY AT LUCAS VALLEY (3RD SUBMITTAL)

31 ERIN DRIVE SAN RAFAEL, MARIN COUNTY, CA

LOT 8

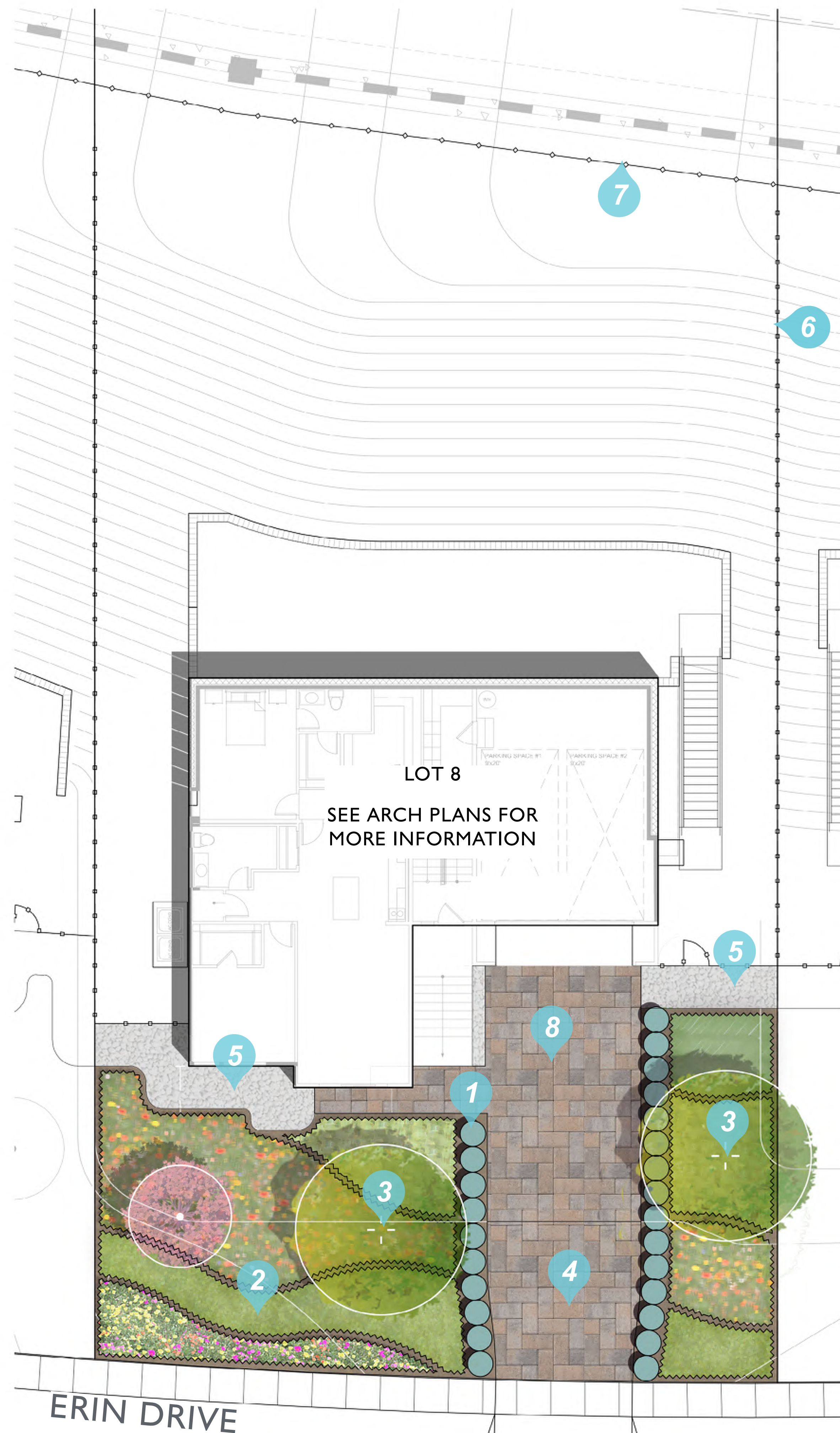
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PROJECT NO.: 1615.003
DATE: 06/09/2023

SHEET **A.6**



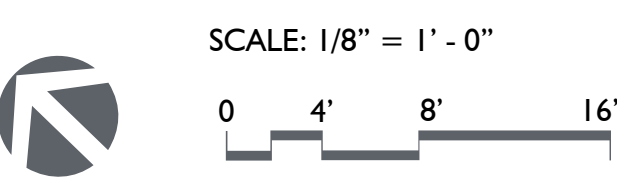


LEGEND

- 1 Shrub planting, see plant list on sheet L2
- 2 Groundcover planting, see plant list on sheet L2
- 3 Tree, see plant list on sheet L2
- 4 Stamped Vehicular Concrete, paving and pattern TBD
- 5 Decorative Gravel
- 6 6'Ht Solid Wood Fence
- 7 6'Ht View Open View Fence
- 8 Permeable Pavers, paving and pattern TBD

NOTES:

1. AS DETERMINED BY THE MARIN COUNTY FIRE DEPARTMENT HAZARD ASSESSMENT MATRIX, A DEFENSIBLE SPACE OF 30' UPSLOPE, 30' SIDESLOPE, AND 30' DOWNSLOPE FROM THE HOUSE SHALL BE MAINTAINED.
2. A "CLEAN ZONE" 15' FROM THE HOUSE SHALL BE MAINTAINED, WITH FEW TO NO COMBUSTIBLES.
3. A "FUEL REDUCTION ZONE" FROM 15'-30' SHALL BE ESTABLISHED WITH WELL-SPACED, WELL-MAINTAINED FIRE-RESISTANT PLANTS.
4. LANDSCAPE SHALL BE PLANTED WITH FIRE-RESISTANT PLANTS. NO PLANTS FROM THE MARIN COUNTY FIRE ORDINANCE'S FIRE PRONE PLANT LIST SHALL BE PLANTED.
5. TREES SHALL BE PLANTED SUCH THAT WHEN MATURE, THEIR CROWNS WILL BE SEPARATED BY AT LEAST 10'
6. SHRUBS SHALL BE PLANTED AT A HORIZONTAL DISTANCE THAT IS AT LEAST TWO TIMES THEIR HEIGHT AT MATURITY.
7. TREES SHALL BE LIMBED 10 FEET FROM THE GROUND TO REDUCE "FIRE LADDER".
8. TREES SHALL BE TRIMMED AT LEAST 10 FEET FROM CHIMNEY, AND DEAD BRANCHES SHALL BE REMOVED IF THEY GROW OVER THE ROOF.
9. ALL PLANTS SHALL BE MAINTAINED BY WATERING AS NECESSARY, AND BY REMOVING DEAD BRANCHES, LEAVES AND NEEDLES.
10. DRY GRASS SHALL BE MOWN REGULARLY, BUT ONLY ON COOL MOIST DAYS OR BEFORE 10 AM.



TREES



Cercis occidentalis
Western Redbud



Cornus florida 'Cload Nine'
Dogwood Cloud Nine



Olea ueropaea 'Swan Hill'
Swan Hill Olive

SHRUBS



Ddonaea viscosa 'Purpurea'
Purple Leafed Hopseed Bush



Hesperaloe parviflora 'Brakelights'
Brakelights Red Yucca



Penstemon heterophyllus 'Margarita bop'
Purple Leafed Hopseed Bush



Muhlenbergia rigens
Deer Grass



Ribes Sanguineum
Red Flowering Currant



Lavandula angustifolia
English Lavender

GROUND COVER



Coprosma kirkii 'Variegata'
Creeping Mirror Plant



Delosperma cooperi
Purple Ice Plant



Lantana montevidensis
Trailing Lantana



Oenothera speciosa
Pink Evening Primrose



Zauschneria californica
California Fuchsia

MATERIALS



PLANT LIST

TREES	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	SPACING	CA NATIVE
CER	CERCIS OCCIDENTALIS	WESTERN REDBUD	24"BOX	VL (WUCOLS IV)	AS SHOWN	Y
CFO	CORNUS FLORIDA 'CLOAD NINE'	DOGWOOD COULD NINE	24"BOX	M (WUCOLS IV)	AS SHOWN	N

SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	SPACING	CA NATIVE
DP	DODONAEA VISCOSA 'PURPUREA'	PURPLE LEAFED HOPSEED BUSH	5 GAL	L (WUCOLS IV)	60"	N
HP	HESPERALOE PARVIFLORA 'BRAKELIGHTS'	BRAKELIGHTS RED YUCCA	5 GAL	L (WUCOLS IV)	60"	N
MR	MUHLENBERGIA RIGENS	DEER GRASS	5 GAL	L (WUCOLS IV)	36" O.C.	Y

GROUND COVERS	BOTANICAL NAME	COMMON NAME	CONT	WATER USE	SPACING	CA NATIVE
CM	COPROSMA KIRKII 'VARIEGATA'	CREEPING MIRROR PLANT	1 GAL	L (WUCOLS IV)	48" O.C.	N
DC	DELOSPERMA COOPERI	PURPLE ICE PLANT	1 GAL	L (WUCOLS IV)	18" O.C.	N
LP	LANTANA MONTEVIDENSIS	TRAILING LANTANA	1 GAL	L (WUCOLS IV)	72" O.C.	N
LA	LAVANDULA ANGUSTIFOLIA	ENGLISH LAVENDER	1 GAL	L (WUCOLS IV)	24" O.C.	N
OS	OENOTHERA SPECIOSA	PINK EVENING PRIMROSE	1 GAL	L (WUCOLS IV)	30" O.C.	N
ZC	ZAUSCHNERIA CALIFORNICA	CALIFORNIA FUCHSIA	1 GAL	L (WUCOLS IV)	36" O.C.	Y

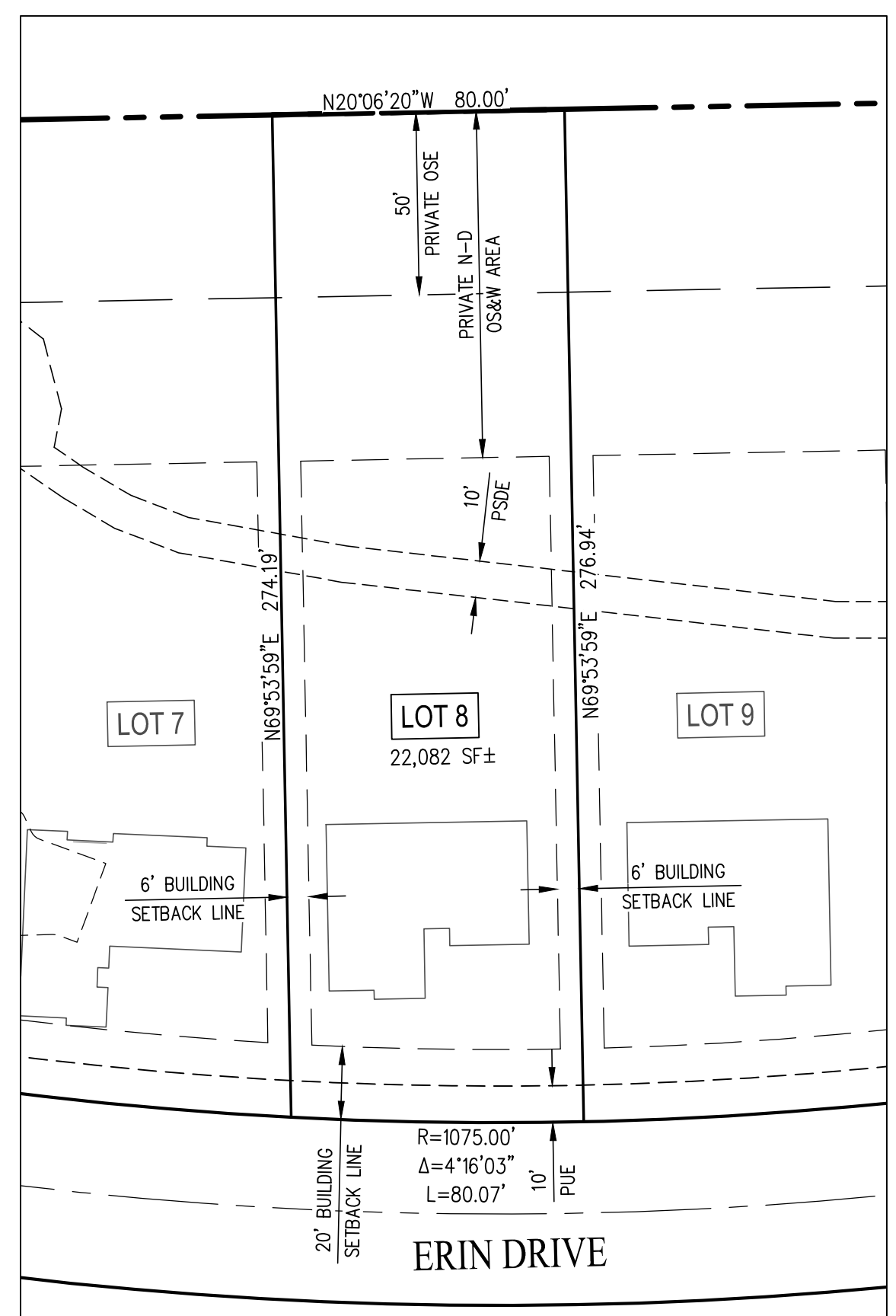
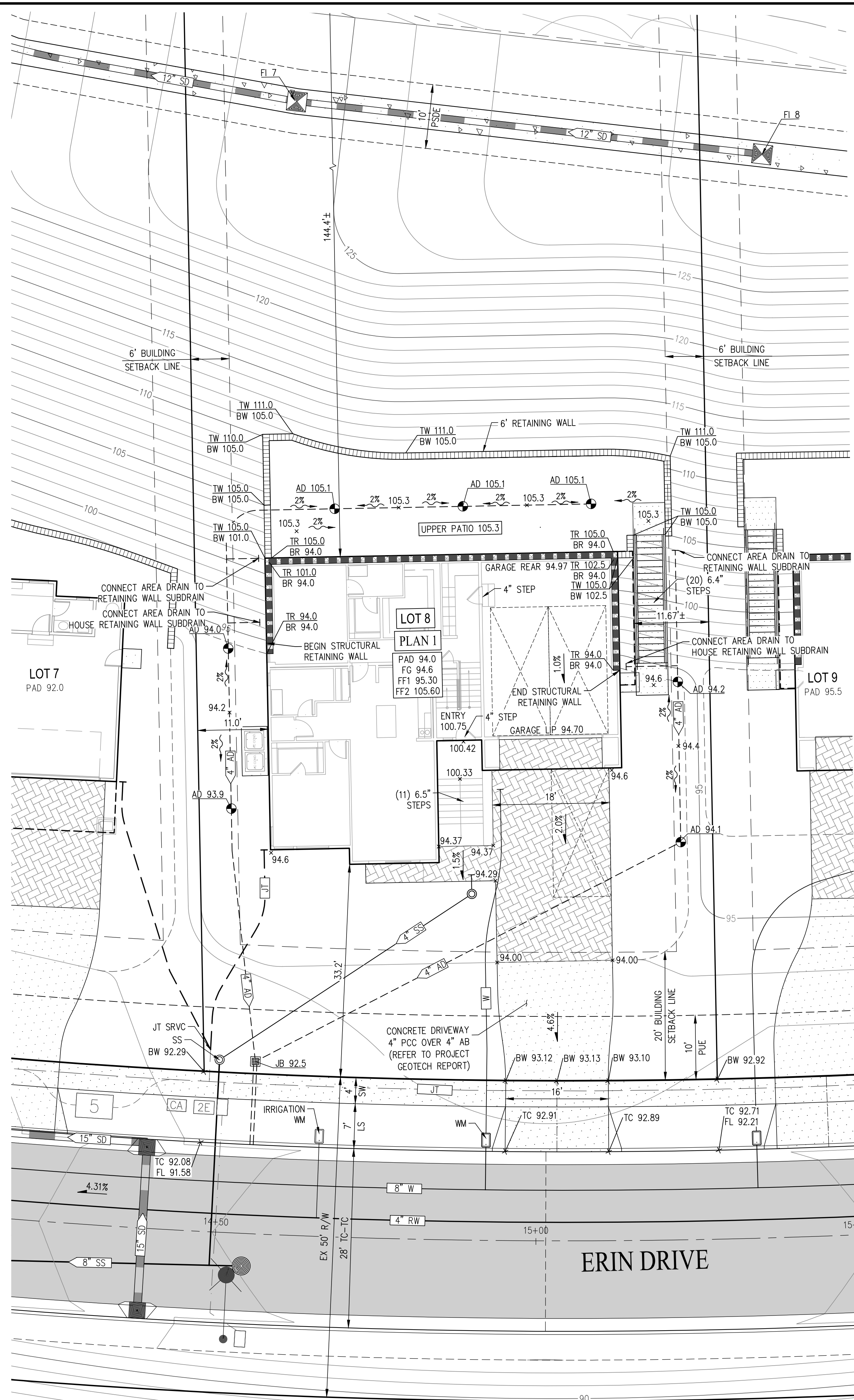
HAZARD ASSESSMENT MATRIX

Hazard Points	1	2	3	4	5	6	7	8	Points
Aspect	NE, E	NW, N	SE, W	S	SW				
Slope		0-10		11-20		21-30		31+	
Fuel 0-30	Specimen Garden	Hardwood	Grass	Mostly Grass	Mostly Brush	Pyrophoric Hardwoods Chaparral	Conifer	Conifer w/brush under story	
Fuel 31-100	Grass, Mostly Grass	Mostly Brush	Grass	Pyrophoric Hardwoods Chaparral	Conifer with brush under story				

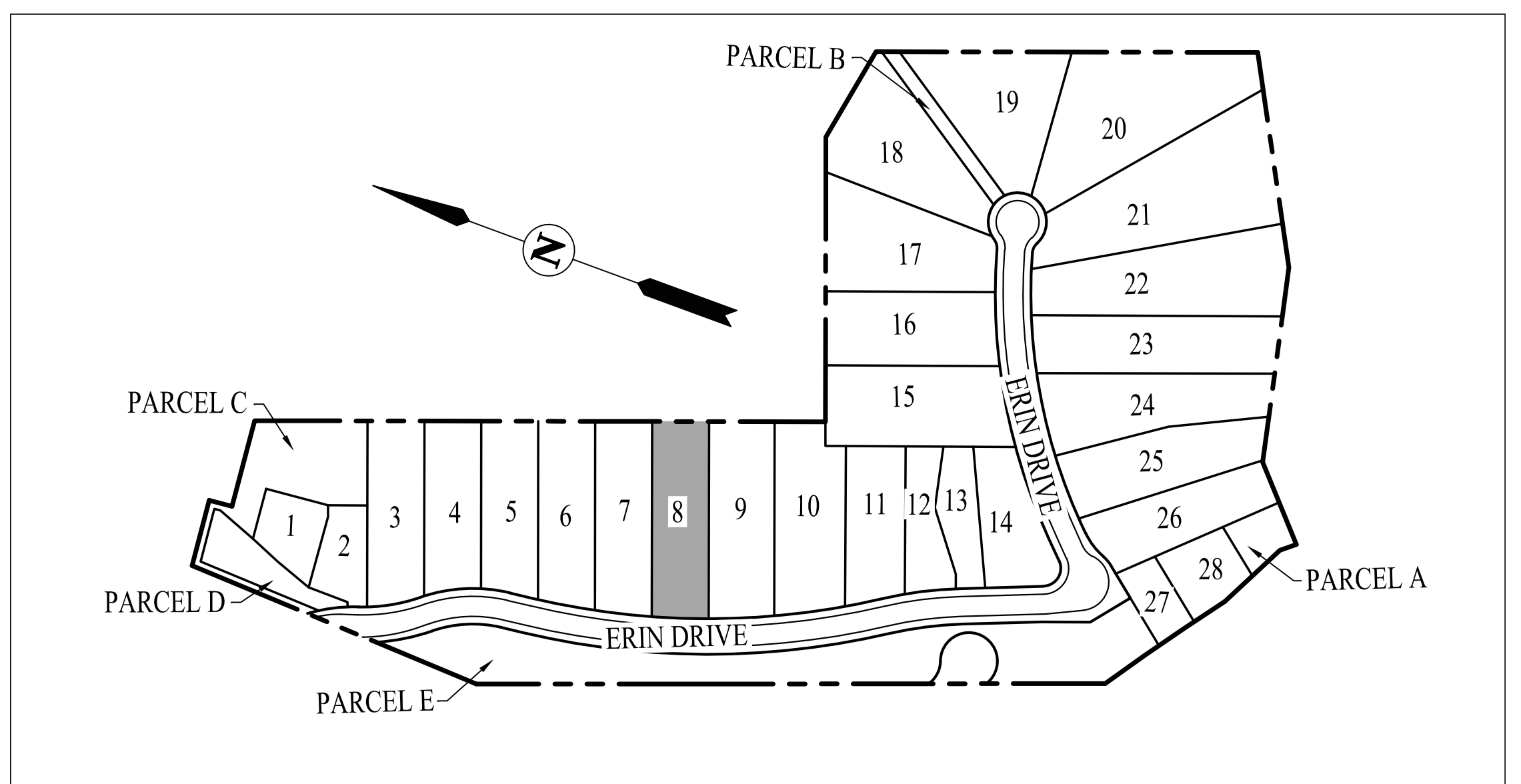
Total Hazard Points: 18

Minimum Horizontal Modification Requirement in Feet: 50x50x100

1 2 3 4 5 6 7	8 9 10 11 12 13 14	15 16 17 18 19 20 21 22 23 24 25 >
30x30x30 ft.	30x30x50 ft	50x50x100 ft.



LOT & EASEMENT PLAN
SCALE: 1" = 40'



INDEX MAP

LEGEND

LOT 12 PLAN 1	LOT NUMBER
---	PLAN TYPE
---	PROJECT BOUNDARY
---	LOT LINE
---	AREA DRAIN
---	JUNCTION BOX & SIDEWALK UNDERDRAIN PER MARIN COUNTY STD DWG 145
SS	SANITARY SEWER SERVICE & CLEANOUT
WM	WATER SERVICE & METER
IRR WM	RECYCLED WATER SERVICE & METER
JT	JOINT TRENCH SERVICE
JT	JOINT TRENCH SERVICE
15" SD	STORM DRAIN
8" SS	SANITARY SEWER
8" W	WATER
4" RW	RECYCLED WATER
JT	JOINT TRENCH
●	FIRE HYDRANT
●	ELECTROLIER & BOX
■	CATCH BASIN
□	FIELD INLET
□	UTILITY BOX
□	PG&E SUBSURFACE TRANSFORMER
2%	SLOPE
~	SWALE
▤	RETAINING WALL/BUILDING STEM WALL
▨	PERVIOUS PAVERS
▩	CONCRETE DRIVEWAY/WALK
○	EX TREE TO REMAIN
□	20' X 9' PARKING SPACE

ABBREVIATIONS

AD	AREA DRAIN
BUD	BUBBLE UP DRAIN
BW	BACK OF SIDEWALK
EP	EDGE OF PAVEMENT
ESMT	EASEMENT
FF	FINISHED FLOOR
FG	FINISHED GROUND
FL	FLOW LINE
GB	GRADE BREAK
GL	GARAGE LIP ELEVATION
GR	GARAGE REAR ELEVATION
INV	INVERT
JB	JUNCTION BOX
JT	JOINT TRENCH
LP/HP	LOW/HIGH POINT
MH	MANHOLE
N-D	NON-DEVELOPABLE
OSE	OPEN SPACE EASEMENT
OS&W	OPEN SPACE & WOODLANDS
PAD	PUBLIC UTILITY EASEMENT
PSDE	PRIVATE STORM DRAIN EASEMENT
PUE	PUBLIC UTILITY EASEMENT
SD	STORM DRAIN
SDE	STORM DRAIN EASEMENT
SRVC	SERVICE
R	REVERSED
SS	SANITARY SEWER
TC	TOP OF CURB
TW/BW	TOP/BOTTOM OF RETAINING WALL
TW/BR	TOP/BOTTOM OF HOUSE RET WALL
GR	TOP OF GRATE
W	WATER

NOTES:

- SEE GRADING AND IMPROVEMENT PLANS FOR DETAILED GRADING DESIGN AND STORM DRAINAGE SYSTEM.
- ALL BUILDING FOUNDATIONS SHALL BE POST-TENSIONED MAT FOUNDATIONS. NO FOUNDATION DRAINS ARE REQUIRED.
- ALL ROOF DRAINS SHALL BE CONNECTED TO THE AREA DRAIN SYSTEM.
- ALL AREA DRAIN PIPE TO BE 4" ADS N-12 AND SLOPED AT 0.50% MINIMUM UNLESS OTHERWISE INDICATED.
- SEE IMPROVEMENT AND JOINT TRENCH PLANS FOR ALL UTILITY INFORMATION.
- GRADING INFORMATION SHOWN ON ADJACENT LOTS IS FOR REFERENCE ONLY.
- ADDITIONAL STEPS MAY BE REQUIRED TO MEET GRADE PER LANDSCAPE PLANS. SEE LANDSCAPE PLANS FOR HANDRAIL LOCATIONS AND DETAILS.
- REFER TO FINAL MAP FOR EASEMENTS.
- ALL DIMENSIONS ARE MEASURED TO PROPERTY LINE OR BUILDING TO BUILDING.
- BENCHMARK USED FOR THIS SURVEY IS NGS J19552 BRASS DISK SET VERTICALLY IN THE MOST EASTERLY COLUMN OF THE FIRST ROW OF COLUMNS NORTH OF THE SOUTHERN ABUTMENT OF THE OVERPASS OF HIGHWAY 101 AT SMITH RANCH ROAD.
- BASIS OF BEARING: FOUND MONUMENTS ON LAS GALLINAS AVE. AT ERIN DRIVE AND ELLEN DRIVE AS SHOWN ON THE "MAP OF MARINWOOD UNIT 6", FILED IN BOOK 10 RM PAGE 17, MARIN COUNTY RECORDS, TAKEN AS N281°08'E, 833.47'.
- TOPOGRAPHIC INFORMATION SHOWN IS BASED UPON A FIELD SURVEY IN CONFORMANCE WITH REQUIREMENTS OF THE SUBDIVISIONS MAP ACT AND LOCAL ORDINANCE AT THE REQUEST OF LUCAS VALLEY-TALLUS, LLC IN APRIL 2019.
- THIS PLAN IS PREPARED TO SHOW THE DIMENSIONAL RELATIONSHIP FROM BUILDING FOUNDATION TO PROPERTY LINE, DESIGN DRAINAGE CONTROL ELEVATIONS, AND DIRECTION OF FLOW TO CONFORM WITH LOCAL ORDINANCE FOR THE PURPOSE OF BUILDING PERMIT ISSUANCE ONLY. INFORMATION SHOWN IS APPROXIMATE EXCEPT FOR THOSE SETBACKS WHICH ARE MINIMUMS REQUIRED BY ORDINANCE OR DIMENSIONS OF RECORD. THIS PLAN DOES NOT REFLECT AS-BUILT CONDITIONS, HOWEVER ALL CONSTRUCTION SHALL BE CONSISTENT WITH COUNTY CODE.

EARTHWORK
CUT: 225CY
FILL: 50CY
NET: 175 CY (CUT)

AVERAGE SLOPE
ACROSS ENTIRE LOT: 18.1%

AREA BREAKDOWN

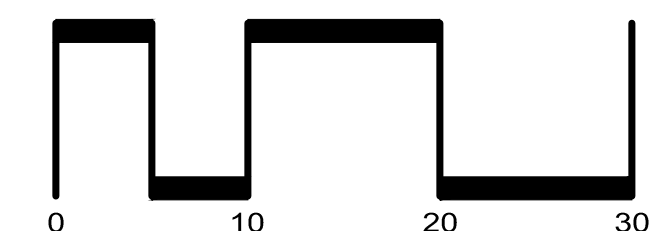
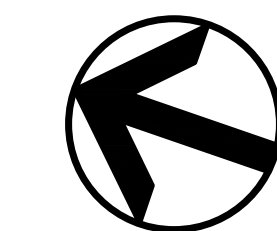
TOTAL LOT AREA:	22,082 SF
EXISTING IMPERVIOUS AREA:	0 SF
EXISTING PERVIOUS AREA:	22,082 SF
PROPOSED IMPERVIOUS AREA:	3,820 SF
PROPOSED PERVIOUS AREA:	18,262 SF

ELECTRICAL CONNECTION
TO HOUSE TO BE UNDERGROUND

PRELIMINARY GRADING, DRAINAGE, UTILITY, AND SITE PLAN
RM 2022-208 - LOT 8 - 31 ERIN DRIVE
LEGACY AT LUCAS VALLEY

MARIN COUNTY CALIFORNIA
SCALE: 1"=10' DATE: APRIL 20, 2023

APN 164-650-008



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