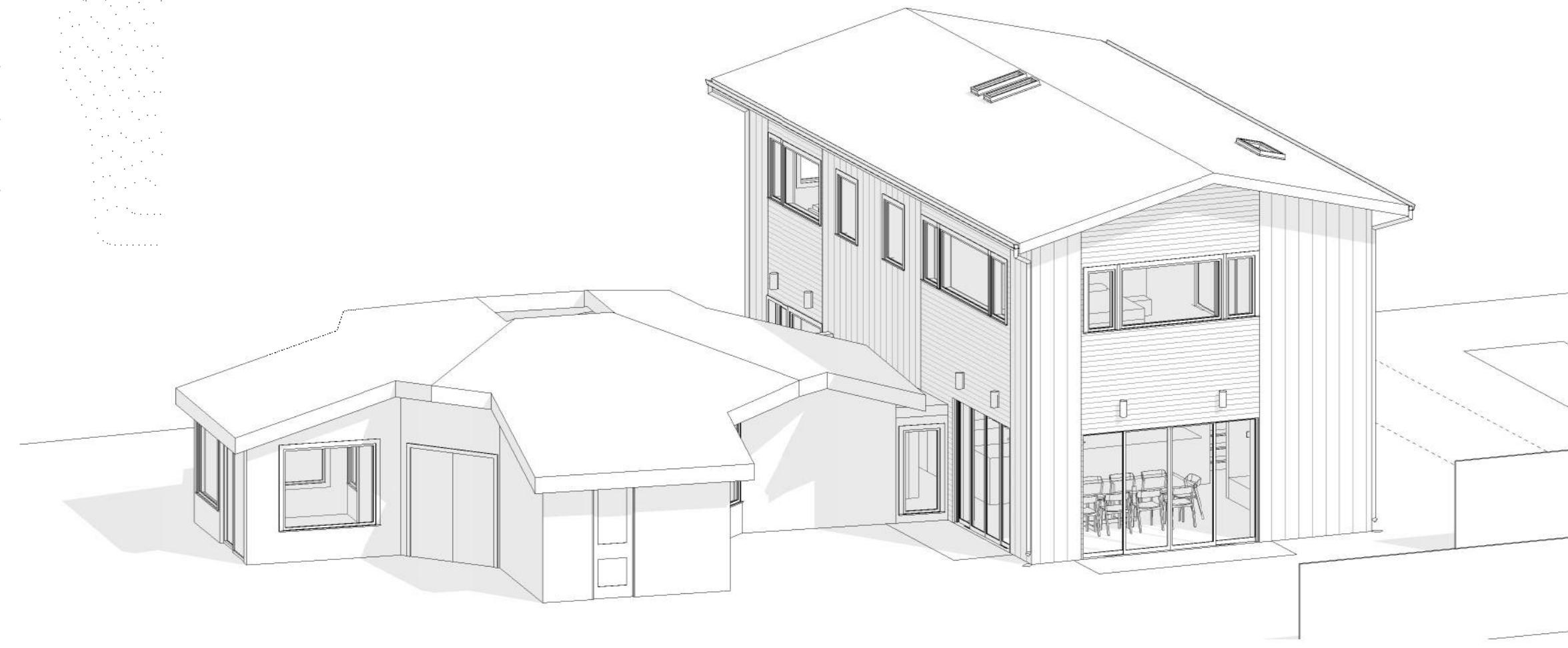


- GENERAL NOTES**
- ANY ERRORS, OMISSIONS, OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
 - THE GENERAL CONTRACTOR AND ANY SUBCONTRACTORS SHALL IMMEDIATELY EXAMINE THE SITE AND PORTIONS THEREOF WHICH WILL AFFECT THIS WORK. CONTRACTORS SHALL COMPARE IT WITH THE DRAWINGS AND SATISFY THEMSELVES AS TO CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. THE GENERAL CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN LOCATIONS OF ANY AND ALL MECHANICAL, TELEPHONE, ELECTRICAL, PLUMBING (TO INCLUDE ALL PIPING, DUCT WORK, AND CONDUIT) AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF ABOVE EQUIPMENT ARE PROVIDED. EXPOSED OR CONCEALED ELEMENTS SHALL BE DETERMINED AND REVIEWED WITH ARCHITECT PRIOR TO CONSTRUCTION PROCEEDING.
 - WRITTEN DIMENSIONS TAKE PRECEDENCE. DO NOT SCALE DRAWINGS. DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS.
 - ALL DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED. DIMENSIONS NOTED AS "CLR" OR "CLEAR" ARE TO BE MAINTAINED AT MINIMUM. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT ARCHITECT'S APPROVAL UNLESS OTHERWISE NOTED.
 - ALL DIMENSIONS NOTED AS "V.L.F." ARE TO BE CHECKED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. IMMEDIATELY REPORT ANY DISCREPANCIES TO THE ARCHITECT.
 - ALL DIMENSIONS, NOTES, AND DETAILS SHOWN ON ONE PORTION OF THE DRAWING SHALL APPLY TYPICALLY TO ALL OPPOSITE HAND AND/OR SIMILAR CONDITIONS UNLESS OTHERWISE NOTED.
 - VERIFY ALL EQUIPMENT SIZES BEFORE BEGINNING WORK.
 - COORDINATE LOCATION- AND PROVIDE BLOCKING, BACKING, AND/OR REINFORCEMENTS IN PARTITIONS FOR ALL CABINETS, COUNTERTOPS, AND ANY WALL-MOUNTED OR CEILING-MOUNTED ITEMS. REFER TO ELEVATIONS AND DETAILS FOR LOCATIONS OF WALL STANDARDS AND OTHER SUPPORTS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY FRAMING, BRACING, AND STRUCTURING ALL WALL, BULKHEAD, AND OTHER DRYWALL CONSTRUCTION IN ACCORDANCE WITH APPLICABLE TYPICAL DETAILS CONTAINED IN THE DRAWINGS WHETHER OR NOT SPECIFICALLY REFERENCED IN THE PLANS.
 - ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH SHALL INCLUDE THE OUTLINE SPECIFICATIONS, THE DRAWINGS, AND ALL ADDENDA AND MODIFICATIONS ISSUED BY THE ARCHITECT.
 - GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SAFETY.
 - GRID LINES AND COLUMN CENTER LINES ARE SHOWN FOR REFERENCE ONLY. VERIFY EXACT LOCATION IN FIELD.
 - FEATURES OF CONSTRUCTION NOT FULLY SHOWN SHALL BE OF THE SAME CHARACTER AS SHOWN FOR SIMILAR CONDITIONS.
 - "TYPICAL" OR "TYP." SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS OTHERWISE NOTED.
 - "SIMILAR" OR "SIM." MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED. VERIFY DIMENSIONS, ORIENTATION, AND CONDITIONS ON PLANS AND ELEVATIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR APPLYING AND OBTAINING ALL REQUIRED INSPECTIONS TO CONFORM WITH LOCAL BUILDING AND FIRE CODES.
 - PROVIDE AND INSTALL 2x FLAT WOOD BLOCKING FOR ALL BATH ACCESSORIES, HANDRAILS, CABINETS, TOWEL BARS, WALL MOUNTED FIXTURES AND ANY OTHER ITEMS ATTACHED TO WALLS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION BETWEEN ARCHITECTURAL, STRUCTURAL, LANDSCAPE, CIVIL, MECHANICAL, PLUMBING, ELECTRICAL, AND FIRE PROTECTION. THIS INCLUDES REVIEWING REQUIREMENTS OF INDIVIDUAL SYSTEMS BEFORE ORDERING AND INSTALLATION OF ANY WORK. VERIFY ALL ARCHITECTURAL DETAILS AND ALL FINISH CONDITIONS (WHETHER DEPICTED IN DRAWINGS OR NOT) WITH SAME DISCIPLINES.
 - PROVIDE FIRE-BLOCKING @ ALL CONCEALED DRAFT OPENINGS (VERTICAL & HORIZONTAL). AS PER 2013 CBC 717 & R302.11, FIRE-BLOCKING SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS:
 - IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND HORIZONTALLY AT MIN. 10FOOT INTERVALS.
 - IN CONCEALED INTERCONNECTIONS SUCH AS SOFFITS, DROP CEILINGS, COVE CEILINGS.
 - IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN.
 - IN OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES, AND WIRES AT CEILING & FLOOR LEVEL WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME & PRODUCTS OF COMBUSTION.
 - DWELLING IS LOCATED WITHIN A WILDLAND URBAN INTERFACE AREA.

216 RAILROAD AVE ADDITION

SITE PLAN REVIEW



OWNER-BUILDER BRENT KANBAYASHI 216 RAILROAD AVE WOODACRE, CA 94973 415.378.8648 bkanbayashi@gmail.com	ARCHITECT DANNY BITTIKER 8 LANDERS ST, UNIT 203 SAN FRANCISCO, CA 94114 415.828.7782 danny@bittiker.com	STRUCTURAL ENGINEER MICHAEL HORN, P.E. 1406 32ND AVENUE SAN FRANCISCO, CA, 94122 415.713.8087 horn@hornpisano.com	ENVIRONMENTAL ENGINEER NOA ECKMAN 100 SHORELINE, BLDG. B SUITE 100 MILL VALLEY, CA 94941 415-895-0364 info@eckmanenvironmental.com
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PROJECT SCOPE
DEMOLISH EXISTING GARAGE AND REPLACE WITH NEW 2,026 SQUARE FOOT 2 STORY HORIZONTAL ADDITION

PROJECT INFORMATION
ADDRESS: 216 RAILROAD AVE, WOODACRE, CA 94973
OCCUPANCY CODE: R-3
ZONING: R1-B2-SGV
JURISDICTION: UNINCORPORATED
BUILDING USE: SINGLE FAMILY DWELLING
PARCEL NUMBER: 172-091-39
LOT SIZE: 19,407 SF
EXISTING SQUARE FOOTAGE: 864 SF
PROPOSED SQUARE FOOTAGE: 2,890 SF
TYPE OF CONSTRUCTION: TYPE V (WOOD)
EXISTING NUMBER OF STORIES: 1
PROPOSED NUMBER OF STORIES: 2
FIRE SPRINKLER: NO
EXISTING NUMBER OF UNITS: 1
PROPOSED NUMBER OF UNITS: 1
TYPE OF WORK: HORIZONTAL ADDITION

AREA SCHEDULE	
Name	Area
LEVEL 1 - (E) TO REMAIN	864 SF
LEVEL 1 - NEW	1041 SF
LEVEL 2 - NEW	985 SF
	2890 SF

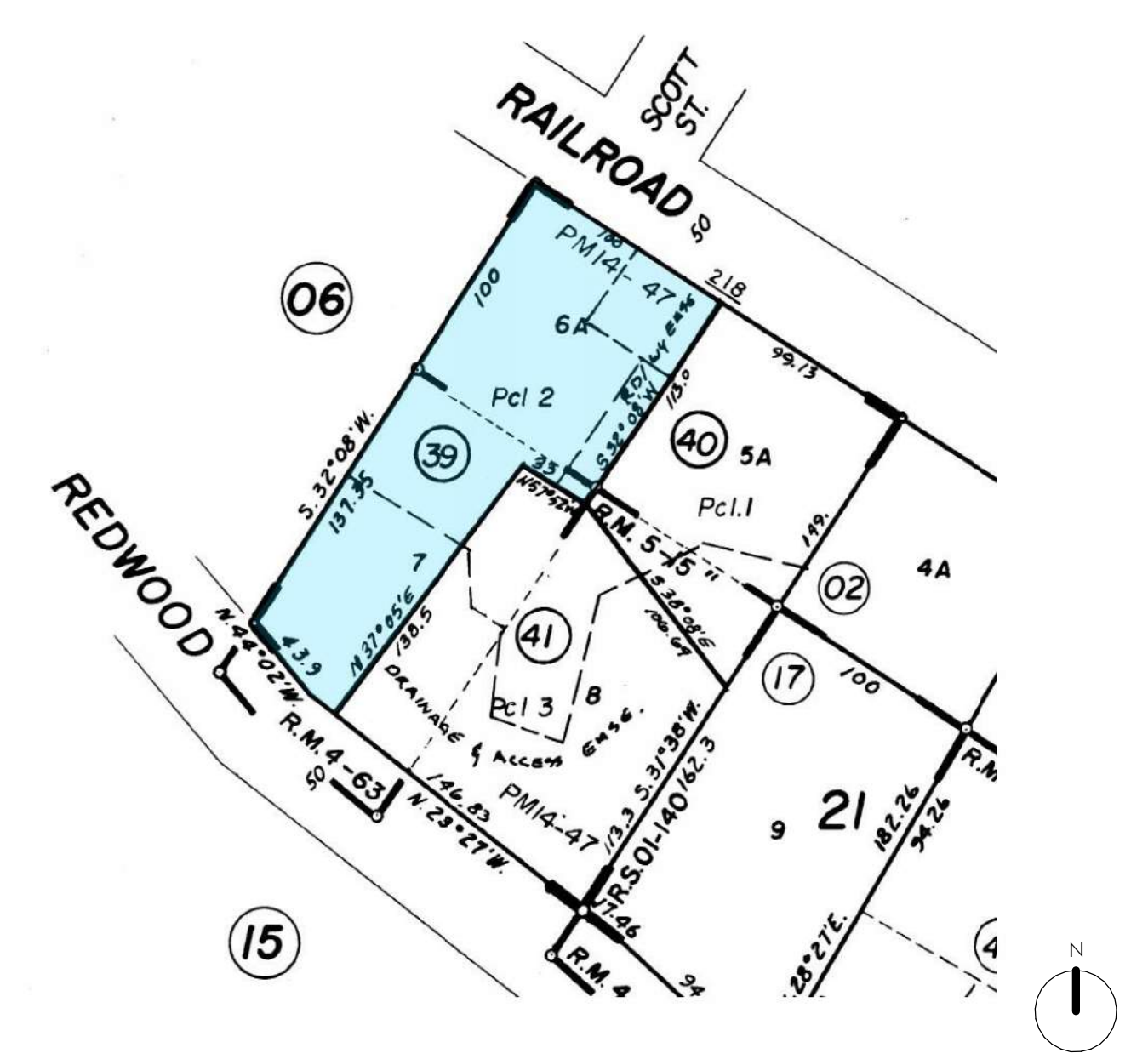
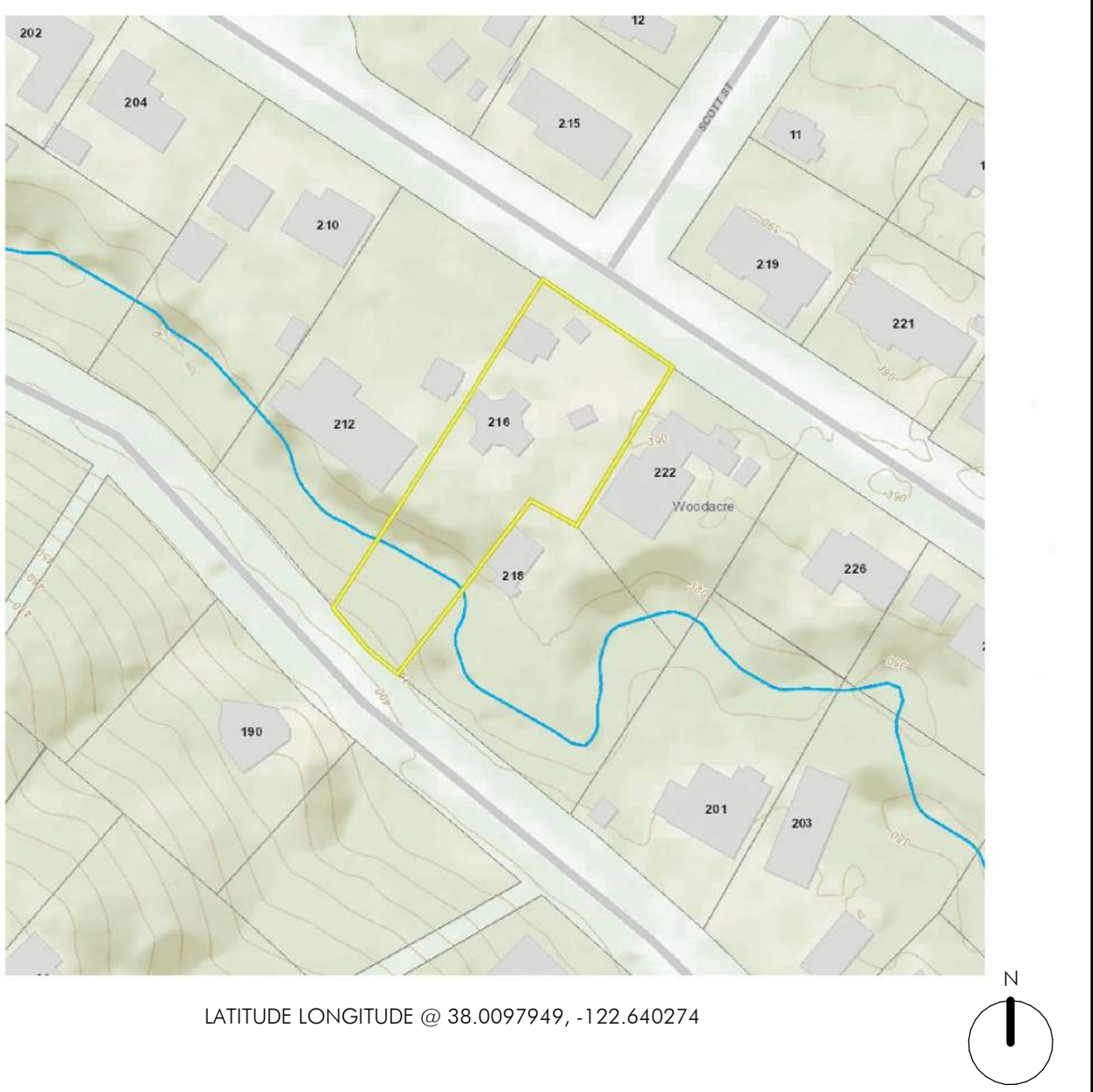
PROJECT DIRECTORY 6 **PROJECT INFORMATION** 3

ACT ACOUSTIC CEILING TILE	EA EACH	MAX MAXIMUM	SIM SIMILAR
AD AREA DRAIN	EJ EXPANSION JOINT	MECH MECHANICAL	SPEC SPECIFIED OR SPECIFICATION
AFF ABOVE FINISHED FLOOR	EL ELEVATION	MEMB MEMBRANE	SPK SPRINKLER OR SPEAKER
ALUM ALUMINUM	ELEC ELECTRICAL	MIN MINIMUM	SSTL STAINLESS STEEL
ANOD ANODIZED	ELEV ELEVATOR OR ELEVATION	MTL METAL	STC SOUND TRANSMISSION COEFFICIENT
BSMT BASEMENT	EQ EQUAL	NIC NOT IN CONTRACT	STL STEEL
BYND BEYOND	EXT EXTERIOR	NO NUMBER	STRUC STRUCTURE OR STRUCTURAL
BOT BOTTOM	FD FLOOR DRAIN OR FIRE DEPARTMENT	NOM NOMINAL	T&G TONGUE AND GROOVE
CIP CAST IN PLACE	FEC FIRE EXTINGUISHER CABINET	OC ON CENTER	TELE TELEPHONE
CHNL CHANNEL	FIXT FIXTURE	OH OVERHANG OR OPPOSITE HAND	TILT TOILET
CLG CEILING	FLR FLOOR	OPP OPPOSITE OR OPPOSITE HAND	TME TO MATCH EXISTING
CLR CLEAR	FO FACE OF	OZ OUNCE	TO TOP OF
CMU CONCRETE MASONRY UNIT	FND FOUNDATION	PCC PRE-CAST CONCRETE	TOC TOP OF CONCRETE
COL COLUMN	GA GAUGE	PLUMB PLUMBING	TOS TOP OF STEEL
CONC CONCRETE	GALV GALVANIZED	PLYD PLYWOOD	TPD TOILET PAPER DISPENSER
CONT CONTINUOUS	GWB GYPSUM WALL BOARD	PT PRESSURE TREATED	T/D TELEPHONE/DATA
CPT CARPET	HC HOLLOW CORE	PNT PAINT OR PAINTED	TYP TYPICAL
CT CERAMIC TILE	HM HOLLOW METAL	PVC POLYVINYL CHLORIDE	UNO UNLESS NOTED OTHERWISE
DBL DOUBLE	HP HIGH POINT	RBR RUBBER	US UNDERSIDE
DEMO DEMOLISH OR DEMOLITION	HR HOUR	RCP REFLECTED CEILING PLAN	VIF VERIFY IN FIELD
DIA DIAMETER	ILO IN LIEU OF	RD ROOF DRAIN	VP VISION PANEL
DIMS DIMENSIONS	INSUL INSULATED OR INSULATION	REQD REQUIRED	W/ WITH
DN DOWN	INT INTERIOR	RM ROOM	WD WOOD

APPLICABLE CODES
2022 CALIFORNIA RESIDENTIAL CODE
2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA ENERGY CODE (TITLE 24)
2022 CALIFORNIA FIRE CODE
2022 CALIFORNIA GREEN CODE
ALL OTHER APPLICABLE STATE AND LOCAL CODES AND ORDINANCES.

IN THE EVENT OF CONFLICTS IN CODE REQUIREMENTS, THE MOST STRINGENT REQUIREMENTS SHALL APPLY. ANY CONFLICTS BETWEEN THE CONSTRUCTION DOCUMENTS AND THE ABOVE LISTED CODES AND ORDINANCES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND OWNER FOR RESOLUTION BEFORE COMMENCING WITH THE WORK.

LIST OF COMMONLY USED ABBREVIATIONS 5 **APPLICABLE CODES** 2



SITE PLAN REVIEW - SHEET INDEX

- A000 COVER SHEET
- A100 CIVIL SURVEY
- A101 SEPTIC PLAN
- A102 SITE PLAN
- A103 GRADING AND DRAINAGE PLAN
- A202 LEVEL 1 FLOOR PLANS
- A203 LEVEL 2 FLOOR PLANS
- A210 ENLARGED PLANS AT ADDITION
- A211 ROOF PLAN
- A301 EXTERIOR ELEVATIONS - EAST
- A302 EXTERIOR ELEVATIONS - NORTH
- A303 EXTERIOR ELEVATIONS - WEST
- A304 EXTERIOR ELEVATIONS - SOUTH
- A401 SECTION
- A410 AXONOMETRIC DRAWINGS

GENERAL NOTES 11 **VICINITY MAP** 10 **BLOCK MAP** 7 **SHEET INDEX** 1

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415.828.7782

#	DATE	ISSUE
	06/05/2024	SITE PLAN REVIEW
	06/11/2024	SITE PLAN REVIEW R1

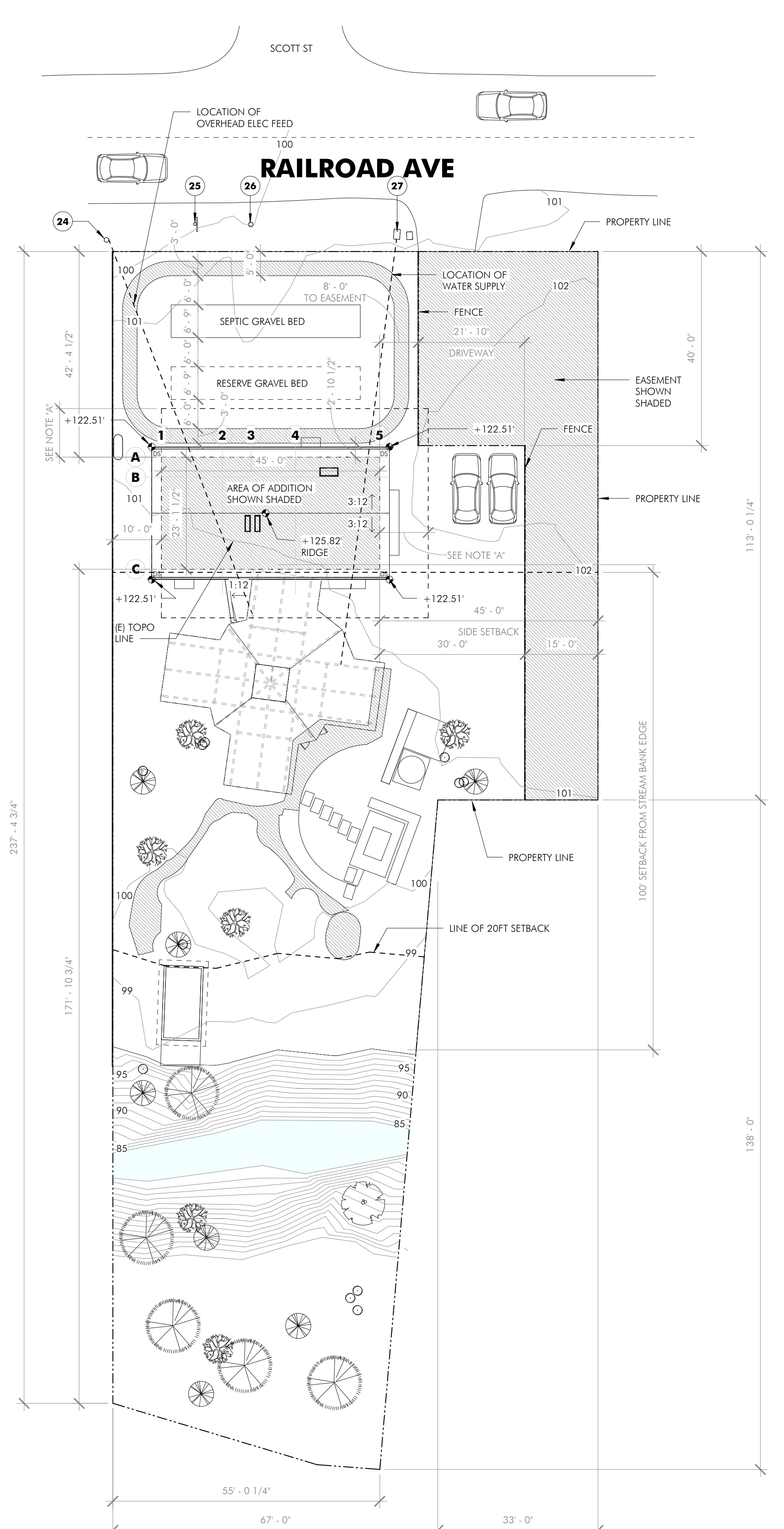
KANBAYASHI ADDITION
216 RAILROAD AVE
WOODACRE, CA 94973

APN: 172-091-39

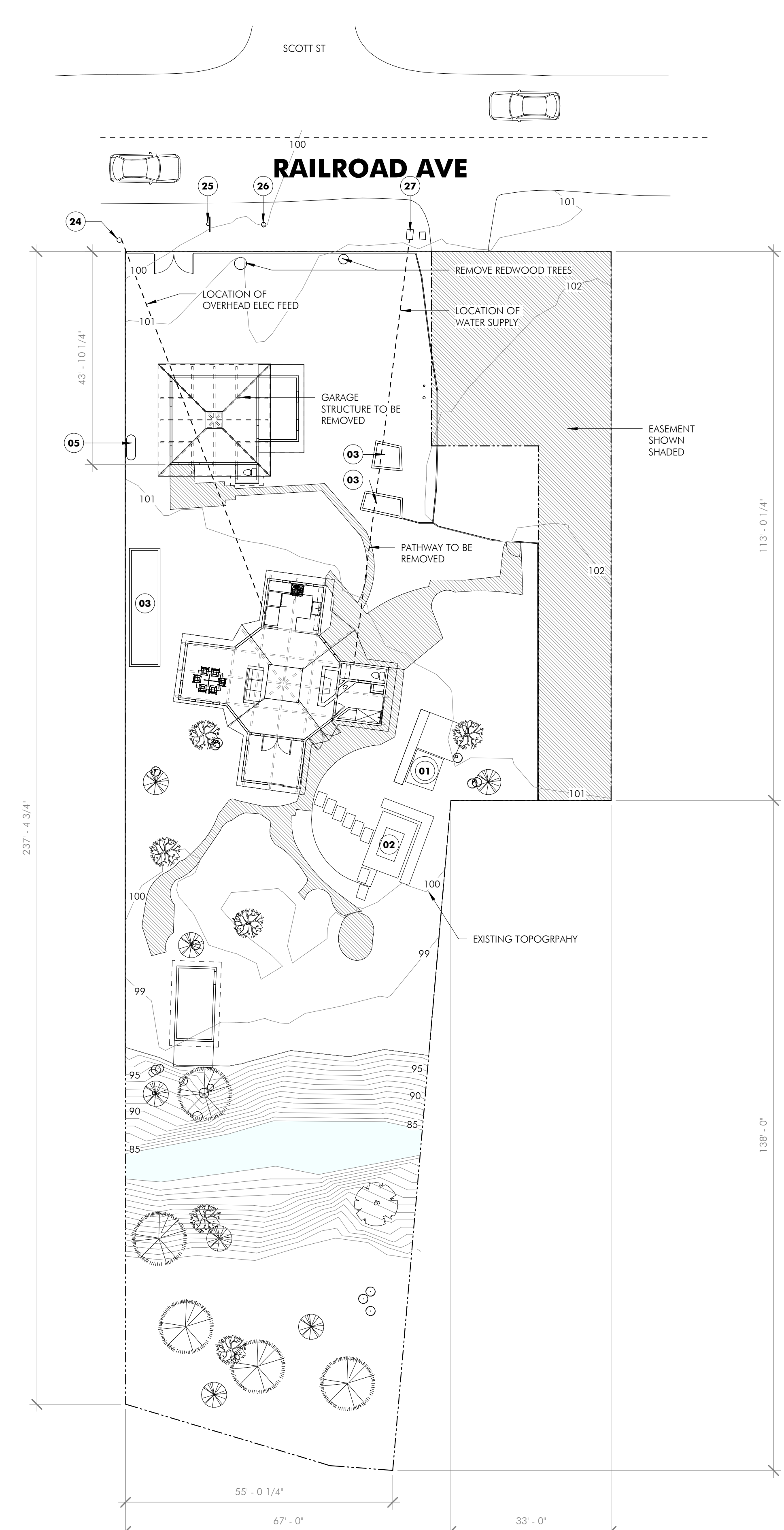


DRAWING TITLE
COVER SHEET

A000



SITE PLAN - PROPOSED
1/16" = 1'-0" **2**



LATITUDE LONGITUDE @ 38.0097949, -122.640274

SITE PLAN - EXISTING
1/16" = 1'-0" **1**

- KEY NOTES**
- 01 JACUZZI
 - 02 DECK SEATING AREA
 - 03 STORAGE SHED TO BE REMOVED
 - 05 PROPANE TANK
 - 24 JOINT POWER POLE
 - 25 STOP SIGN
 - 26 FIRE HYDRANT
 - 27 WATER SUPPLY LINE ACCESS

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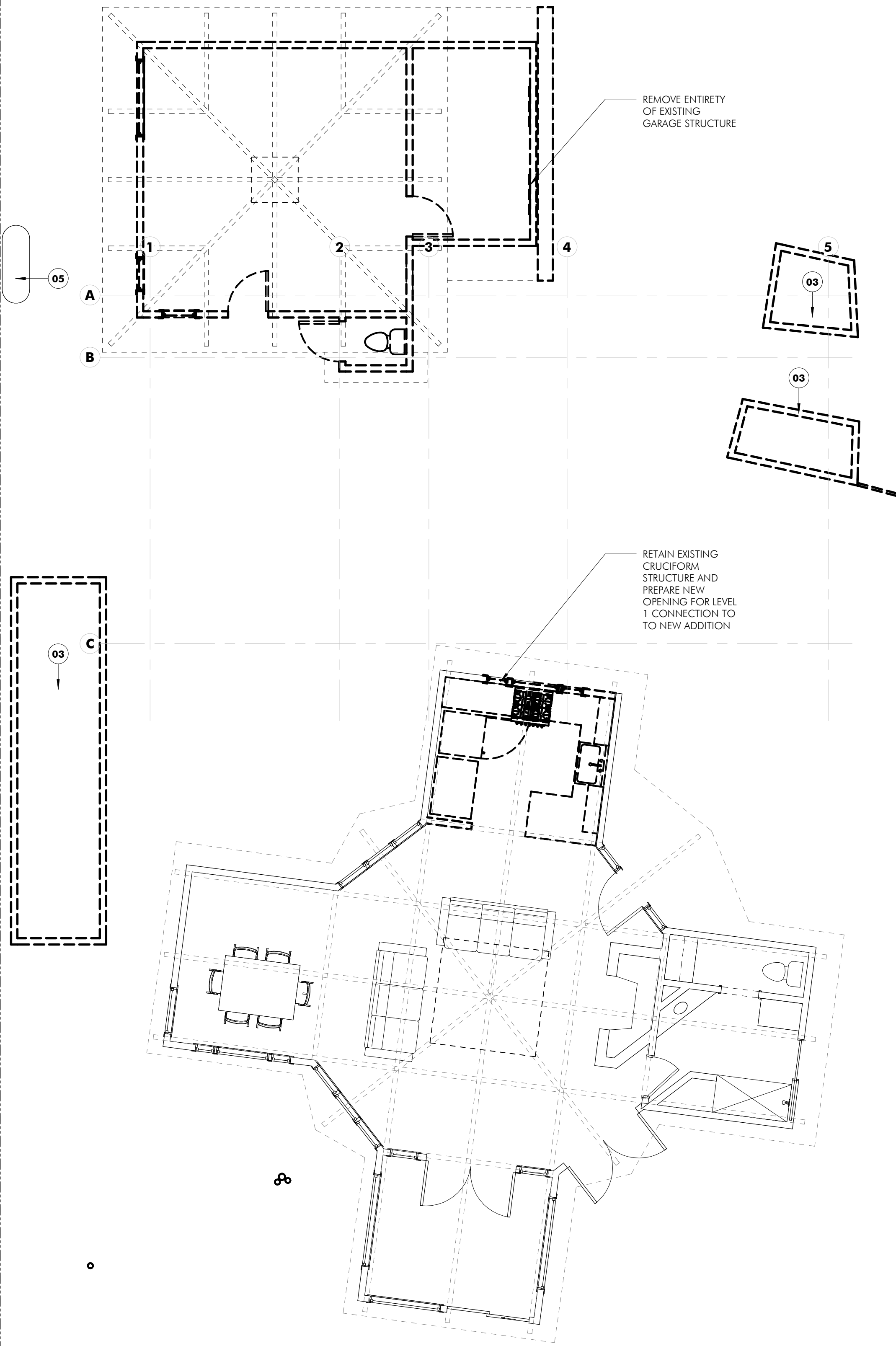
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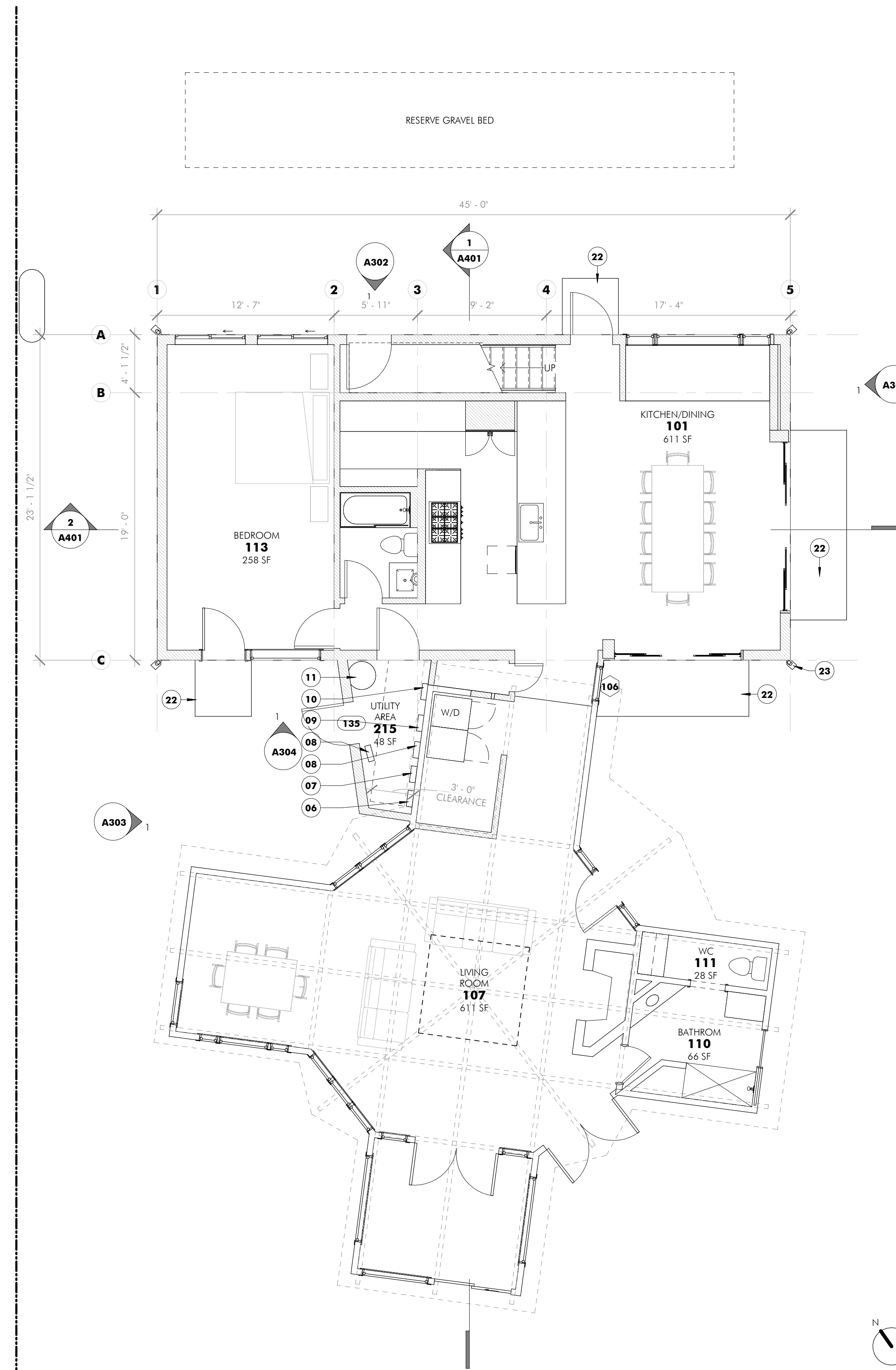


DRAWING TITLE
SITE PLAN

A102



DEMOLITION PLAN - LEVEL 1
3/16" = 1'-0" **1**



NEW FLOOR PLAN - LEVEL 1
3/16" = 1'-0" **2**

KEY NOTES

- 03 STORAGE SHED TO BE REMOVED
- 05 PROPANE TANK
- 06 EXISTING ELECTRICAL PANEL
- 07 EXISTING ELECTRICAL SHUTOFF
- 08 SOLAR PANEL TRANSFORMER
- 09 WATER SHUTOFF
- 10 EXISTING TANKLESS GAS WATER HEATER
- 11 NEW WATER HEATER
- 22 AT EACH NEW EXTERIOR DOOR, MAINTAIN A MINIMUM HEIGHT OF 1.5 INCHES FROM DOOR THRESHOLD TO NEW CONCRETE LANDING SURFACE. PROVIDE 36 INCH CONCRETE LANDING AT EACH EXTERIOR DOOR IN DIRECTION OF TRAVEL PER CRC R312.
- 23 PROVIDE PREFABRICATED SPLASH BLOCK AT EACH OF THE FOUR DOWNSPOUTS TO DIRECT WATER AWAY FROM FOUNDATION

AREA SCHEDULE	
Name	Area
LEVEL 1 - (E) TO REMAIN	864 SF
LEVEL 1 - NEW	1041 SF
LEVEL 2 - NEW	985 SF
	2890 SF

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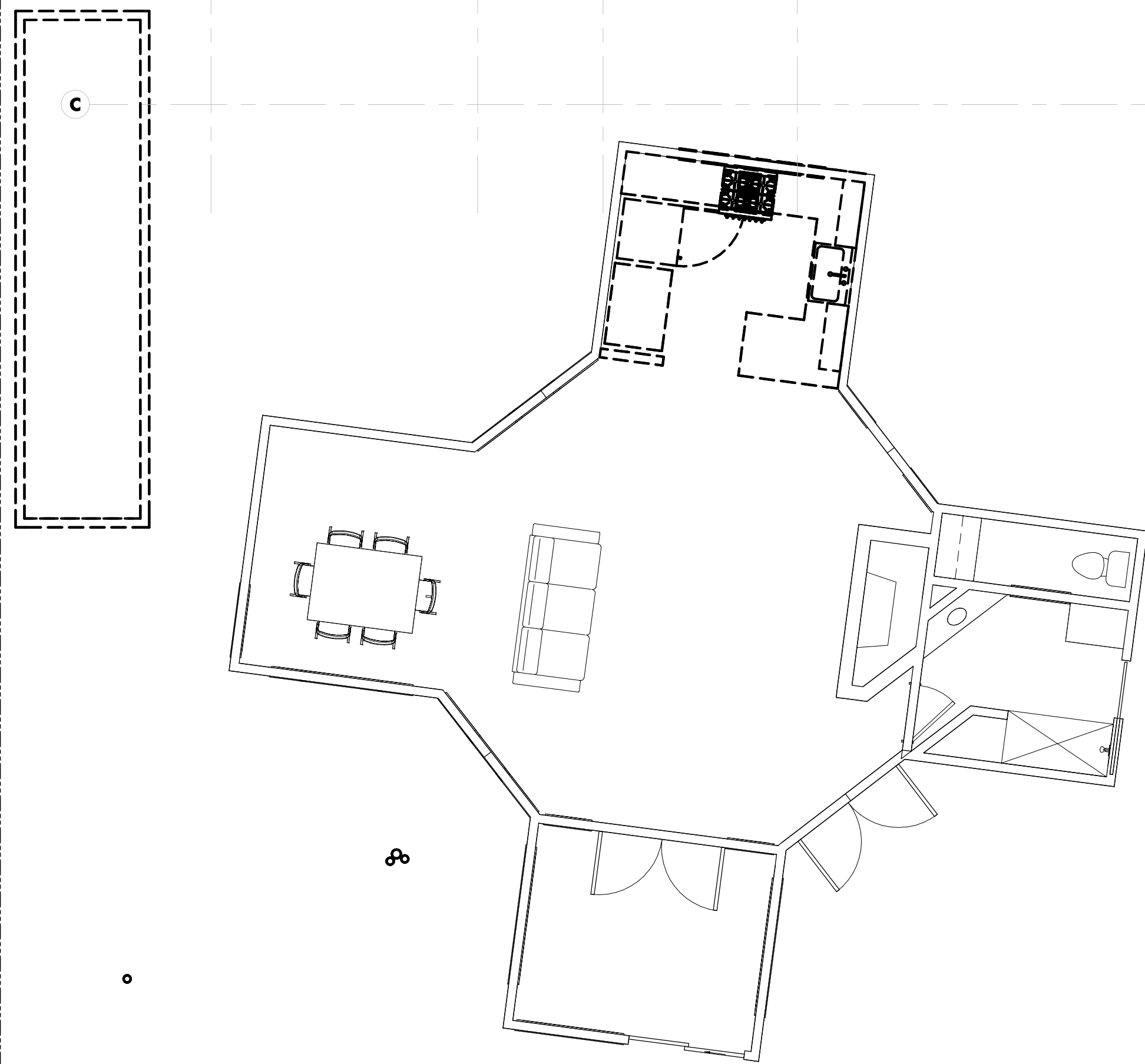
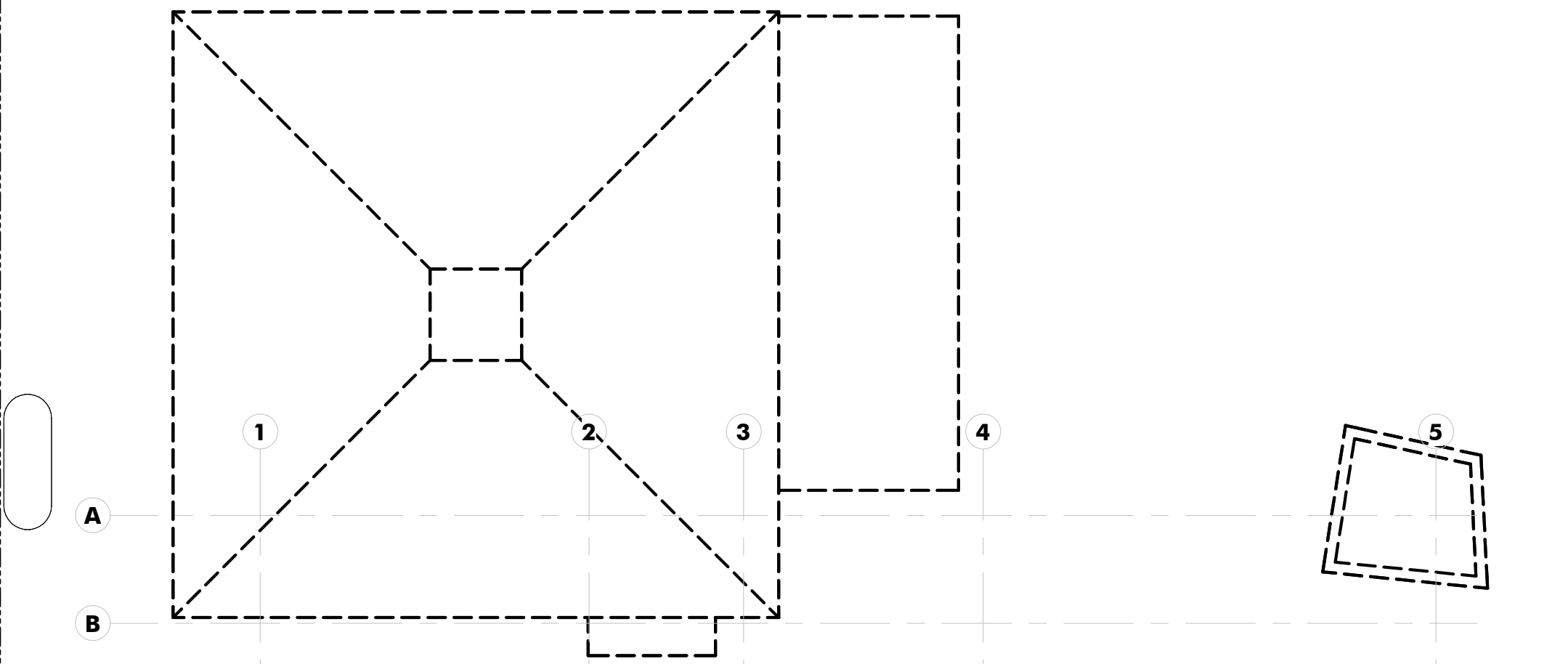
KANBAYASHI ADDITION
216 RAILROAD AVE
WOODACRE, CA 94973

APN: 172-091-39

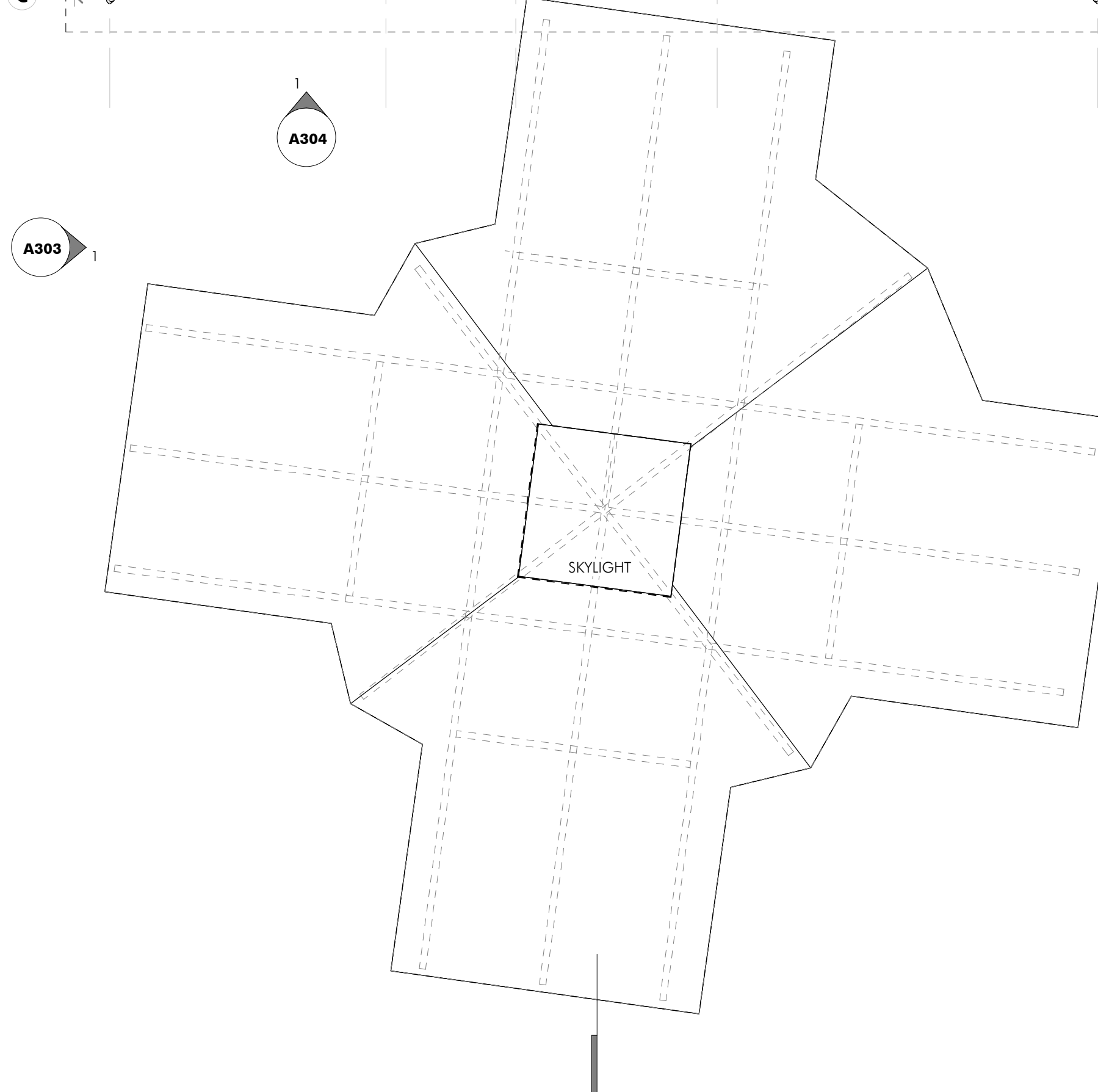
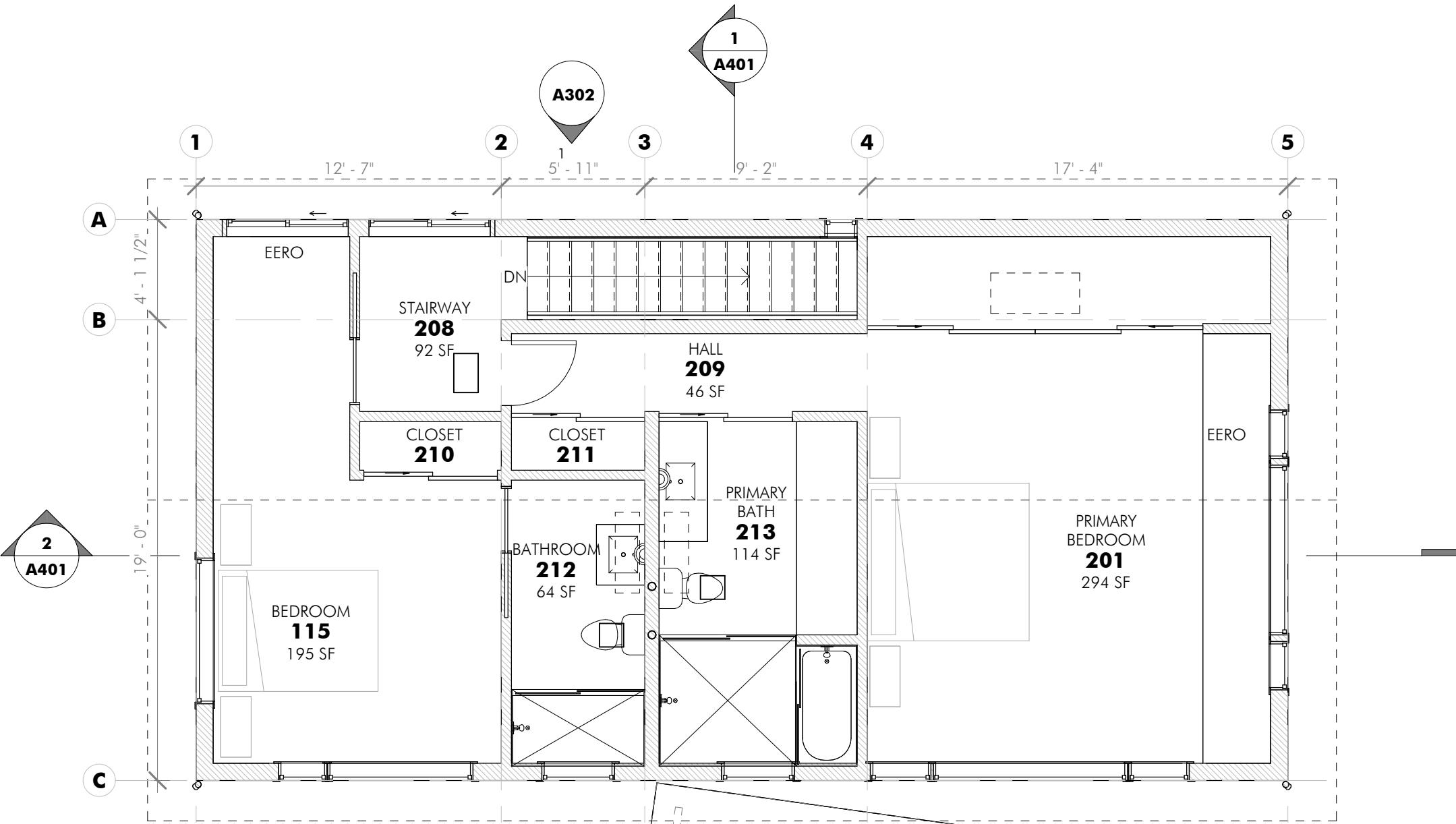


DRAWING TITLE
LEVEL 1 FLOOR PLANS

A202



DEMOLITION PLAN - LEVEL 2
3/16" = 1'-0" **2**



NEW FLOOR PLAN - LEVEL 2
3/16" = 1'-0" **1**

KEY NOTES

AREA SCHEDULE	
Name	Area
LEVEL 1 - (E) TO REMAIN	864 SF
LEVEL 1 - NEW	1041 SF
LEVEL 2 - NEW	985 SF
	2890 SF

WALL LEGEND	
	EXISTING WALL TO BE REMOVED
	EXISTING WALL TO REMAIN
	NEW WALL

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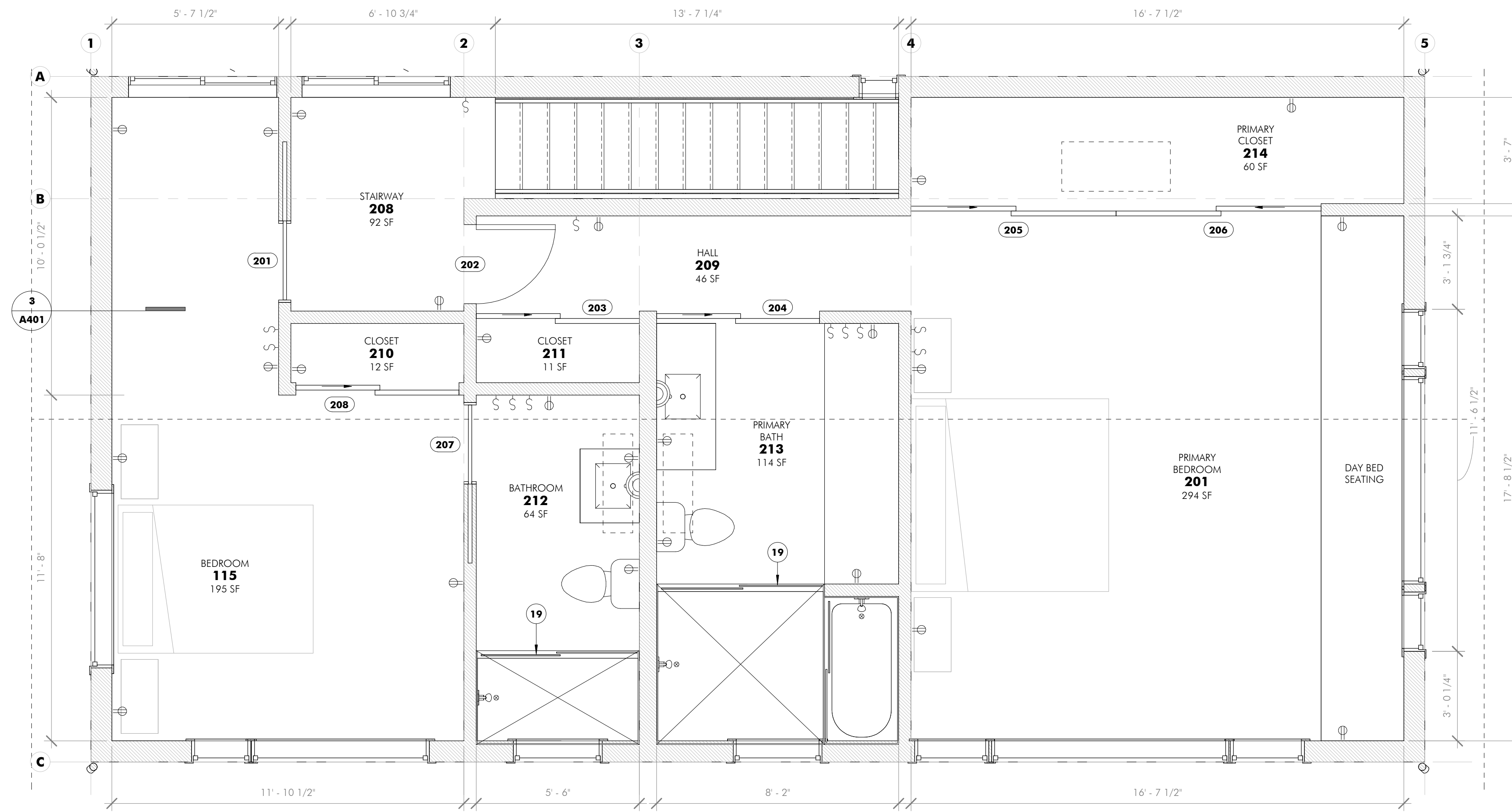
KANBAYASHI ADDITION
216 RAILROAD AVE
WOODACRE, CA 94973

APN: 172-091-39

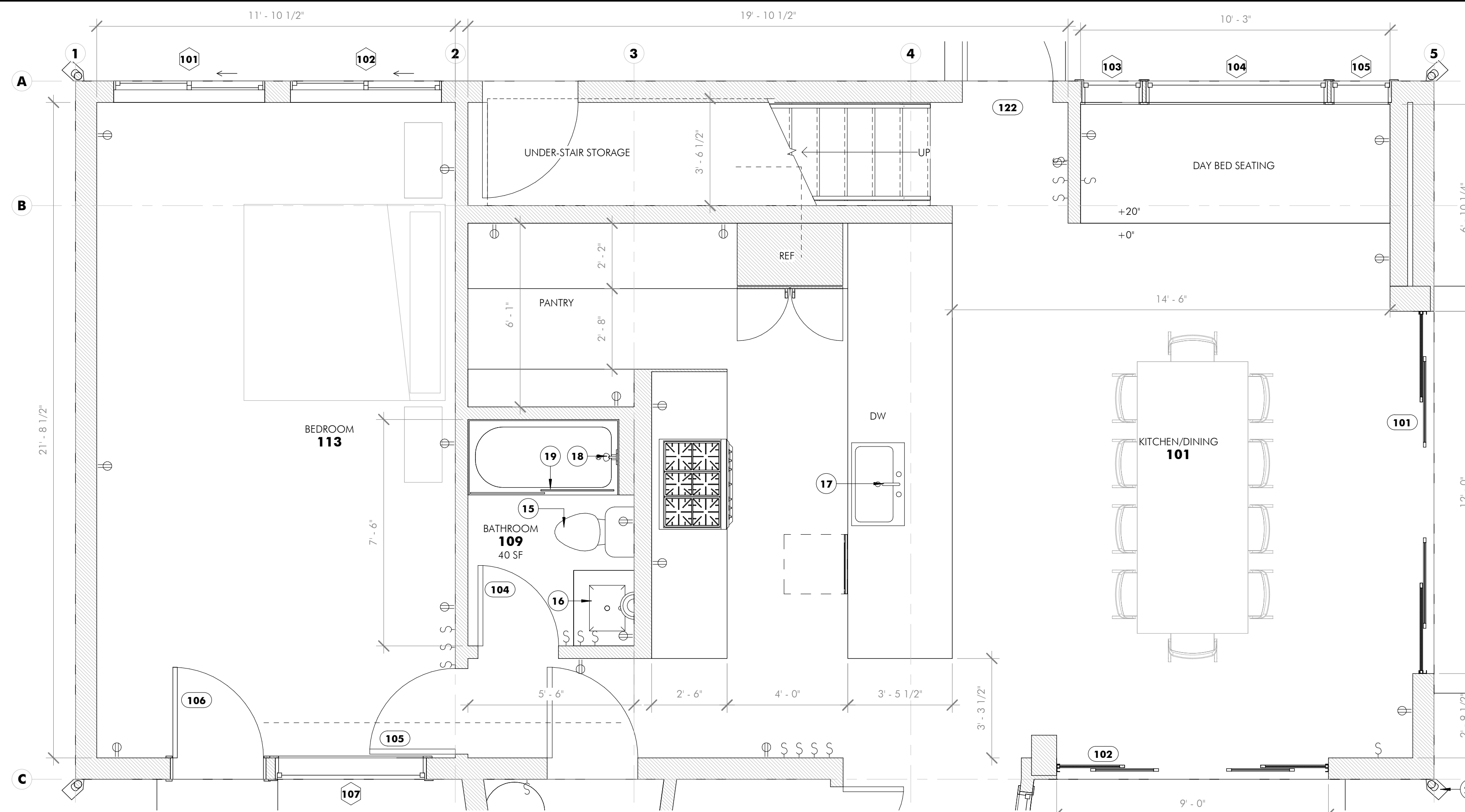


DRAWING TITLE
LEVEL 2 FLOOR PLANS

A203



ENLARGED PLAN AT LEVEL 2
3/8" = 1'-0" 2



ENLARGED PLAN AT LEVEL 1
3/8" = 1'-0" 1

KEY NOTES

- 15 MAXIMUM FLUSH VOLUME OF 1.28 GALLONS FOR ALL TOILETS PER 2022 CPC
- 16 MAXIMUM FLOW RATE OF 1.2GPM AT 60PSI AT ALL BATH FAUCETS PER 2022 CPC
- 17 MAXIMUM FLOW RATE OF 1.8GPM AT 60PSI AT ALL KITCHEN FAUCETS PER 2022 CPC
- 18 MAXIMUM FLOW RATE OF 1.8GPM AT 80PSI AT ALL SHOWER HEADS PER 2022 CPC
- 19 SHOWER DOORS AND PARTITIONS SHALL BE TEMPERED OR SAFETY GLASS, AND SHALL BE PROPERLY SUPPORTED ON ALL EDGES.
- 23 PROVIDE PREFABRICATED SPLASH BLOCK AT EACH OF THE FOUR DOWNSPOUTS TO DIRECT WATER AWAY FROM FOUNDATION

BITTIKER ARCHITECTURE

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KANBAYASHI ADDITION
 216 RAILROAD AVE
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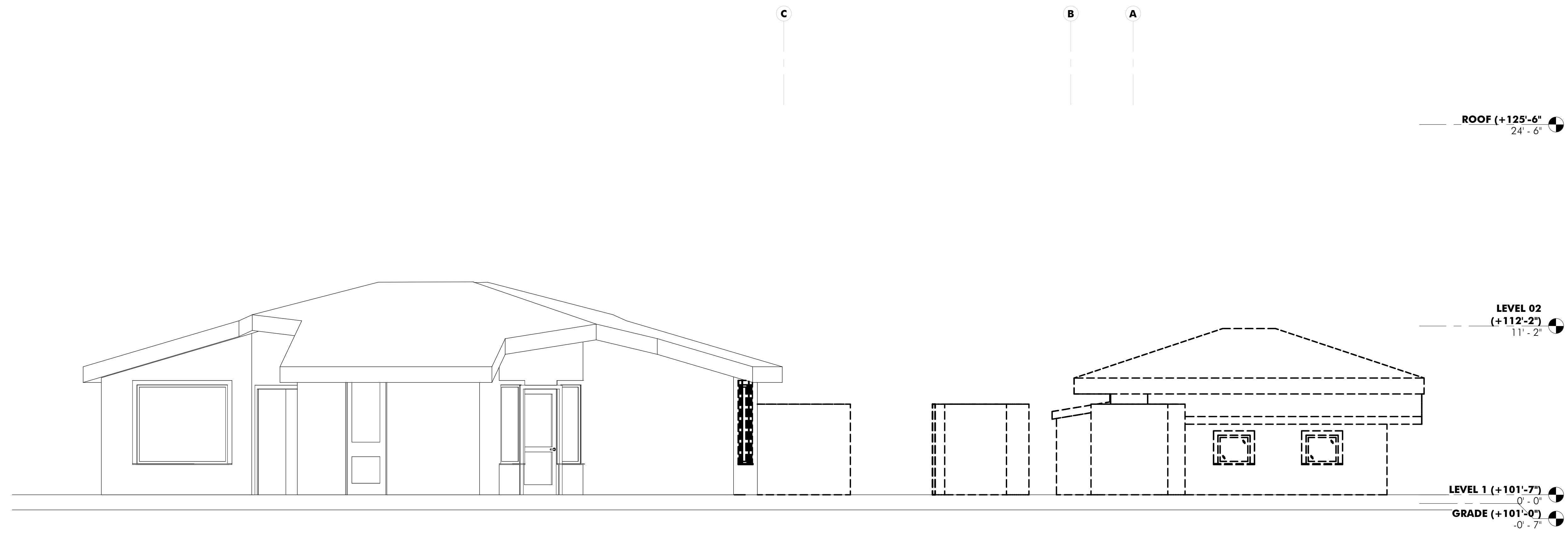
APN: 172-091-39



DRAWING TITLE
 ENLARGED PLANS AT ADDITION

A210

#	DATE	ISSUE
	06/05/2024	SITE PLAN REVIEW
	06/11/2024	SITE PLAN REVIEW R1



DEMOLITION ELEVATION - EAST
1/4" = 1'-0" **2**



PROPOSED ELEVATION - EAST
1/4" = 1'-0" **1**

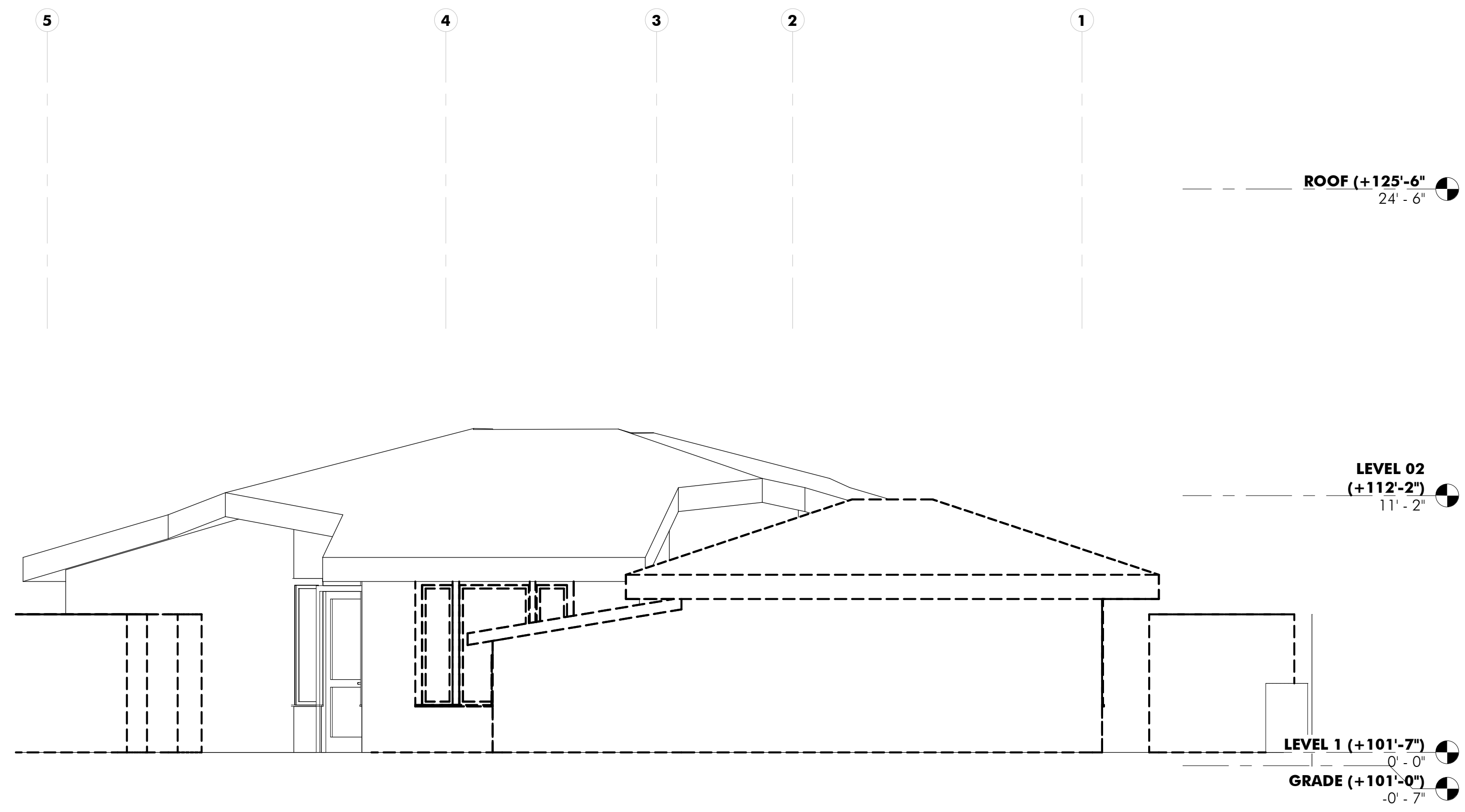
KANBAYASHI ADDITION
216 RAILROAD AVE
WOODACRE, CA 94973

APN: 172-091-39



DRAWING TITLE
EXTERIOR ELEVATIONS - EAST

A301



DEMOLITION ELEVATION - NORTH
1/4" = 1'-0" **2**



PROPOSED ELEVATION - NORTH
1/4" = 1'-0" **1**

KEY NOTES

BITTIKER
ARCHITECTURE

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#	DATE	ISSUE
06/05/2024	SITE PLAN REVIEW	
06/11/2024	SITE PLAN REVIEW R1	

KANBAYASHI ADDITION
216 RAILROAD AVE
WOODACRE, CA 94973

APN: 172-091-39



DRAWING TITLE
EXTERIOR ELEVATIONS - NORTH

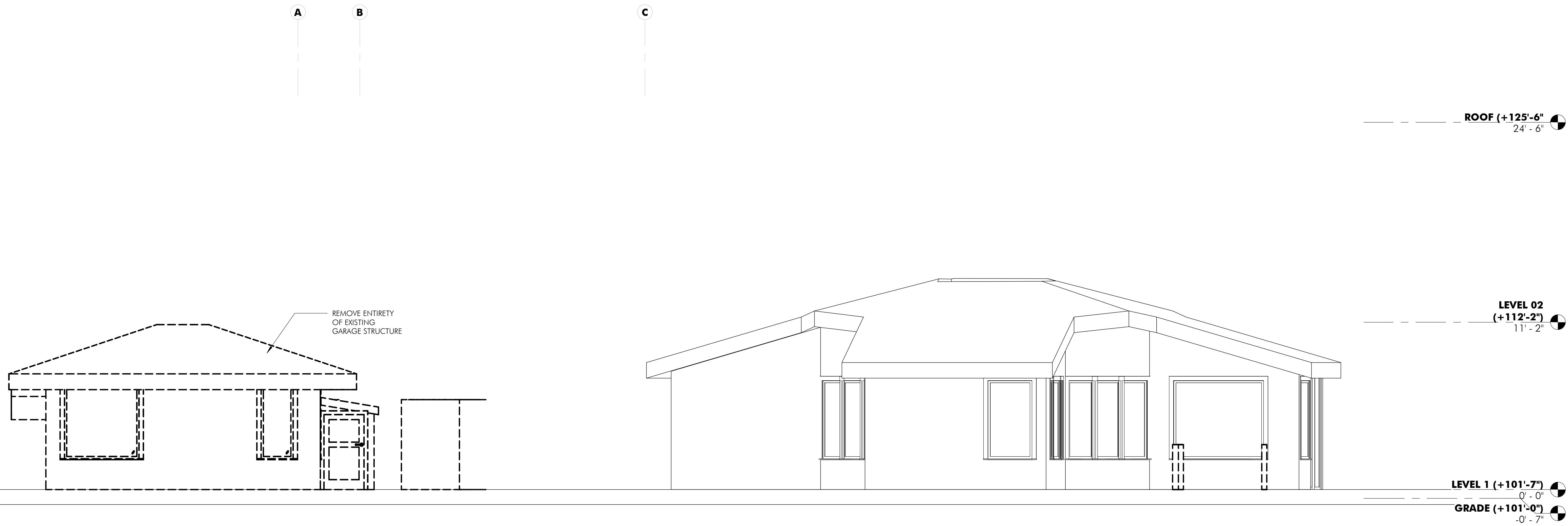
A302

BITTIKER
ARCHITECTURE

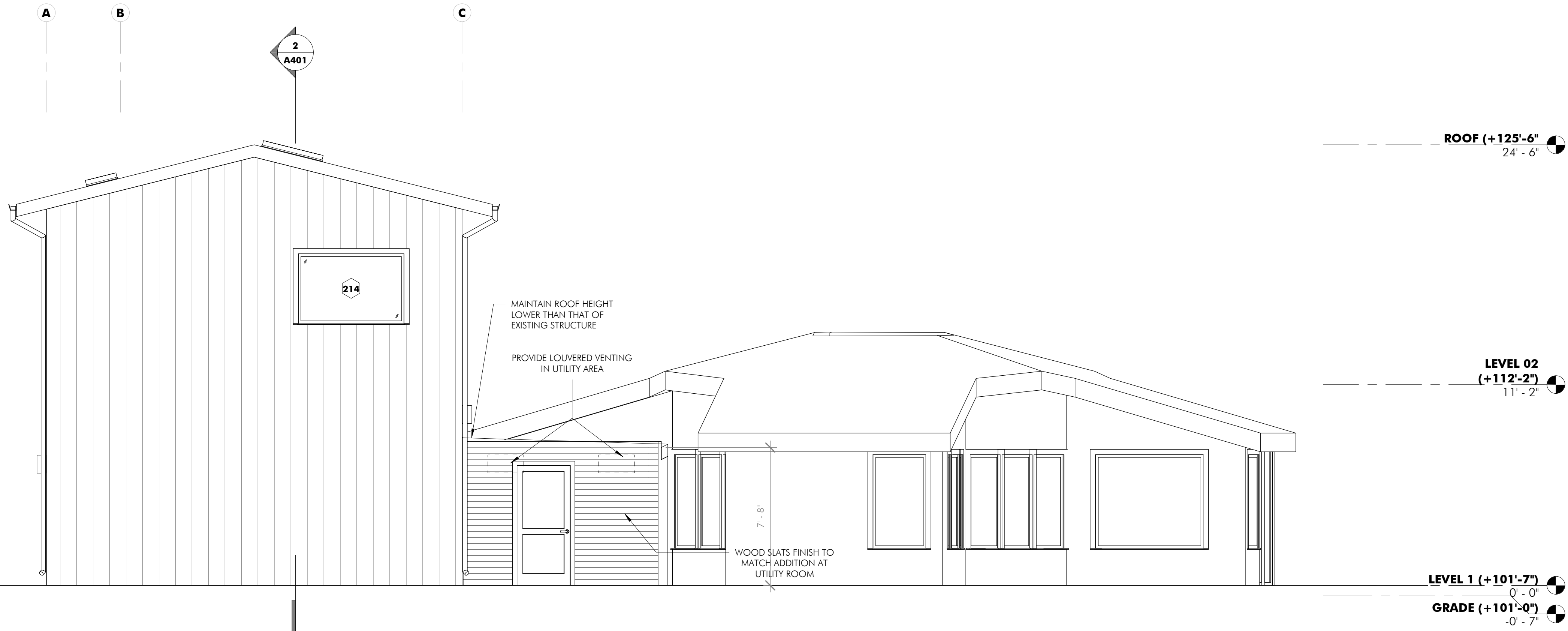
DANNY BITTIKER, LEED AP
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SAN FRANCISCO, CA 94114
DANNY@BITTIKER.COM
415.828.7782

#	DATE	ISSUE
06/05/2024	SITE PLAN REVIEW	
06/11/2024	SITE PLAN REVIEW R1	

DEMOLITION ELEVATION - WEST
1/4" = 1'-0" **2**



DEMOLITION ELEVATION - WEST
1/4" = 1'-0" **2**



PROPOSED ELEVATION - WEST
1/4" = 1'-0" **1**

KANBAYASHI ADDITION
216 RAILROAD AVE
WOODACRE, CA 94973

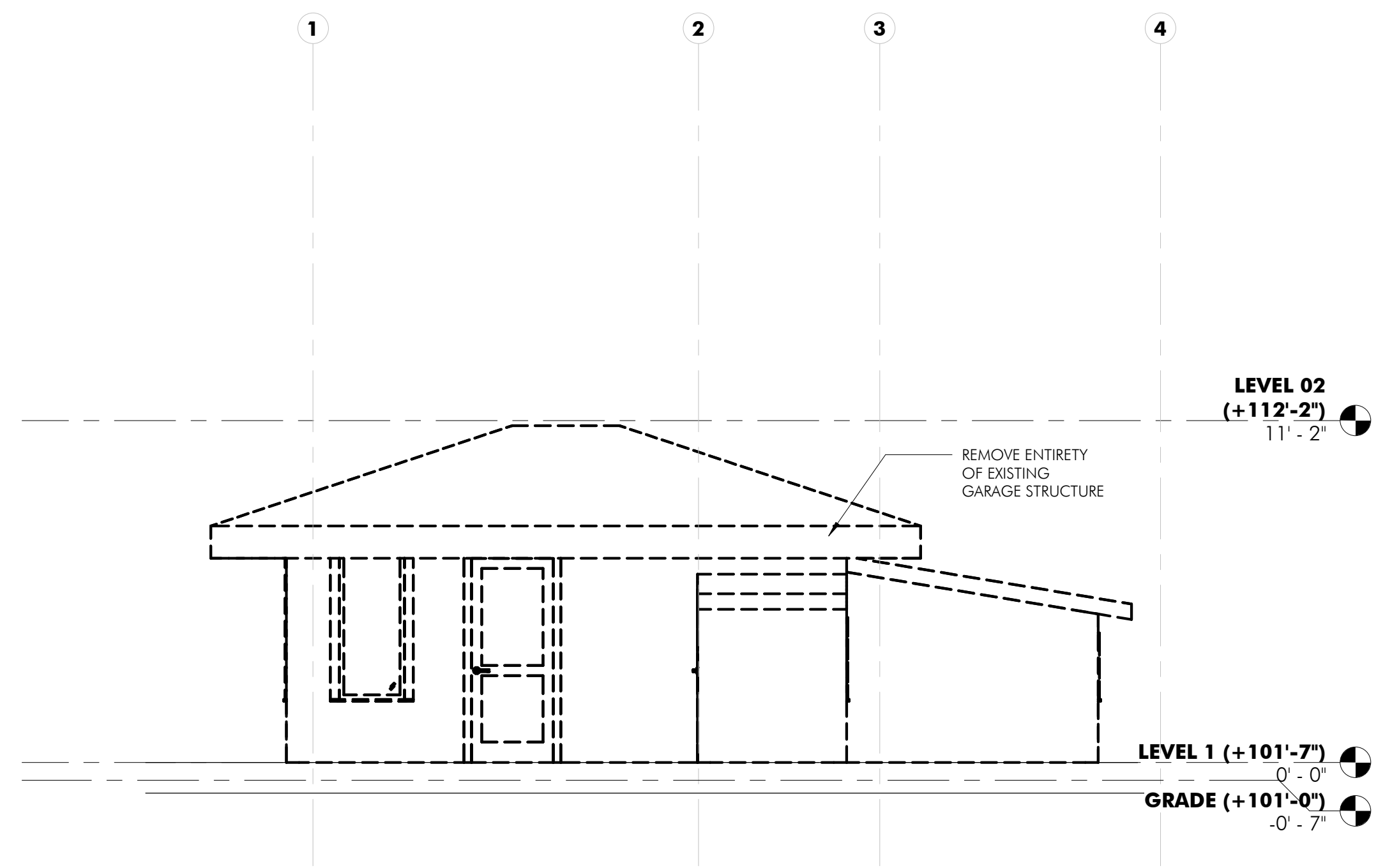
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DRAWING TITLE
EXTERIOR ELEVATIONS - WEST

A303

KEY NOTES



DEMOLITION ELEVATION - SOUTH

1/4" = 1'-0"

2



PROPOSED ELEVATION - SOUTH

1/4" = 1'-0"

1

BITTIKER
ARCHITECTURE

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415.828.7782

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KANBAYASHI ADDITION
216 RAILROAD AVE
WOODACRE, CA 94973

APN: 172-091-39



DRAWING TITLE
EXTERIOR ELEVATIONS - SOUTH

A304

#	DATE	ISSUE
	06/05/2024	SITE PLAN REVIEW
	06/11/2024	SITE PLAN REVIEW R1

KANBAYASHI ADDITION
216 RAILROAD AVE
WOODACRE, CA 94973

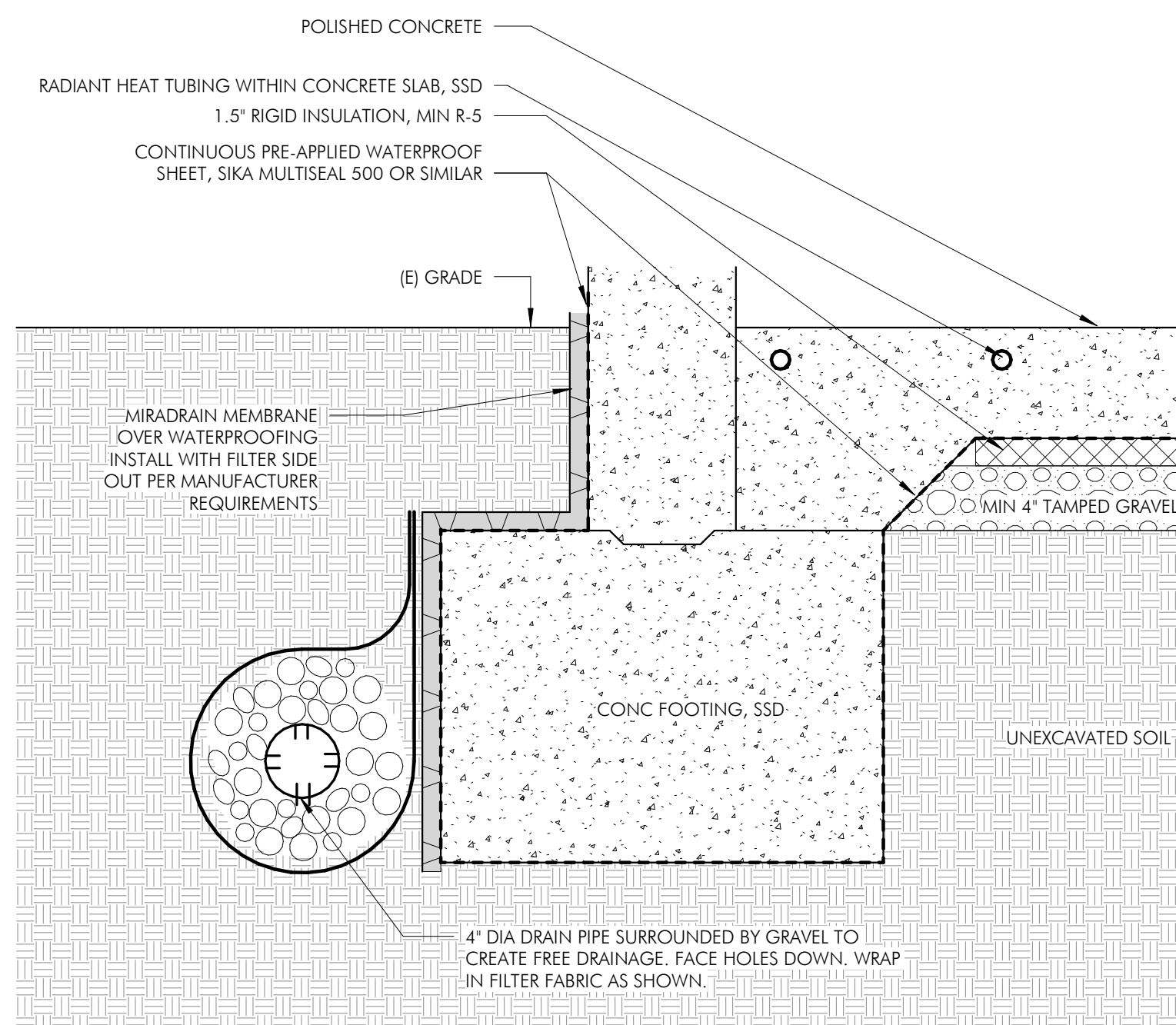
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DRAWING TITLE
SECTION

A401

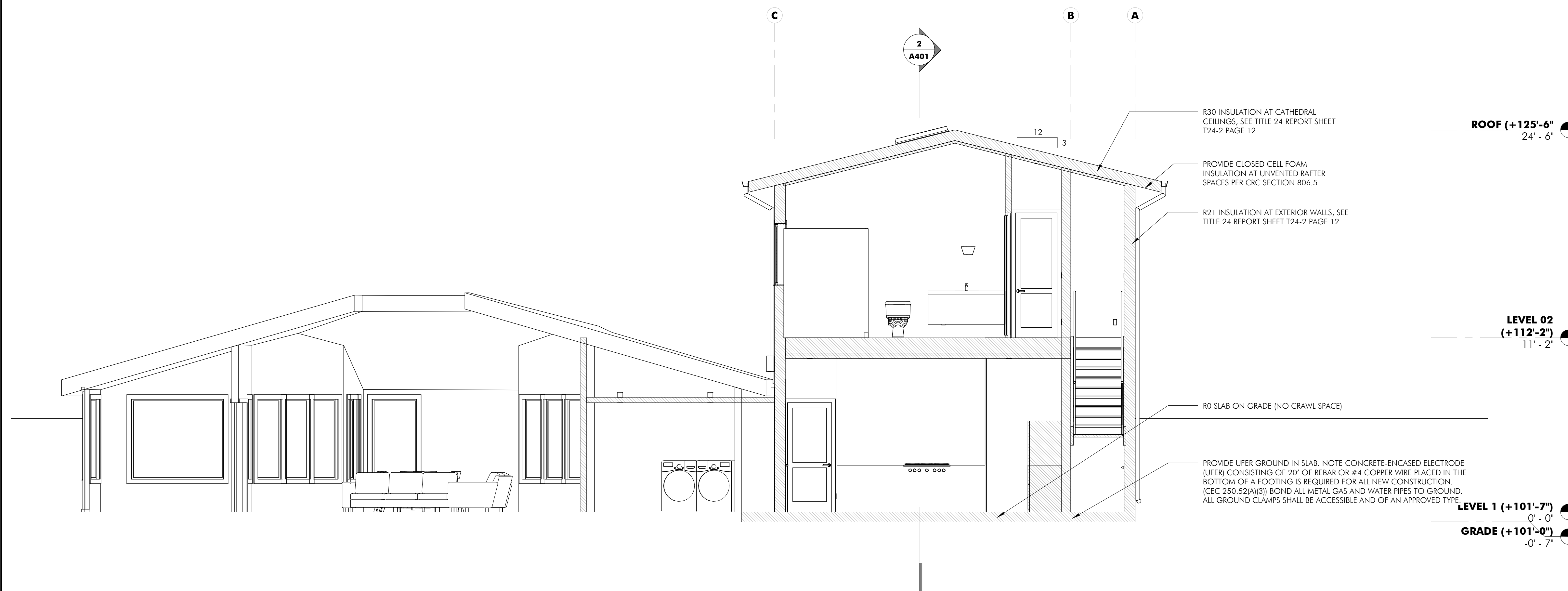
KEY NOTES



TYPICAL EXTERIOR FOOTING DETAIL WITH FENCH DRAIN
1 1/2" = 1'-0" **3**



TRANSVERSE SECTION THROUGH KITCHEN
1/4" = 1'-0" **2**



LONGITUDINAL SECTION THROUGH STAIR
1/4" = 1'-0" **1**

KEY NOTES

BITTIKER
ARCHITECTURE

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DANNY@BITTIKER.COM
415.828.7782

#	DATE	ISSUE
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	06/11/2024	SITE PLAN REVIEW R1

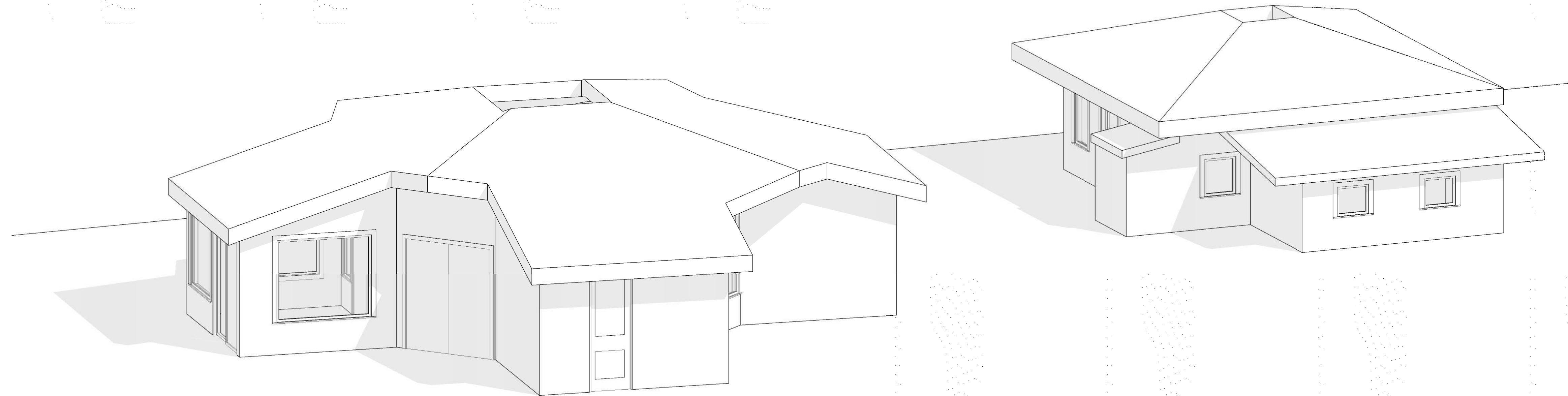
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216 RAILROAD AVE
WOODACRE, CA 94973

APN: 172-091-39

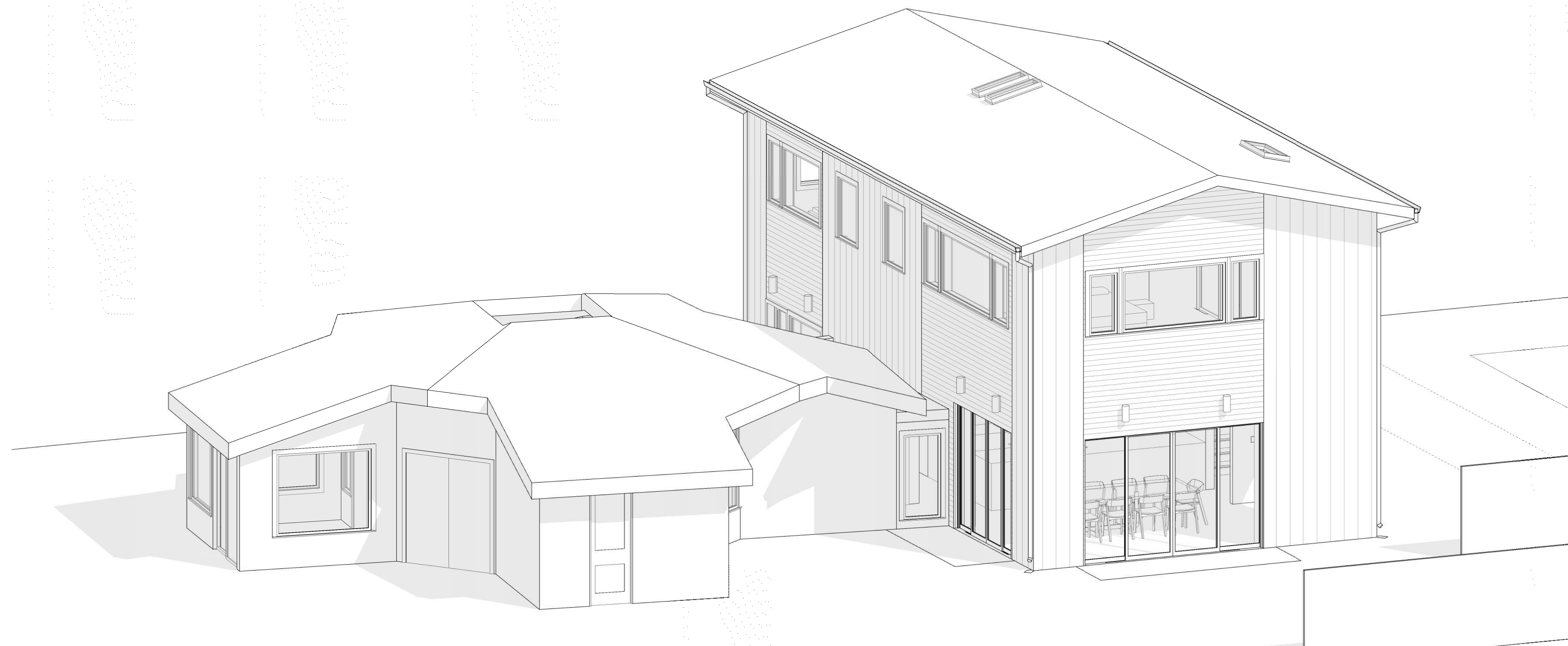


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AXONOMETRIC DRAWINGS

A410



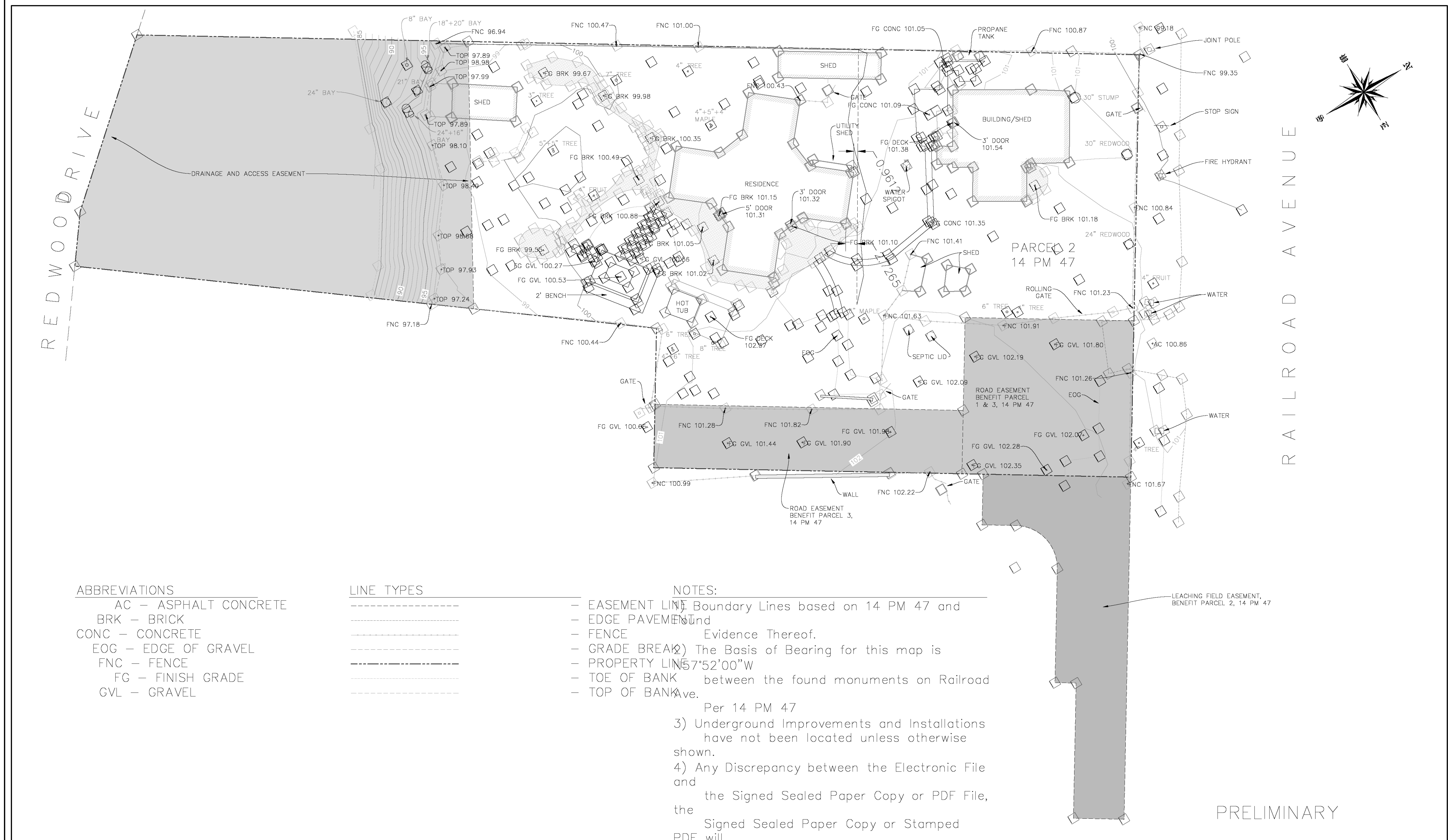
AXONOMETRIC VIEW - EXISTING
1/4" = 1'-0" **2**



AXONOMETRIC VIEW - PROPOSED
1/4" = 1'-0" **1**

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8 LANDERS ST, UNIT 203
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DANNY@BITTIKER.COM
415.828.7782

#	DATE	ISSUE
	06/05/2024	SITE PLAN REVIEW
	06/11/2024	SITE PLAN REVIEW R1



ABBREVIATIONS
 AC - ASPHALT CONCRETE
 BRK - BRICK
 CONC - CONCRETE
 EOG - EDGE OF GRAVEL
 FNC - FENCE
 FG - FINISH GRADE
 GVL - GRAVEL

LINE TYPES

NOTES:
 1) EASEMENT LINE Boundary Lines based on 14 PM 47 and
 2) EDGE PAVEMENT Evidence Thereof.
 3) The Basis of Bearing for this map is
 4) N 57°52'00"W
 5) between the found monuments on Railroad
 Ave.
 Per 14 PM 47
 3) Underground Improvements and Installations
 have not been located unless otherwise
 shown.
 4) Any Discrepancy between the Electronic File
 and
 the Signed Sealed Paper Copy or PDF File,
 the Signed Sealed Paper Copy or Stamped
 PDF will

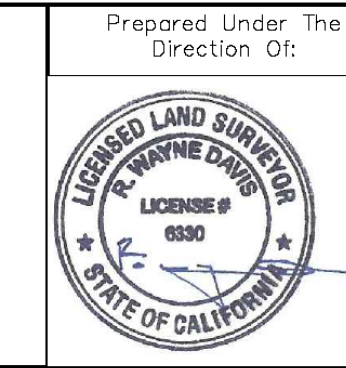
PRELIMINARY

REV	DATE	DESCRIPTION	DRAWN	CHECKED
XXXXXX	XXXXXX	XXXXXXXXXXXX	dld	rwd

R.W. DAVIS & ASSOCIATES, INC.
LAND SURVEYORS
 45 Leveroni Court, Novato CA 94949
 Tel. (415) 883-9099 Email: rwdavis@rwdavis-survey.com
 L.S. 6330

CITY
WOODACRE
 COUNTY
MARIN
 STATE
CALIFORNIA

216 RAILROAD AVENUE
TOPOGRAPHICAL EXHIBIT



Prepared Under The Direction Of:	SHEET
	V-1
SCALE: 1" = 10'	DATE: 05-19-2022
PROJECT NUMBER: 620-001	

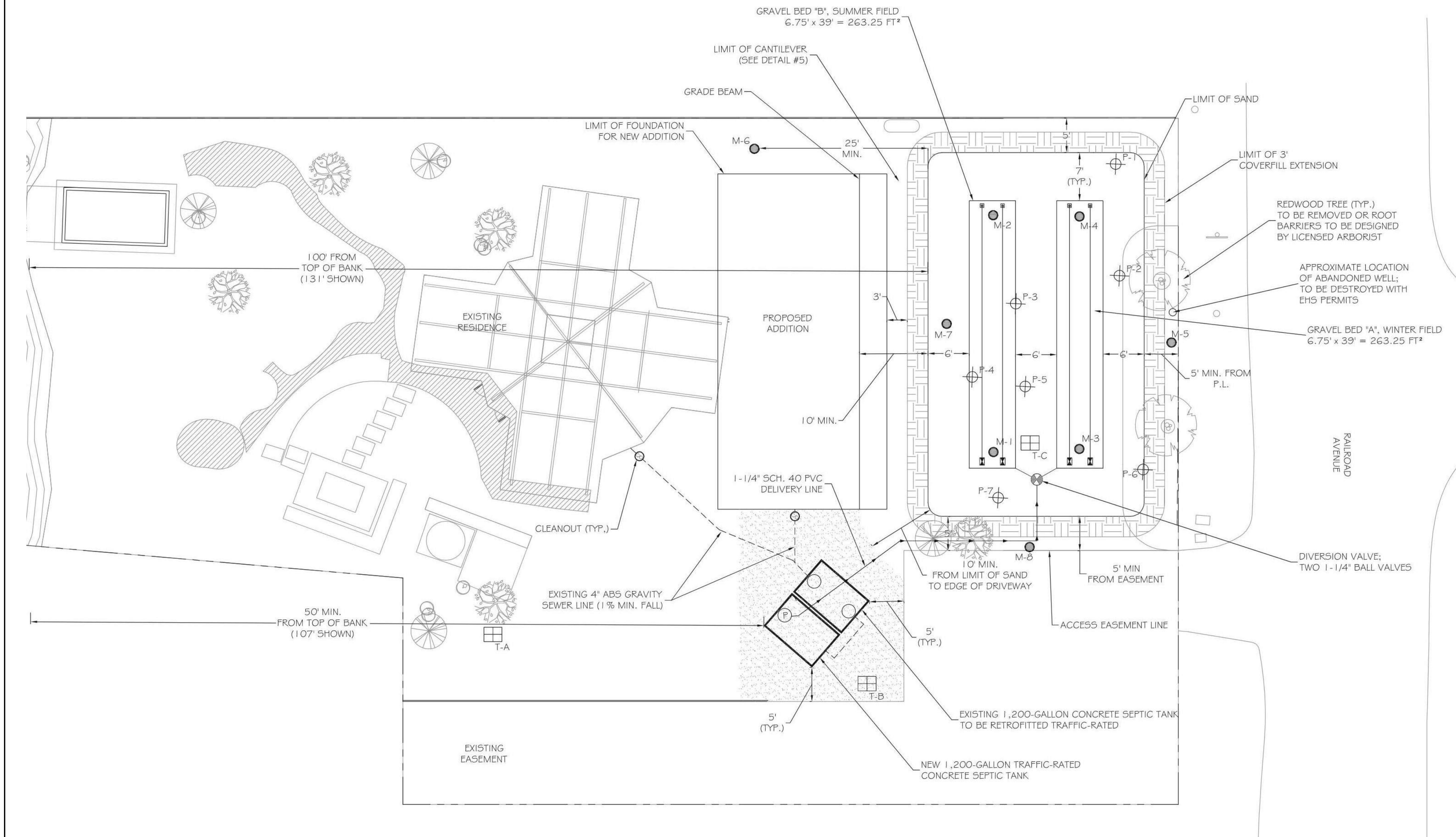
KANBAYASHI ADDITION
216 RAILROAD AVE
WOODACRE, CA 94973
APN: 172-091-39



DRAWING TITLE
CIVIL SURVEY

A100

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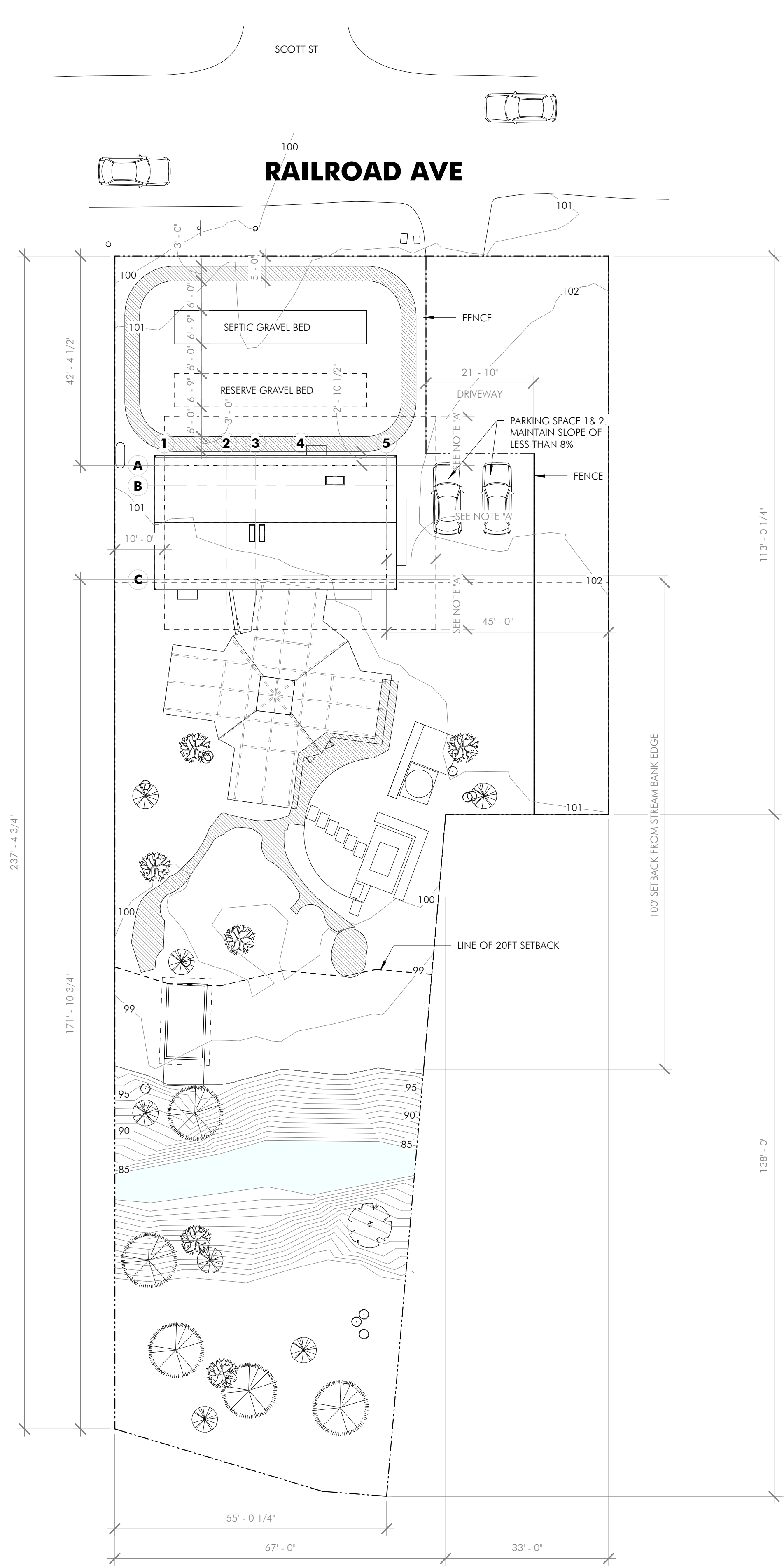


KANBAYASHI ADDITION
216 RAILROAD AVE
WOODACRE, CA 94973
APN: 172-091-39

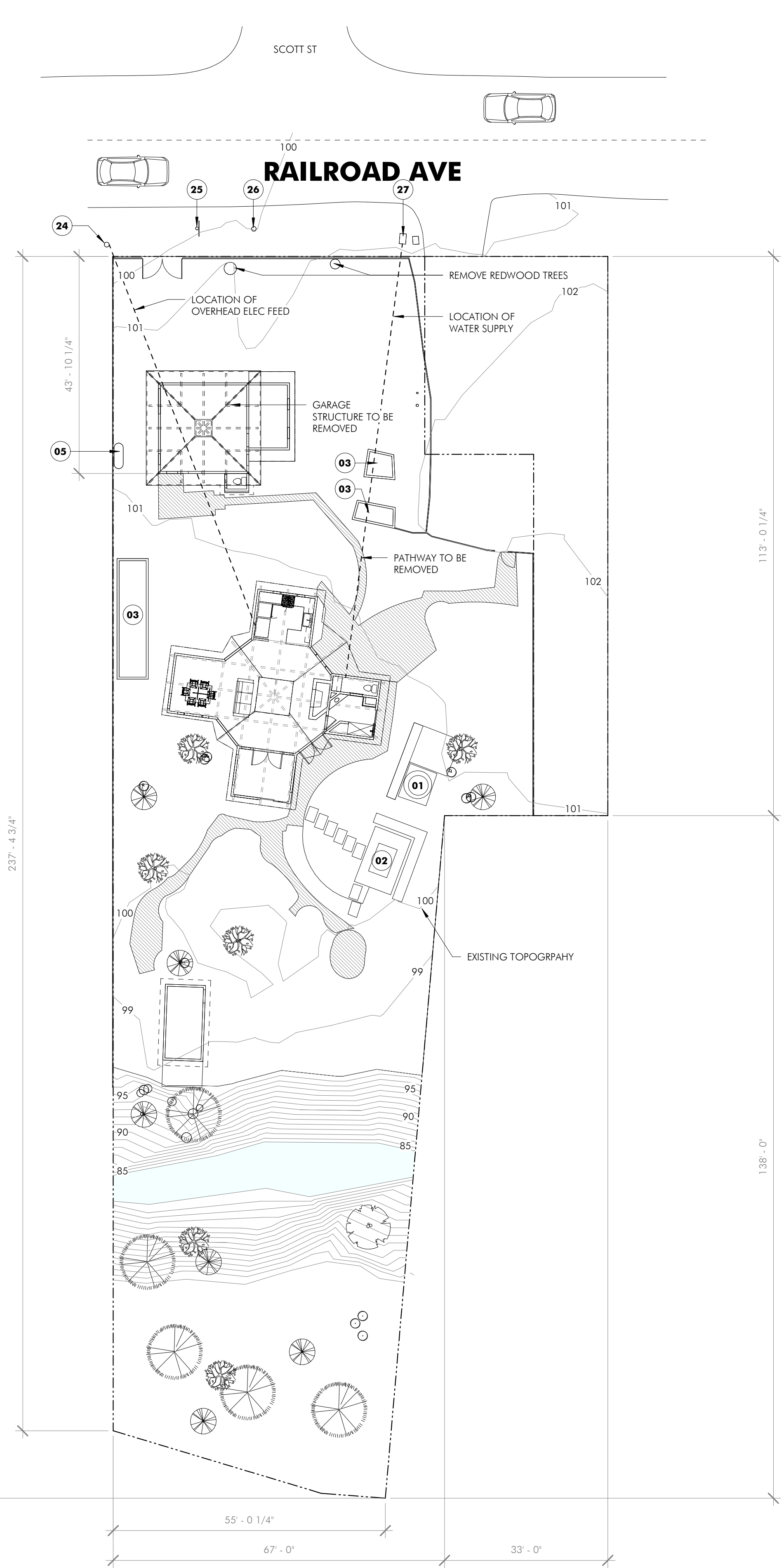


DRAWING TITLE
SEPTIC PLAN

A101



GRADING AND DRAINAGE PLAN - PROPOSED
1/16" = 1'-0" **2**



GRADING AND DRAINAGE PLAN - EXISTING
1/16" = 1'-0" **1**

KEY NOTES

- 01 JACUZZI
- 02 DECK SEATING AREA
- 03 STORAGE SHED TO BE REMOVED
- 05 PROPANE TANK
- 24 JOINT POWER POLE
- 25 STOP SIGN
- 26 FIRE HYDRANT
- 27 WATER SUPPLY LINE ACCESS

NOTE "A": GRADING STRATEGY
EXISTING GRADING IS EFFECTIVELY FLAT WITH A MINOR CHANGE IN ELEVATION OF APPROXIMATELY 2'. THE EXISTING FLOOR HEIGHT IS 101.32'. THE STRATEGY IS TO MATCH THE PROPOSED FLOOR HEIGHT WITH THE EXISTING, THEN SLOPE AWAY FROM THE BUILDING BY 6" WITHIN THE FIRST TEN FEET OF GRADE ALONG THE NORTH, EAST, AND SOUTH WALLS. THE WEST WALL IS TOO CLOSE TO THE PROPERTY LINE TO GRADE PROPERLY. REFER TO DETAIL 3/A401 FOR FRENCH DRAIN DETAILING AT ALL EXTERIOR WALLS.

BITTIKER ARCHITECTURE

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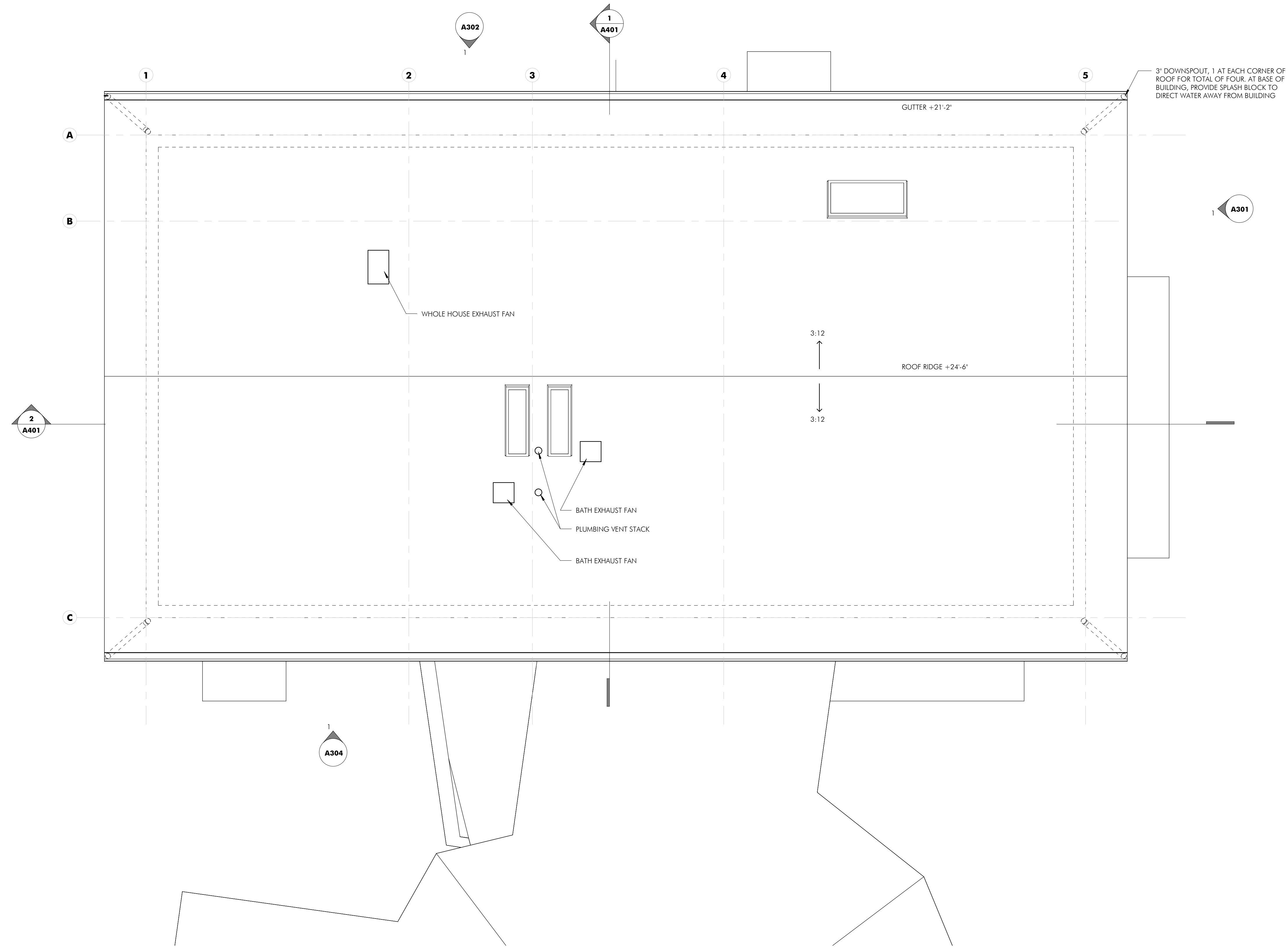


DRAWING TITLE
GRADING AND DRAINAGE PLAN

A103

KEY NOTES

3' DOWNSPOUT, 1 AT EACH CORNER OF ROOF FOR TOTAL OF FOUR. AT BASE OF BUILDING, PROVIDE SPLASH BLOCK TO DIRECT WATER AWAY FROM BUILDING



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DRAWING TITLE
 ROOF PLAN

A211