CONSTRUCT A 477 SQ FT OFFICE AND MASTER BATHROOM ADDITION WITH A CARPORT BENEATH.

427 LOS CERROS DR OFFICE & MASTER BATHROOM ADDITION

ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING CODES AND STANDARDS: CALIFORNIA BUILDING CODE, 2022 EDITION CALIFORNIA RESIDENTIAL CODE, 2022 EDITION CALIFORNIA PLUMBING CODE, 2022 EDITION CALIFORNIA MECHANICAL CODE, 2022 EDITION CALIFORNIA ELECTRICAL CODE, 2022 EDITION 2022 CALIFORNIA REFERENCED STANDARDS CODE 2022 CALIFORNIA ENERGY CODE 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE CITY OF GREENBRAE MUNICIPAL CODE COUNTY OF MARIN CODES AND ORDINANCES

CONTRACTOR MUST RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65 PERCENT OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH EITHER SECTION 4.408.2, 4.408.3 OR 4.408.4 FOUND ON SHEET G1.0, OR MEET A MORE STRINGENT CONSTRUCTION AND DEMOLITION WASTED MANAGEMENT ORDINANCE PRESCRIBED BY THE CITY OF GREENBRAE OR COUNTY OF MARIN.

> IMPERVIOUS SURFACE CALCULATIONS

GENERAL CONTRACTOR - GREEN BAY REMODELING: DANNY ILEBOWSKI 615.730.2259 DAVID & HEATHER HEWLETT 650.380.4967

DRAFTER- CHRIS KLIMEN CAD

SERVICES:

CHRIS KLIMEN

510.928.1359

	(LOT=31746 SQ FT)	33.20%	33.20%
San Anselmo	Arcangel 1817 V San Rafael Sol Food Whole Foods	Market Politi	Andy's Local Market
M.H.Bread and Butter (1)	Safeway Second St.	ean Rafael High School	
The Branson School	Best Buy G	Point San Redro Rd	
Marin Art and Garden Center Ross	TJ. Maxx & Woodland Ave	Days, Spa	20
Natalie Coffin College of Marin		<u>E90</u>	
Greene Park	427 Los Cerros Dr, Kentfield, CA 94904	The Hom	Target 🚭
	arin Catholic O	untry Mart	
WOODLANDS	MarinHealth GREENBRAE	America - Si	ended Stay an Rafael
	Larkspur Ferry Jermin	ial	180 SBD

EXISTING SF PROPOSED SF HOUSE 2617 FRONT PATIO & WALK 481 FRONT STAIRS 225 DRIVEWAY - ASPHALT 4838 SIDE PAVER PATIO 1064 REAR DECK 1320 <u>TOTAL</u> 10545 10545 LOT COVERAGE 33.20%

PROJECT DATA:

COUNTY: MARIN APN#: 070-071-14 YEAR BUILT: 1972 ZONING: R1-B2 OCCUPANCY: R-3/U

CLIMATE ZONE: 2 TYPE OF CONSTRUCTION: V-B SEISMIC CATEGORY "D" FLOOD HAZARD ZONE: X SPRINKLERS: NO STORIES: 2 (SPLIT LEVEL)

BATHROOMS: (E) 3 (N) NO CHANGE DEVELOPMENT STANDARDS PER 22.14.050, TABLE 2-11

FRONT SETBACK = 25 FTSIDES = 10 FTREAR = 25 FTMAXIMUM HEIGHT = 30 FT

RIDGE HEIGHT OF ADDITION = 27'-5"

BEDROOMS: (E) 5 (N) NO CHANGE

NO CHANGE TO LANDSCAPING. NO CHANGE TO LOCATION OF UTILITIES. NO CHANGE TO PARKING. NO CHANGE TO DRAINAGE.

COLORS & MATERIALS TO MATCH EXISTING.

CONDITIONED SPACE:

(E) CONDITIONED SPACE: 3291 SQ FT (N) ADDED CONDITIONED SPACE: 477 SQ FT (N) TOTAL CONDITIONED SPACE: 3768 SQ FT

BUILDING AREA:

(E) BUILDING AREA: PROPOSED BUILDING AREA: 4118 SQ FT 5160 SQ FT

FLOOR AREA & FAR:

(E) FLOOR AREA: PROPOSED FLOOR AREA:

3984 SQ FT

LOT SF:

A1.11

31746 SQ FT

EXISTING FAR: (3507/31764)*100 = 11% FARNEW FAR: (3984/31746)*100 = 13% FARMAX FAR PER 22.14.050, TABLE 2-11 = 30%

SHEET INDEX: A0.1 COVER, PROJECT DATA, INDEX A0.2 CODE & CONSTRUCTION NOTES A0.3 BLUEPRINT FOR A CLEAN BAY A0.4 STORM-WATER POLLUTION PREVENTION TOPOGRAPHIC SURVEY G1.0 CAL GREEN REQUIREMENTS CAL GREEN REQUIREMENTS G1.1 -T-24 ENERGY CALCULATIONS -T-24 ENERGY CALCULATIONS

RESIDENTIAL MANDATORY MEASURES (E) SITE PLAN (A1.01 (N) SÎTÊ PLÂN {A1.02 ENLARGED (E) SITE PLAN

\{\A1.03 ENLARGED (N) SITE PLAN (A1.04 DRIVEWAY TURNAROUND STUDY (E) FLOOR PLAN & DEMOLITION PLAN (N) FLOOR PLAN

A1.12 CONSTRUCTION PLAN A1.13 CONSTRUCTION NOTES A1.14 DOOR & WINDOW SCHEDULE ROOF PLANS

A2.10 A3.10 SECTION VIEWS & CONSTRUCTION DETAILS A4.10 ELEVATIONS

ELEVATIONS, MATERIALS, COLORS, & DETAILS A4.11 EM1.10 ELECTRICAL & MECHANICAL PLANS EM1.11 GARAGE DUCT PLAN

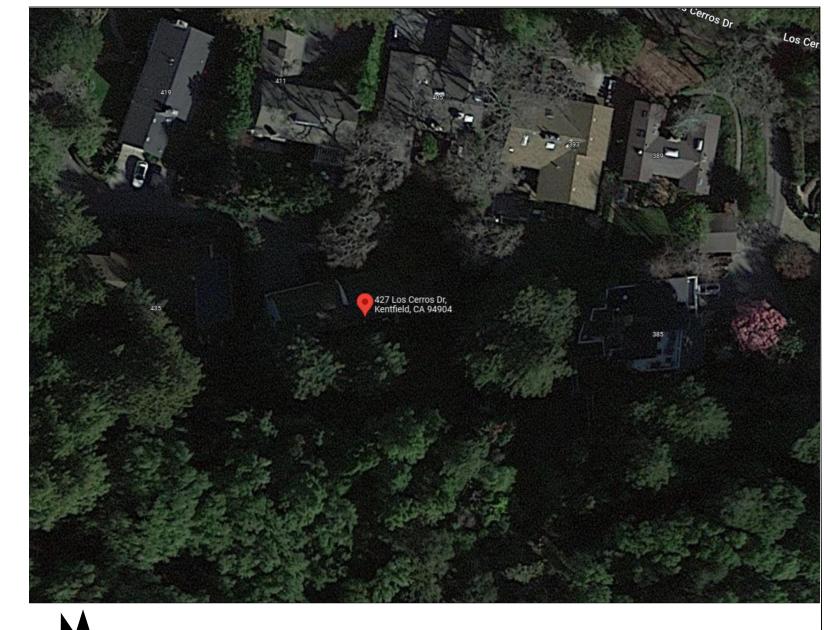
08/30/22 2ND PROGRESS SET 09/15/22 3RD PROGRESS SET 4TH PROGRESS SET FLOOR PLAN PROGRESS & SET WINDOWS 12/27/22 DECEMBER PROGRESS SET 5/23/23 MAY PROGRESS SET PLANNING SUBMISSION 7/21/23 02/20/24 - PLANNING SUBMISSION 3/5/24 05/01/24 | \(\hat{\Lambda}\) PLANNING COMMENTS

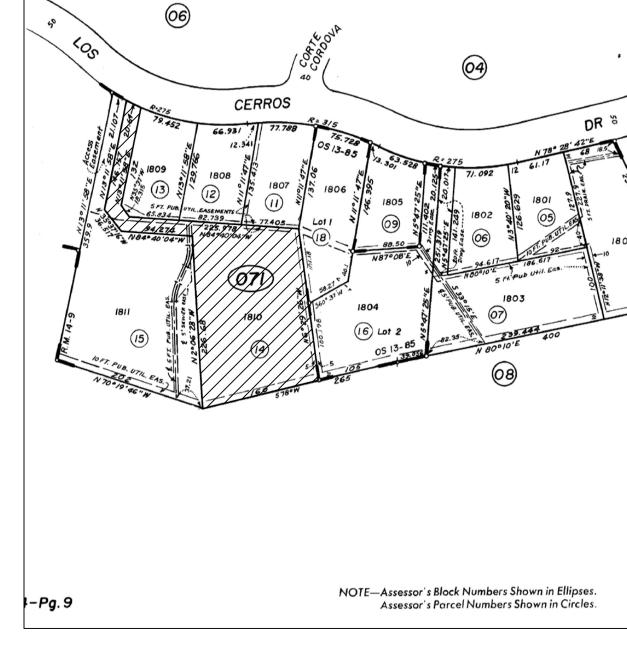
Revision History



Drawing By: Chris Klimen klimen@att.net PH: 510.928.1359 Date: JULY 05, 2022 Project / Job #:

Peter Christopher Klimen DIGITALLY SIGNED BY PETER CHRISTOPHER KLIMEN EMAIL=KLIMEN@ATT.NET DATE: 05/24/24





ASSESSORS PARCEL MAP

LOCAL MAP

ABBREVIATIONS QUARRY TILE ANGLE FLAT HEAD WOOD SCREW F.H.W.S. FLOOR R.W.L. RAIN WATER LEADER **CENTERLINI** F.D. FLOOR DRAIN RWD. REDWOOD DIAMETER FLOOR JOISTS F.J. RGTR REGISTER EXISTING FLUOR. FLUORESCENT REINF REINFORCE FOOT OR FEET REF REFERENCE PERPENDICULAR FTG. FOOTING REFG. REFRIGERATOR FORCED AIR UNIT POUND FAU. REQ. REQUIRED FDN. FOUNDATION RESIL. RESILIENT FRAM'G FRAMING REDWOOD ANCHOR BOLT FLS/FS FULL SIZE REVERSE ACOUS. ACOUSTICAL FURR. RISER/ RADIUS FURRING ARFA DRAIN A.D. FUT. FUTURE ROOM **ADJUSTABLE** ROUGH OPENING GALV. GALVANIZED ABOVE FINISH FLOOR GALVANIZED IRON AGGR **AGGREGATE** SANITARY NAPKIN S.N.D. G.S.M. GALVANIZED SHEET METAL AL. /ALU ALUMINUM DISPENSER GAUGE **APPROXIMATE APPROX** SLIDING GLASS DOOR GLASS **ARCH** ARCHITECT S.N.R. SANITARY NAPKIN GRAB BAR ARCH'L **ARCHITECTURA** RECEPTACLE GRADE ASPH. ASPHAL 1 SCHEDULE GND. GROUND AWG. **AWNING** S.C.D. SEAT COVER DISPENSER GROUND FAULT INTERRUPTER GFI. SECT. SECTION BEAM S.C.E.D. SEE CIVIL ENGINEER BITUM. BITUMINOUS GYP.BD. GYPSUM BOARD BLK. BLOCK SEE ELECTRICAL DRAWINGS S.E.D. BLKG. BLOCKING H/C HANDICAP SEE LANDSCAPE DRAWINGS S.L.D. BOARD H.D.C.P. HANDICAP/HANDICAPPED S.M.D. SEE MECHANICAL DRAWINGS BOLT HDWE. HARDWARF S.P.D. SEE PLUMBING DRAWINGS BOTTOM HDWD. HARDWOOD SEE STRUCTURAL DRAWINGS S.S.D. BLDG. BUILDING HGT./HT HEIGHT S.S.X. SERVICE SINK HOLLOW CORE CAB. CABINET SW. SHEAR WALL H.M. HOLLOW META CASED OPENING HORIZ. HORIZONTAL CATCH BASIN SHOWER H.B. HOSE BIB SIMILAR H.P. HIGH POINT **CASEMENT** SINGLE HUNG/SHELF CAS HOUR CHLK. CHAIN LINK HEATING. VENTING & H.V.A.C. SKYLT SKYLIGHT CAST IRON AIR CONDITIONING CAULKING SLIDING / SLOPE CEILING JOISTS SMOKE DETECTOR INSIDE DIAMETER CEILING SOAP DISPENSER INSUL. INSULATION CEM. CEMENT SOLID CORE INTERIOR CENTER SOUTH INTERNATIONAL CONFERENCE I.C.B.O. CER. CERAMIC SPACE OF BUILDING OFFICIALS C.T. CERAMIC TILE SPEC. **SPECIFICATION** CLR. CLEAR SQUARE **JANITOR** JAN. CLO. CLOSET SQ.FT. SQUARE FOOT JOINT CMU CONCRETE MASONRY UNIT SQ.IN. SQUARE INCH COL COLUMN SST STAINLESS STEEL KILN DRIED K.D. CVT. COMPOSITION VINYL TILE STD. STANDARD KIT. KITCHEN CONC/C. CONCRETE STATION CONNECTION CONN STEEL LAB LABORATORY CONST. CONSTRUCTION STOR. STORAGE LAM LAMINATE CONT. CONTINUOUS STRL. STRUCTURAL LAV. LAVATORY CORR CORRIDOR **STRUCT** STRUCTURE LIGHT CORNER GAURD SUSP. SUSPENDED LKR. LOCKER CTSK COUNTERSINK SYM. SYMMETRICAL DEPT. **DEPARTMENT** MACHINE BOLT TEL. **TELEPHONE** DFTAIL MFR. MANUFACTURER TELEVISION DOUGLAS FIR MFG MANUFACTURING TEMP. TEMPERED / TEMPORARY DRINKING FOUNTAIN MAX. MAXIMUM TERR. TERRAZZO DIAMETER MECH. MECHANICAL THICK THK./TK DIMENSION M.C. MEDICINE CABINET DISPENSER MEMB. MEMBRANE T.P.D. TOILET PAPER DISPENSER DOOR MET. METAL TONGUE AND GROOVE DOOR OPENING MH. MAN HOLE TOP OF CURB DOUBLE MIN. MINIMUM T.O.P. TOP OF PAVEMENT DOUBLE HUNG MIRROR T.O.S. TOP OF SUBFLOOR/SLAB MISC. MISCELLANEOUS T.O.SHTG. TOP OF SHEATHING DOWN SPOUT M.O. MASONRY OPENING T.O.P. TOP OF PLATE D.S.P. DRY STAND PIPE MOUNTED T.O.W. TOP OF WALL/WINDOW DRAWER MUL. MULLION T.B. TOWEL BAR DWG'S DRAWINGS TRD. TREAD NORTH TYPICAL NOMINAL EACH NOT IN CONTRACT N.I.C. UNDERWRITERS LABORATORY EXTERIOR INSULATED E.I.F.S. N.T.S. NOT TO SCALE UNFINISHED FINISH SYSTEM NO or # NUMBER UNIFORM BUILDING CODE W/ **EXPANSION JOINT** CALIFORNIA AMENDMENTS ELECTRICAL **OBSCURE** U.O.N. UNLESS OTHERWISE NOTED ELECTRICAL PANELBOARD O.F.E. OWNER FURNISHED EQUIPMENT URINAL EL./ELEV ELEVATION OFF. OFFICE **ELEVATOR** 0.C. FLFV ON CENTER VERIFY IN FIELD VIF EMER. **EMERGENCY** OPNG. OPENING VERTICAL VERT. ENCLOSURE ENCL. OPPOSITE VERTICAL GRAIN V.G. 0.H. EQUAL OPPOSITE HAND VESTIBULE EQUIPMENT FOUPT O.D. OUTSIDE DIAMETER (Dia) VNL./V VINYL E.W.C. ELECTRICAL WATER COOLER VINYL COMPOSITION TILE VCT **FXST FXISTING** OVERALL **EXPANSION** OH. OVER HANG/OVERHEAD WEST/WAX EXPO. EXPOSED WAINSCOT WSCT EXTERIOR PAIR WATER CLOSET W.C. PTD PAINTED WATER HEATER FACE OF CONCRETE PANEL WATERPROOF F.B. FACE OF CONCRETE BLOCK PAPER TOWEL DISPENSER WEIGHT F.O.M. FACE OF MULLION P.T.D/R PAPER TOWEL DISPENSER FLOOR DRAIN AND RECEPTACLE COMBO WITHOUT W./O. F.O.F. FACE OF FINISH PTR. PAPER TOWEL RECEPTACLE WOOD F.0.S. FACE OF STUDS PTN. PARTITION FALSE FRONT/FINISH FLOOR P.D. PLANTER DRAIN FIN. PLAS. PLASTER FINISH GRADE P.LAM. PLASTIC LAMINATE FIRE ALARM PLATE FIRE EXTINGUISHER PLUMB PLUMBING F.E.C. FIRE EXTINGUISHER CAB. PLYWD/PLY PLYWOOD F.H.C FIRE HOSE CABINET POINT/PRESSURE TREATED **FIREPROOF** P.I.P. POURED IN PLACE FIXFD PREFAB PREFABRICATED FLASH. FLASHING P/L PRCST. PROPERTY LINE PRE-CAST

GENERAL NOTES:

1. THESE PLANS ARE FOR GENERAL CONSTRUCTION PURPOSES ONLY. THEY ARE NOT EXHAUSTIVELY DETAILED NOR FULLY SPECIFIED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY DIMENSIONS, CONDITIONS, MATERIALS, EQUIPMENT, SELECTIONS, AND TITLE 24 COMPLIANCE.

2. THE CONTRACTOR SHALL VERIFY ALL SITE GRADES, EXISTING IMPROVEMENTS, PROPERTY LINES, EASEMENTS, SETBACKS, AND UTILITIES, AND REPORT WHERE DISCREPANCIES OCCUR.

- 3. DO NOT SCALE THE DRAWINGS. DIMENSIONS ARE TO FACE OF FINISH AND ACTUAL DOOR OPENING WIDTH UNLESS OTHERWISE NOTED (U.O.N.). ALL DIMENSIONS NOTED "CLEAR" OR "CLR" ARE FOR EQUIPMENT CLEARANCES AND MUST BE STRICTLY MAINTAINED. ALL DIMENSIONS NOTED "VERIFY" OR V. I. F. ARE TO BE CHECKED BY CONTRACTOR PRIOR TO AND DURING CONSTRUCTION. DIMENSIONS TAKE PRECEDENCE OVER SCALE OF THE DRAWING; DO NOT SCALE
- 4. MANUFACTURER'S MATERIALS, EQUIPMENT, ETC., SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS (U.O.N.). THE CONTRACTOR ACKNOWLEDGES THAT THE DRAFTER SHALL NOT SUPERVISE, DIRECT, OR HAVE CONTROL OVER THE WORK NOR SHALL THE DRAFTER HAVE ANY RESPONSIBILITY FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES SELECTED BY THE CONTRACTOR NOR THE CONTRACTOR'S SAFETY PRECAUTIONS OR PROGRAMS IN CONNECTION WITH THE WORK. THESE RIGHTS AND RESPONSIBILITIES ARE SOLELY THOSE OF THE CONTRACTOR IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS

5. INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED TO THE FIELD INSPECTOR AT TIME OF INSPECTION. EXTERIOR WINDOWS AND DOORS SHALL MEET THE DESIGN PRESSURE RATING REQUIREMENTS OF CBC §1714.5.

DOORS AND WINDOWS TO THE EXTERIOR SHALL BE FULLY WEATHER STRIPPED. WINDOW EGRESS: 8.1. BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE NOT LESS THAN ONE OPERABLE

EMERGENCY ESCAPE AND RESCUE OPENING. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY, OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY. 8.2. EMERGENCY AND ESCAPE RESCUE OPENINGS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 SQUARE FEET. THE NET CLEAR OPENING DIMENSIONS REQUIRED SHALL BE OBTAINED BY THE NORMAL

OPERATION OF THE EMERGENCY ESCAPE AND RESCUE OPENING FROM THE INSIDE. THE NET CLEAR HEIGHT OF THE OPENING SHALL BE NOT LESS THAN 24 INCHES AND THE NET CLEAR WIDTH SHALL BE NOT LESS THAN 20 INCHES. EXCEPTION: GRADE FLOOR OPENINGS OR BELOW-GRADE OPENINGS SHALL HAVE A NET CLEAR OPENING AREA OF NOT LESS THAN 5 SQUARE FEET WHERE A WINDOW IS PROVIDED AS THE EMERGENCY ESCAPE AND RESCUE OPENING, IT SHALL HAVE THE

BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES MEASURED FROM THE FLOOR; WHERE THE SILL HEIGHT IS BELOW GRADE, IT SHALL BE PROVIDED WITH A WINDOW WELL IN ACCORDANCE WITH SECTION R310.2.3.

9. LANDINGS SHALL NOT BE MORE THAN 7-3/4"LOWER THAN THRESHOLD AND MAINTAIN ¼"INCH PER FOOT SLOPE AWAY FROM BUILDING FOR DRAINAGE.

10. SLOPE ALL GRADES AWAY FROM NEW CONSTRUCTION AT 6" FOR EVERY 5"

11. ALL NEW CONSTRUCTION TO BLEND/MATCH EXISTING.

12. ALL WOOD TO BE DOUGLAS FIR #2 OR BETTER, U.O.N.

13. ALL CONCRETE TO BE 2.500 P.S.I. @ 28 DAYS OR AS SPECIFIED BY THE STRUCTURAL ENGINEER (IF APPLICABLE). 14. BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A

HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR. CRC R307.2 15. GYPSUM BOARD SHALL NOT BE USED WHERE THERE WILL BE DIRECT EXPOSURE TO WATER, OR IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY. CRC R702.3.7

16. ANY WOOD FRAMING MEMBERS LESS THAN 8 INCHES FROM THE EXPOSED GROUND SHALL BE PRESSURE TREATED

17. PROVIDE FIRE DEPARTMENT ACCESS AT ALL TIMES DURING CONSTRUCTION.

18. CONTRACTOR IS TO PROVIDE AND INSTALL ALL WORK SHOWN ON DRAWINGS. SUBJECT TO THE LIMITATIONS OF SCOPE OF THE BASE BID. LISTED ABOVE. THE CONTRACTOR SHALL PROVIDE MISCELLANEOUS FASTENERS. BLOCKING AND SEALANTS INCIDENTAL TO COMPLETE THE CONTRACTED WORK. THIS SHALL INCLUDE SUPPLYING AND INSTALLING NECESSARY BACKING INSIDE WALLS FOR THE INSTALLATION OF WALL HANGING ACCESSORIES WHERE INDICATED. ALL WORK SHALL BE INSTALLED AS SHOWN ON DRAWINGS, PLUMB, AND LEVEL, TRUE TO LINE AND SECURELY FASTENED OR ANCHORED

19. CONTRACTOR SHALL REVIEW ALL PLANS AND SPECIFICATIONS TO COORDINATE WITH EXISTING BUILDING CONDITIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BRING ANY FIELD OBSERVED CODE VIOLATIONS. OR INCORRECT EXISTING CONSTRUCTION INCLUDING APPARENT CONFLICTS BETWEEN THE EXISTING CONSTRUCTION AND THE CONTRACT DRAWINGS TO THE IMMEDIATE ATTENTION OF THE DESIGNER. DO NOT SCALE DRAWINGS, CONTACT DESIGNER FOR CLARIFICATION OF DIMENSIONS.

20. CONTRACTOR SHALL MAKE EVERY REASONABLE FEFORT TO PROTECT THE POSSESSIONS OF THE OWNER THAT REMAIN IN OR ADJACENT TO THE WORK FROM LOSS OR DAMAGE. ANY PORTION OF THE PROPERTY DAMAGED BY THE CONTRACTOR OR SUBCONTRACTOR DURING THE COURSE OF THE WORK MUST BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER. THE TERM "DAMAGES" SHALL INCLUDE, BUT NOT BE LIMITED TO ANY DAMAGE CAUSED BY CONTRACT OPERATION OR WORKERS DURING CONSTRUCTION TO THE OWNER'S RESIDENCE, FURNISHINGS, CLOTHING, FENCES. ADJOINING PROPERTIES OR TO PUBLIC SPACES.

PLUMBING NOTES:

PLUMBING FIXTURES MUST COMPLY WITH FLOW RATES SPECIFIED IN CAL GREEN SECTION 4.303 SHOWER TO BE PROVIDED WITH PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE CONTROLS

PROVIDE 1-1/2" DRAIN LINE MINIMUM FROM KITCHEN. CPC 420.3 PROVIDE A LISTED AIR GAP FOR DISHWASHER. CPC 414.3

- PROVIDE NON-REMOVABLE BACKFLOW PREVENTION DEVICE ON ALL NEW EXTERIOR HOSE BIBS.
- MINIMUM OF 1/4" PER FOOT (2%) SLOPE FOR ALL HORIZONTAL DRAINAGE PIPING. SEISMIC STRAPPING FOR HOT WATER HEATER REQUIRED PER CPC SECTION 508.2

8. THE HOT WATER HEATER TEMPERATURE/PRESSURE RELIEF VALVE SHALL HAVE ATTACHED TO IT A PIPE WHICH WILL RUN OUTSIDE THE BUILDING WITH THE END OF THE PIPE BETWEEN 6 & 24 INCHES ABOVE GRADE & POINTED DOWN

BE TESTED WITH 10 LBS. OF PRESSURE FOR A MINIMUM OF 15 MINUTES. 10. HOT WATER PIPING ₹ AND GREATER SERVING A KITCHEN SHALL BE INSULATED WITH MINIMUM 1"WALL THICKNESS INSULATION.

9. ALL NEW GAS PIPING SHALL BE SIZED TO SUPPLY SUFFICIENT GAS TO THE APPLIANCES. THE GAS PIPING SHALL

11. ALL OVEN AND STOVE GAS VALVES SHALL BE READILY ACCESSIBLE AND BE WITHIN 3'-0" OF THE APPLIANCE. CONNECTORS MAY NOT BE CONCEALED OR PASS THROUGH ANY FLOOR, WALL PARTITION, CEILING, OR APPLIANCE

HOUSING CABINET 12. A 2"ACCESSIBLE PLUMBING CLEANOUT UNDER THE SINK SHALL BE REQUIRED.

13. PER CPC 414.3, A LISTED AIR GAP SHALL BE INSTALLED BETWEEN THE DISHWASHER DRAINPIPE AND THE GARBAGE DISPOSAL INLET.

MECHANICAL NOTES:

- PER CMC, SECTION 502.2.1, POINT OF EXHAUST VENT MUST BE A MINIMUM OF 3'-0" FROM A PROPERTY LINE OR OPENINGS INTO THE BUILDINGS SUCH AS DOORS, WINDOWS, OPENING SKYLIGHTS, ATTIC VENTS & 10-FEET FROM A 2. PER CMC, SECTION 504.1.1, BACK DRAFT DAMPER ARE REQUIRED ON VENTILATION SYSTEMS EXHAUSTING TO THE
- PER CRC SECTION 302.5.2, DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM NO. 26 GAGE SHEET
- STEEL OR OTHER APPROVED MATERIAL AND SHALL NOT HAVE OPENINGS INTO THE GARAGE PROVIDE EXHAUST HOOD OVER RANGE/ COOKTOP, 100 CFM MINIMUM AND IT SHALL TERMINATE OUTSIDE. A VERTICAL MINIMUM CLEARANCE OF 30" IS REQUIRED ABOVE A RANGE TO COMBUSTIBLES MATERIALS, AND A

MINIMUM VERTICAL CLEARANCE OF 24" ABOVE THE RANGE TO THE BUILT-IN MICROWAVE OVENS IS REQUIRED.

NOTE: LARGER UNITS REQUIRE GREATER CLEARANCES, REFER TO MANUFACTURER REQUIREMENTS. 6. A CLOTHES DRYER EXHAUST DUCT SHALL NOT BE CONNECTED TO A VENT CONNECTOR, GAS VENT, CHIMNEY, AND SHALL NOT TERMINATE INTO A CRAWL SPACE, ATTIC, OR OTHER CONCEALED SPACE. EXHAUST DUCT SHALL NOT BE ASSEMBLED WITH SCREWS OR OTHER FASTENING MEANS THAT EXTEND INTO THE DUCT AND THAT ARE CAPABLE OF CATCHING LINT, AND THAT REDUCE THE EFFICIENCY OF THE EXHAUST SYSTEM. EXHAUST DUCTS SHALL BE CONSTRUCTED OF RIGID METALLIC MATERIAL WITH A SMOOTH INTERIOR SURFACE.. TRANSITION DUCTS USED TO CONNECT THE DRYER TO THE EXHAUST DUCT SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 2158A, OR INSTALLED IN ACCORDANCE WITH THE CLOTHES DRYER MANUFACTURER'S INSTALLATION INSTRUCTIONS. CLOTHES DRYER EXHAUST DUCTS SHALL TERMINATE TO THE OUTSIDE OF THE BUILDING IN ACCORDANCE WITH SECTION 502.2.1 AND SHALL BE EQUIPPED WITH A BACKDRAFT DAMPER. SCREENS SHALL NOT BE INSTALLED AT THE DUCT TERMINATION. DEVICES, SUCH AS FIRE OR SMOKE DAMPERS THAT WILL OBSTRUCT THE FLOW OF THE EXHAUST SHALL NOT BE USED. WHERE JOINING OF DUCTS, THE MALE END SHALL BE INSERTED IN THE DIRECTION OF AIRFLOW. DUCT SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF 14-FEET, INCLUDING TWO 90-DEGREE ELBOWS

ELECTRICAL NOTES:

- 1. ARC FAULT CIRCUIT INTERRUPTER (AFCI) REQUIRED FOR ALL NEW 120-VOLT, SINGLE-PHASE, 15 AND 20 AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN KITCHENS. BATHROOMS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS.
- LAUNDRY ROOMS, GARAGE, HALLWAYS, OR SIMILAR ROOMS OR AREAS. PER CEC 406.12, PROVIDE TAMPER-RESISTANT RECEPTACLES IN AREAS SPECIFIED IN CEC 210.52, SPECIFICALLY ALL 125-VOLT. 15- AND 20-AMPERE RECEPTACLES IN AREAS SUCH AS KITCHENS, BATHROOMS. FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, SUNROOMS, BEDROOMS
- RECREATION ROOMS, LAUNDRY ROOMS, GARAGE, OR SIMILAR ROOMS OR AREAS OF A DWELLING UNIT. RECEPTACLES SHALL BE INSTALLED SUCH THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR LINE OF ANY WALL SPACE IS MORE THAN 6 FEET FROM A RECEPTACLE OUTLET. THIS ALLOWS FOR A MAXIMUM OF 12 FEET BETWEEN RECEPTACLES ON THE SAME WALL.
- SMOKE ALARM. WHEN A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING \$1,000, EXISTING DWELLINGS THAT HAVE ATTACHED GARAGES OR FUEL BURNING APPLIANCES, SMOKE DETECTORS SHALL BE INSTALLED: (A) IN EACH SLEEPING ROOM, (B) OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, (C) ON EACH STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. NEW SMOKE ALARMS TO BE INTERCONNECTED. SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING PROVIDED THAT SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. SMOKE ALARMS WITH INTEGRAL STROBES THAT ARE NOT EQUIPPED WITH BATTERY BACKUP SHALL BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM. SMOKE ALARMS SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVERCURRENT PROTECTION.
- CARBON MONOXIDE ALARM. WHEN A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING \$1,000, EXISTING DWELLINGS THAT HAVE ATTACHED GARAGES OR FUEL BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN THE FOLLOWING LOCATIONS: (A) OUTSIDE OF THE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S); (B) ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHERE SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND, WHERE PRIMARY POWER IS INTERRUPTED, SHALL RECEIVE POWER FROM A BATTERY. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVERCURRENT PROTECTION. COMBINATION CARBON MONOXIDE AND SMOKE ALARMS SHALL BE PERMITTED TO BE USED IN LIEU OF CARBON MONOXIDE ALARMS.
- 6. ANY SMOKE ALARM WITHIN 20 FEET OF A PERMANENTLY INSTALLED COOKING APPLIANCE SHALL BE THE IONIZATION OR PHOTOELECTRIC ALARM TYPE AND HAVE A MINIMUM SPACING OF 10 FEET AWAY. THE MINIMUM DISCONNECTION MEANS FOR A SINGLE FAMILY DWELLING IS 100 AMPERES, 3-WIRE
- PROVIDE ADEQUATE GROUND TO ELECTRICAL SERVICE ENTRY PANEL. VERIFY OR PROVIDE BOND TO METAL GAS AND WATER PIPES.
- 9. ELECTRICAL SUB PANELS SHALL NOT BE LOCATED IN THE VICINITY OF EASILY IGNITABLE MATERIALS SUCH AS CLOTHES CLOSETS. 10. STAGGER NEW ELECTRICAL OUTLETS BY AT LEAST 24-INCHES ON THE OPPOSITE SIDE OF THE FIRE-WALL
- (GARAGE/ HOUSE WALL) PER BUILDING CODE SECTION 712.3.2.
- 11. PROVIDE AND INSTALL RECEPTACLE OUTLETS AT HOUSE EXTERIOR WALLS THAT ARE GFCI PROTECTED, GASKETED-COVER TYPE FOR USE IN WET LOCATIONS.

12. PROVIDE AT LEAST ONE GFCI OUTLET WITHIN 3 FEET OF EACH SINK IN THE BATHROOMS.

13. AT LEAST ONE NEW LUMINAIRE IN EACH BATHROOM SHALL BE CONTROLLED BY A VACANCY SENOR. 14. PER CEC. AT LEAST ONE 20-AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY THE BATHROOM

RECEPTACLE OUTLETS. THIS CIRCUIT SHALL HAVE NO OTHER OUTLETS. 15. BATHROOM LIGHTING CANNOT BE ON AN OUTLET CIRCUIT.

- 16. PER CEC 410.10(D), NO PARTS OF CORD-CONNECTED LUMINAIRES, CHAIN-, CABLE-, OR CORD-SUSPENDED LUMINAIRES, LIGHTING TRACK, PENDANTS, OR CEILING-SUSPENDED (PADDLE) FANS SHALL BE LOCATED WITHIN A ZONE MEASURED 3 FT HORIZONTALLY AND 8 FT VERTICALLY FROM THE TOP OF THE BATHTUB RIM OR SHOWER STALL THRESHOLD. THIS ZONE IS ALL ENCOMPASSING AND INCLUDES THE SPACE DIRECTLY OVER THE TUB OR SHOWER STALL. LUMINAIRES LOCATED WITHIN THE ACTUAL OUTSIDE DIMENSION OF THE BATHTUB OR SHOWER TO A HEIGHT OF 8 FT VERTICALLY FROM THE TOP OF THE BATHTUB RIM OR SHOWER THRESHOLD SHALL BE MARKED FOR DAMP LOCATIONS, OR MARKED FOR WET LOCATIONS WHERE SUBJECT TO SHOWER
- 17. UNDER CABINET LUMINAIRES SHALL BE SEPERATELY SWITCHED
- 18. A MINIMUM OF (2) 20 AMP GFCI PROTECTED CIRCUITS SHALL SUPPLY ALL KITCHEN COUNTER TOP RECEPTACLES, CEC 210.11 (C)(2), & (C) (3).
- 19. PROVIDE 20 AMP DEDICATED CIRCUITS FOR THE DISHWASHER, GARBAGE DISPOSAL, REFRIGERATOR, MICROWAVE AND RANGE
- 20. RECEPTACLE OUTLETS SHALL BE LOCATED NO MORE THAN 20"ABOVE COUNTER TOP AND NO MORE THAN 12" BELOW IF COUNTER DOES NOT EXTEND MORE THAN 6"FROM BASE. PENINSULA COUNTERTOP SPACES 24"LONG OR GREATER AND SHORT DIMENSION 12" OR GREATER SHALL HAVE AT LEAST ONE RECEPTACLE.
- 21. ALL KITCHEN RECEPTACLES SHALL BE GFCI PROTECTED. CEC 210(A) 5 & 6. 22. THE KITCHEN COUNTERTOP WALLS SHALL BE NO MORE THAN 24" FROM A GFCI OUTLET. THIS DOES NOT APPLY
- TO ANY COUNTERTOP WALLS BEHIND SINKS, RANGES OR MOUNTED COOKTOPS. 23. THE UNDERCOUNTER ELECTRICAL OUTLET SERVING THE DISHWASHER SHALL BE GFCI PROTECTED. MULTI-WIRE DUPLEX RECEPTACLES FOR GARBAGE DISPOSALS & DISHWASHERS REQUIRE A COMMON TRIP BREAKER IN THE
- 24. THE GARBAGE DISPOSAL AND DISHWASHER SHALL BE ON SEPARATE BRANCH CIRCUITS TO PROVIDE OVERLOAD
- PROTECTION FOR MOTOR-OPERATED APPLIANCES. [CEC 422.12(G) AND CEC 430.32] 25. THE MAXIMUM LENGTH FOR A GARBAGE DISPOSAL CORD IS 36"AND A DISHWASHER IS 48". ATTACHMENT PLUG AND RECEPTACLE SHALL BE ACCESSIBLE AND LABELED
- 26. ISLANDS OR PENINSULAS REQUIRE AT LEAST 1 RECEPTACLE. RECEPTACLES MAY NOT BE MORE THAN 12" BELOW THE COUNTER SURFACE OR BE BELOW A COUNTER THAT EXTENDS MORE THAN 6"BEYOND A CABINETS
- 27. IBC 1208.1 A MINIMUM OF 3'-0" CLEARANCE IS REQUIRED BETWEEN THE COUNTER FRONTS AND APPLIANCES, OR COUNTER FRONTS AND WALLS.
- 28. PER CEC 210.11(C)(2). AT LEAST ONE 20-AMPERE BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY THE LAUNDRY RECEPTACLE OUTLET(S). THIS CIRCUIT SHALL HAVE NO OTHER OUTLETS.
- 29. DIMMERS OR VACANCY SENSORS ARE REQUIRED TO CONTROL ALL HIGH-EFFICACY LUMINAIRES, EXCEPT CLOSETS LESS THAN 70 SQ FT & HALLWAYS
- 30. ALL NEW RECESSED LIGHTING SHALL COMPLY WITH THE REFERENCE JOINT APPENDIX JA8 AND SHALL NOT CONTAIN SCREW BASE SOCKET. CA ENERGY SECTIONS 150.0 (K) 1 C.
- 31. RECESSED LIGHTING FIXTURES TO BE LISTED FOR ZERO CLEARANCE INSULATION CONTACT (IC) IN ACCORDANCE
- 32. ALL PROPOSED LIGHTING TO BE HIGH EFFICACY IN ACCORDANCE WITH CEC 150, O (K)(L)(A) 33. ALL NEW OUTDOOR LIGHTING, IF ANY, IS TO BE HIGH-EFFICACY, TO BE CONTROLLED BY AN ON/OFF SWITCH AND INCLUDE ONE OF THE FOLLOWING PER CA ENERGY CODE SECTION 150.0 (K) 3A.:
- PHOTOCELL AND MOTION SENSOR PHOTOCONTROL AND AUTOMATIC TIME SWITCH CONTROL

ASTRONOMICAL TIME CLOCK CONTROLD. a.c.

ENERGY MANAGEMENT CONTROL SYSTEM

- 34. HIGH EFFICACY LUMINAIRES (NEW LIGHTING) TO BE SEPARATELY SWITCHED FROM ANY EXISTING LOW EFFICACY LUMINAIRES PER CEnC 150(K)(2)(A).
- 35. AN ATTIC OR UNDER-FLOOR SPACE IN WHICH AN APPLIANCE IS INSTALLED SHALL BE PROVIDED WITH A PERMANENT 120V RECEPTACLE OUTLET AND A LIGHTING FIXTURE SHALL BE INSTALLED NEAR THE APPLIANCE. THE SWITCH CONTROLLING THE LIGHTING FIXTURE SHALL BE LOCATED AT THE ENTRANCE TO THE ATTIC OR
- 36. PER 2022 RESIDENTIAL COMPLIANCE MANUAL 5.3.4.1 AND 2022 CALIFORNIA ENERGY CODE 150.0(N), FOR NEW GAS OR PROPANE WATER HEATER INSTALLATIONS IN NEW CONSTRUCTION AND ADDITIONS (IF A WATER HEATER IS INSTALLED IN THE ADDED FLOOR AREA), A DEDICATED 125V, 20A ELECTRICAL RECEPTACLE IS REQUIRED. THIS RECEPTACLE SHALL BE INSTALLED WITHIN 3 FEET OF THE WATER HEATER, ACCESSIBLE TO THE WATER HEATER WITH NO OBSTRUCTIONS, AND BE CONNECTED TO A 3 CONDUCTOR WITH A 10 AWG COPPER BRANCH CIRCUIT. IN ADDITION, BOTH ENDS OF THE UNUSED CONDUCTOR SHALL BE LABELED WITH THE WORD "SPARE" AND BE ELECTRICALLY ISOLATED, AND A RESERVED SINGLE POLE CIRCUIT BREAKER SPACE IN THE ELECTRICAL PANEL ADJACENT TO THE CIRCUIT BREAKER FOR THE BRANCH CIRCUIT SHALL BE LABELED WITH THE WORDS "FUTURE 240V USE".

I	Revision History
08/30/22	2ND PROGRESS SET
09/15/22	3RD PROGRESS SET
09/22/22	4TH PROGRESS SET
10/04/22	FLOOR PLAN PROGRESS & SET WINDOWS
12/27/22	DECEMBER PROGRESS SET
5/23/23	MAY PROGRESS SET
6/19/23 - 7/21/23	PLANNING SUBMISSION PREP
02/20/24 -	PLANNING SUBMISSION
3/5/24	SET
05/01/24	⚠ PLANNING COMMENTS



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Drawing By: Chris Klimen klimen@att.net PH: 510.928.1359 Date: JULY 05, 2022

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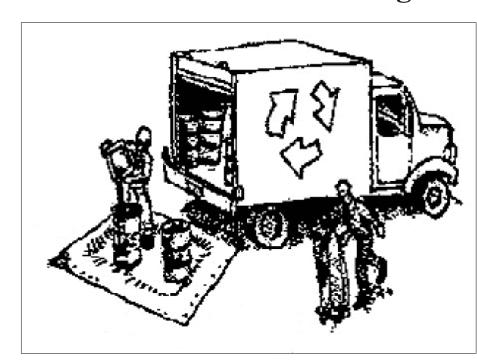
Peter Christopher Klimen DIGITALLY SIGNED BY PETER CHRISTOPHER KLIMEN EMAIL=KLIMEN@ATT.NET DATE: 05/24/24

Project / Job #:

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project. Please note: the wet season begins on October 1 and continues through April 30.

Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

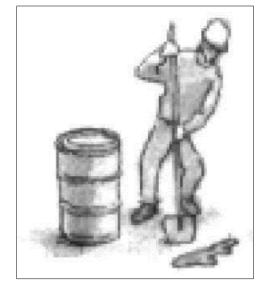
Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fl uids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to suffi ciently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



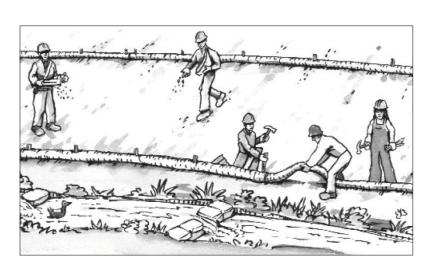
Maintenance and Parking

- ☐ Designate an area, fi tted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fl uids. Recycle or dispose of fl uids as hazardous waste.
- ☐ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ☐ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc.

Spill Prevention and Control

- Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ☐ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ☐ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthwork & **Contaminated** Soils



Erosion Control

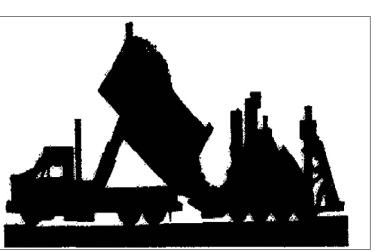
- ☐ Schedule grading and excavation work for dry weather only.
- ☐ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fi ber matrix) until vegetation is established.
- Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.

Sediment Control

- ☐ Protect storm drain inlets, gutters, ditches and drainage courses with appropriate BMPs, such as gravel bags, fiber rolls, berms, etc.
- Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins.
- Keep excavated soil on the site where it will not collect into the street.
- ☐ Transfer excavated materials to dump trucks on the site, not in the street.
- ☐ Contaminated Soils
- ☐ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
- ☐ Unusual soil conditions, discoloration, or odor.
- ☐ Abandoned underground tanks.
- ☐ Abandoned wells
- ☐ Buried barrels, debris, or trash.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

Paving/Asphalt Work

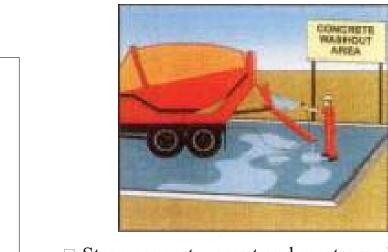


- Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

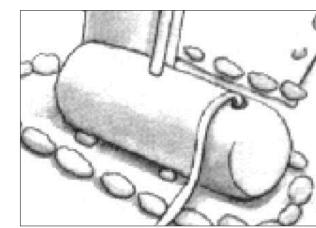
- ☐ Completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain
- Shovel, abosorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is
- If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar **Application**



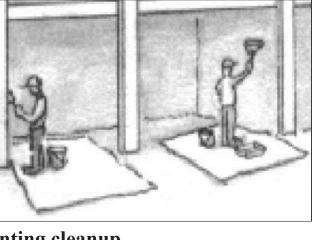
- Store concrete, grout and mortar under cover, on pallets and away from drainage areas. These materials must never reach a storm drain.
- Wash out concrete equipment/trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite.

Dewatering



- Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site. Divert run-on water from offsite away from all disturbed areas or otherwise ensure compliance.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer to determine whether testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

Painting & Paint Removal



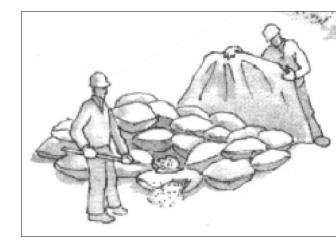
Painting cleanup

- ☐ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface waters.
- For water-based paints, paint out brushes to the extent possible. Rinse to the sanitary sewer once you have gained permission from the local wastewater treatment authority. Never pour paint down a drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of residue and unusable thinner/solvents as hazardous waste

Paint removal

- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead or tributyltin must be disposed of as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.

Landscape Materials



- Contain stockpiled landscaping materials by storing them under tarps when they are not actively being used.
- Stack erodible landscape material on pallets. Cover or store these materials when they are not actively being used or applied.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

Revision History 08/30/22 2ND PROGRESS SET 09/15/22 3RD PROGRESS SET 09/22/22 4TH PROGRESS SET FLOOR PLAN PROGRESS & SET WINDOWS 12/27/22 DECEMBER PROGRESS SET MAY PROGRESS SET 5/23/23 PLANNING SUBMISSION 7/21/23 02/20/24 - PLANNING SUBMISSION 3/5/24 05/01/24 - A PLANNING COMMENTS



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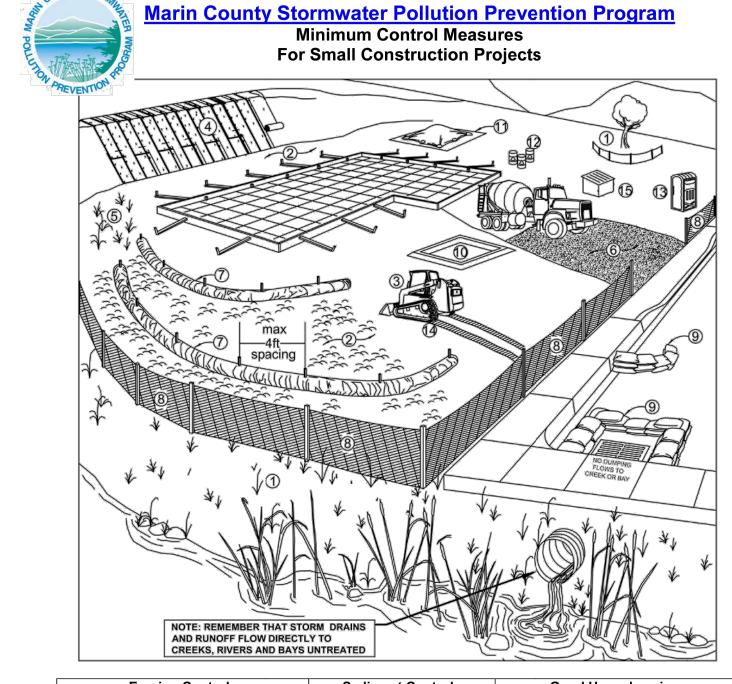
Drawing By: Chris Klimen klimen@att.net PH: 510.928.1359 Date: JULY 05, 2022

Peter Christopher Klimen DIGITALLY SIGNED BY PETER CHRISTOPHER KLIMEN

Project / Job #:

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	NOTE: REMEMBER THAT STO AND RUNOFF FLOW DIRECTL CREEKS, RIVERS AND BAYS	Y TO	11 11/11	
	Erosion Controls		Sediment Controls	Good Housekeeping
NS	Scheduling	6.	Tracking Controls	10. Concrete Washout
1.	Preserve Vegetation & Creek Set Backs	7.	Fiber Rolls	11. Stockpile Management
2.	Soil Cover	8.	Silt Fence	12. Hazardous Material Management
3.	Soil Preparation/ Roughening	9.	Drain Inlet Protection	13. Sanitary Waste Management
4.	Erosion Control Blankets	NS	Trench Dewatering	14. Equipment and Vehicle Maintenance
5.	Revegetation			15. Litter and Waste Management
	not shown on graphic : Select an effective combination of con t	trol m	neasures from each categor	v. Erosion Control. Sediment Control. and
	Housekooping Control measures shall be		•	• • • • • • • • • • • • • • • • • • • •

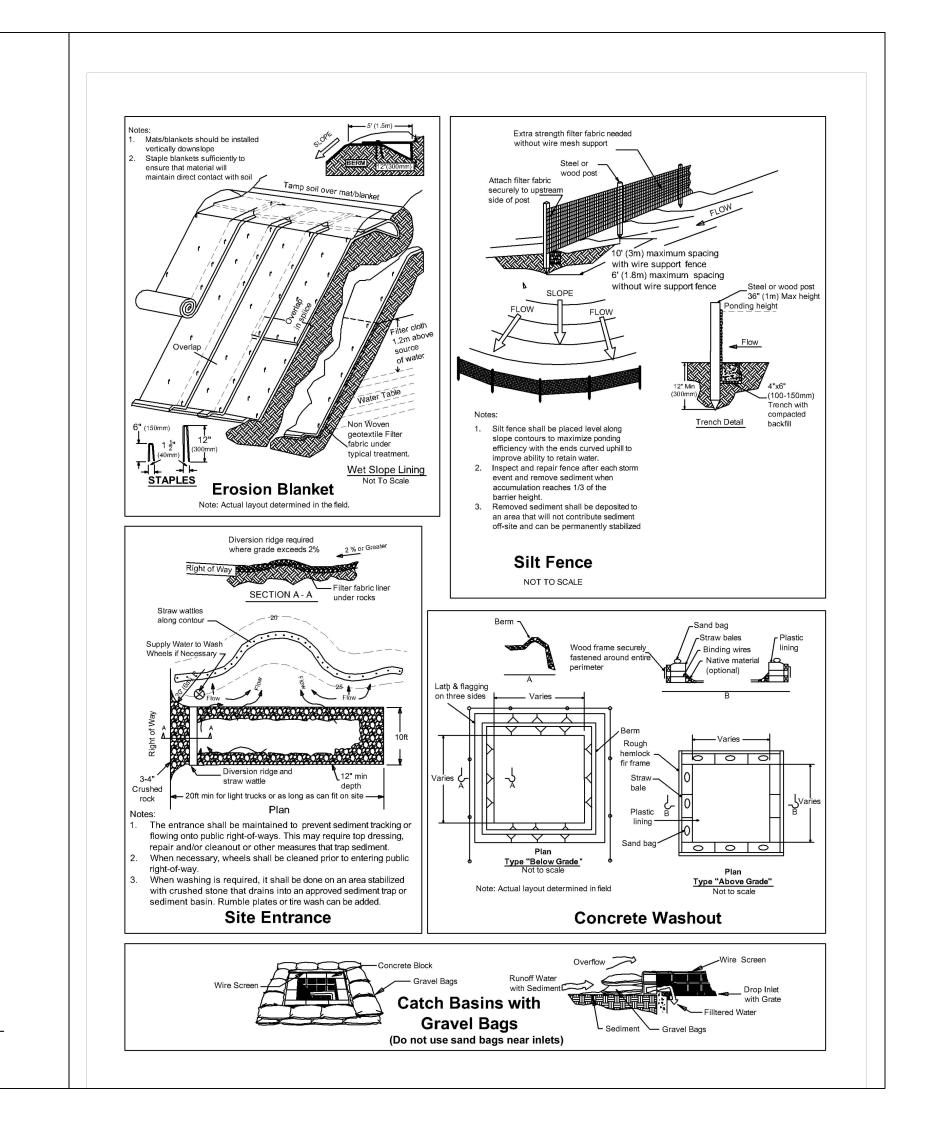
Good Housekeeping. Control measures shall be **continually implemented and maintained throughout the project** until activities are complete, disturbed areas are stabilized with permanent erosion controls, and the local agency has signed off on permits that may have been required for the project. **Inspect and maintain the control measures** before and after rain events, and as required by the local agency or state permit.

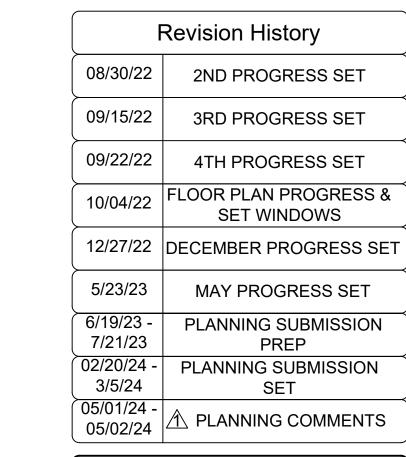
More detailed information on the BMPs can be found in the related California Stormwater Quality Association (CASQA) and California Department of Transportation (Caltrans) BMP Factsheets. CASQA factsheets are available by subscription in the *California Best Management Practices Handbook Portal: Construction* at http://www.casqa.org. Caltrans factsheets are available in the *Construction Site BMP Manual March 2003* at http://www.dot.ca.gov/hq/construc/stormwater/manuals.htm.

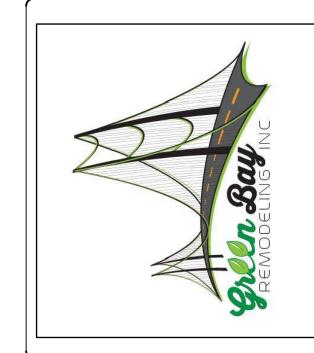
If you require materials in alternative formats, please contact: 415-473-4381 voice/TTY or disabilityaccess@co.marin.ca.us

Visit www.mcstoppp.org for more information on construction site management and Erosion and Sediment Control Plans.

Cont	rol Measure	General Description
Eros	ion Control Best M	anagement Practices
N/A	Scheduling	Plan the project and develop a schedule showing each phase of construction. Schedule construction activitie to reduce erosion potential, such as scheduling ground disturbing activities during the summer and phasing projects to minimize the amount of area disturbed. For more info see the following factsheets: CASQA: ECor Caltrans: SS-1.
1	Preserve Existing Vegetation and Creek Setbacks	Preserve existing vegetation to the extent possible, especially along creek buffers. Show creek buffers on maps and identify areas to be preserved in the field with temporary fencing. Check with the local Planning a Public Works Departments for specific creek set back requirements. For more info see the following factsheets: CASQA: EC-2; or Caltrans: SS-2.
2	Soil Cover	Cover exposed soil with straw mulch and tackifier (or equivalent). For more info see the following factsheets CASQA: EC-3, EC-5, EC-6, EC-7, EC-8, EC-14, EC-16; or Caltrans: SS-2, SS-4, SS-5, SS-6, SS-7, SS-8.
З	Soil Preparation/ Roughening	Soil preparation is essential to vegetation establishment and BMP installation. It includes soil testing and amendments to promote vegetation growth as well as roughening surface soils by mechanical methods (decompacting, scarifying, stair stepping, etc.). For more info see the following factsheets: CASQA: EC-15.
4	Erosion Control Blankets	Install erosion control blankets (or equivalent) on disturbed sites with 3:1 slopes or steeper. Use wildlife-friendly blankets made of biodegradable natural materials. Avoid using blankets made with plastic netting or fixed aperture netting. See: http://www.coastal.ca.gov/nps/Wildlife-Friendly Products.pdf. For more info see the following factsheets: CASQA: EC-7; or Caltrans: SS-7.
5	Revegetation	Re-vegetate areas of disturbed soil or vegetation as soon as practical. For more info see the following factsheets: CASQA: EC-4; or Caltrans: SS-4.
Sedi	ment Control Best	Management Practices
6	Tracking Controls	Stabilize site entrance to prevent tracking soil offsite. Inspect streets daily and sweep street as needed. Require vehicles and workers to use stabilized entrance. Place crushed rock 12-inches deep over a geotextile, using angular rock between 4 and 6-in. Make the entrance as long as can be accommodated on the site, ideally long enough for 2 revolutions of the maximum tire size (16-20 feet long for most light trucks) Make the entrance wide enough to accommodate the largest vehicle that will access the site, ideally 10 feet wide with sufficient radii for turning in and out of the site. Rumble pads or rumble racks can be used in lieu or in conjunction with rock entrances. Wheel washes may be needed where space is limited or where the site entrance and sweeping is not effective. For more info see the following factsheets: CASQA: TC-1; TC-3; or Caltrans: TC-1; TC-3.
7	Fiber Rolls	Use fiber rolls as a perimeter control measure, along contours of slopes, and around soil stockpiles. On slopes space rolls 10 to 20 feet apart (using closer spacing on steeper slopes). Install parallel to contour. If more than one roll is used in a row overlap roll do not abut. J-hook end of roll upslope. Install rolls per either Type 1 (stake rolls into shallow trenches) or Type 2 (stake in front and behind roll and lash with rope). Use wildlife-friendly fiber rolls made of biodegradable natural materials. Avoid using fiber rolls made with plastic netting or fixed aperture netting. See: http://www.coastal.ca.gov/nps/Wildlife-Friendly Products.pdf . Manufactured linear sediment control or compost socks can be used in lieu of fiber rolls. For more info see the following factsheets: CASQA: SE-5 (Type 1); SE-12, SE-13; or Caltrans: SC-5 (Type and Type 2).
8	Silt Fence	Use silt fence as a perimeter control measure, and around soil stockpiles. Install silt fence along contours. Key silt fence into the soil and stake. Do not use silt fence for concentrated water flows. Install fence at least feet back from the slope to allow for sediment storage. Wire backed fence can be used for extra strength. Avoid installing silt fence on slopes because they are hard to maintain. Manufactured linear sediment contro can be used in lieu of silt fences. For more info see the following factsheets: CASQA: SE-1; SE-12; or Caltrans: SC-1.
9	Drain Inlet Protection	Use gravel bags, (or similar product) around drain inlets located both onsite and in gutter as a last line of defense. Bags should be made of a woven fabric resistant to photo-degradation filled with 0.5-1-in washed crushed rock. Do not use sand bags or silt fence fabric for drain inlet protection. For more info see the following factsheets: CASQA: SE-10; or. Caltrans: SC-10.
N/A	Trench Dewatering	Follow MCSTOPPP BMPs for trench dewatering. http://www.marincounty.org/depts/pw/divisions/mcstoppp/development/~/media/Files/Departments/PW/mcstoppp/development/TrenchingSWReqMCSTOPPPFinal69.pdf. For more info see the following factsheets: CASQA: NS-2; or Caltrans: NS-2.
Good	d Housekeeping Be	est Management Practices
10	Concrete Washout	Construct a lined concrete washout site away from storm drains, waterbodies, or other drainages. Ideally, place adjacent to stabilized entrance. Clean as needed and remove at end of project. For more info see the following factsheets: CASQA: WM-8; or .Caltrans: WM-8.
11	Stockpile Management	Cover all stockpiles and landscape material and berm properly with fiber rolls or sand bags. Keep behind the site perimeter control and away from waterbodies. For more info see the following factsheets: CASQA: WM-or Caltrans: WM-3.
12	Hazardous Material Management	Hazardous materials must be kept in closed containers that are covered and within secondary containment; do not place containers directly on soil. For more info see the following factsheets: CASQA: WM-6; or Caltrans: WM-6.
13	Sanitary Waste Management	Place portable toilets near stabilized site entrance, behind the curb and away from gutters, storm drain inlets and waterbodies. Tie or stake portable toilets to prevent tipping and equip units with overflow pan/tray (most vendors provide these). For more info see the following factsheets: CASQA: WM-9; or Caltrans: WM-9.
14	Equipment and Vehicle Maintenance	Prevent equipment fluid leaks onto ground by placing drip pans or plastic tarps under equipment. Immediate clean up any spills or drips. For more info see the following factsheets: CASQA: NS-8, NS-9, and NS-10; or Caltrans: NS-8, NS-9, and NS-10.
15	Litter and Waste Management	Designate waste collection areas on site. Use watertight dumpsters and trash cans; inspect for leaks. Cover at the end of each work day and when it is raining or windy. Arrange for regular waste collection. Pick up site litter daily. For more info see the following factsheets: CASQA: WM-5; or Caltrans: WM-5.







FOS DR 94904-1124
771-14
ER: R HEWLETT 80-4967
ROS DR

GREENBRAE, CA 94904-1 APN: 070-071-14 OWNER:

Drawing By:
Chris Klimen
klimen@att.net
PH: 510.928.1359
Date: JULY 05, 2022
Project / Job #:

Peter Christopher Klimen

DIGITALLY SIGNED BY PETER CHRISTOPHER KLIMEN

EMAIL=KLIMEN@ATT.NET DATE: 05/24/24

POLLUTION
PREVENTION
EROSION
CONTROL

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2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)

NOT APPLICABLE RESPONSIBLE PARTY (ie: ARCHITECT, ENGINEER OWNER, CONTRACTOR, INSPECTOR ETC.)

GREEN BUILDING SECTION 301 GENERAL 301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the

application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7. 301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the

The mandatory provision of Section 4.106.4.2 may apply to additions or alterations of existing parking facilities or the addition of new parking facilities serving existing multifamily buildings. See Section

Note: Repairs including, but not limited to, resurfacing, restriping and repairing or maintaining existing lighting fixtures are not considered alterations for the purpose of this section.

Note: On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.

301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] The provisions of individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential buildings, or both. Individual sections will be designated by banners to indicate where the section applies specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and high-rise buildings, no banner will be used.

SECTION 302 MIXED OCCUPANCY BUILDINGS

specific area of the addition or alteration.

302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy.

1. [HCD] Accessory structures and accessory occupancies serving residential buildings shall

comply with Chapter 4 and Appendix A4, as applicable. 2. [HCD] For purposes of CALGreen, live/work units, complying with Section 419 of the California Building Code, shall not be considered mixed occupancies. Live/Work units shall comply with Chapter 4 and Appendix A4, as applicable.

DIVISION 4.1 PLANNING AND DESIGN

ABBREVIATION DEFINITIONS: Department of Housing and Community Development

California Building Standards Commission Division of the State Architect, Structural Safety OSHPD Office of Statewide Health Planning and Development Low Rise

Additions and Alterations

RESIDENTIAL MANDATORY MEASURES

SECTION 4.102 DEFINITIONS 4.102.1 DEFINITIONS

The following terms are defined in Chapter 2 (and are included here for reference)

FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar pervious material used to collect or channel drainage or runoff water

WATTLES. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also

4.106.1 GENERAL. Preservation and use of available natural resources shall be accomplished through evaluation and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, management of storm water drainage and erosion controls shall comply with this section.

☑ ☐ CONTRACTOR 4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site.

> Retention basins of sufficient size shall be utilized to retain storm water on the site. 2. Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by use of a barrier system, wattle or other method approved

3. Compliance with a lawfully enacted storm water management ordinance.

Note: Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or

are part of a larger common plan of development which in total disturbs one acre or more of soil. (Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html)

4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following:

Water collection and disposal systems

French drains . Water retention gardens

5. Other water measures which keep surface water away from buildings and aid in groundwater

Exception: Additions and alterations not altering the drainage path.

4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections 4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625.

1. On a case-by-case basis, where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following conditions: 1.1 Where there is no local utility power supply or the local utility is unable to supply adequate

1.2 Where there is evidence suitable to the local enforcing agency substantiating that additional local utility infrastructure design requirements, directly related to the implementation of Section 4.106.4, may adversely impact the construction cost of the project.

2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional parking facilities.

4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere 208/240-volt minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.

Exemption: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the proposed location of an EV charger at the time of original construction in accordance with the California Electrical Code.

4.106.4.1.1 Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE".

4.106.4.2 New multifamily dwellings, hotels and motels and new residential parking facilities. When parking is provided, parking spaces for new multifamily dwellings, hotels and motels shall meet the requirements of Sections 4.106.4.2.1 and 4.106.4.2.2. Calculations for spaces shall be rounded up to the nearest whole number. A parking space served by electric vehicle supply equipment or designed as a future EV charging space shall count as at least one standard automobile parking space only for the purpose of complying with any

4.106.4.2.1Multifamily development projects with less than 20 dwelling units; and hotels and motels with less than 20 sleeping units or quest rooms. The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to

applicable minimum parking space requirements established by a local jurisdiction. See Vehicle Code Section 22511.2

1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all

The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.

1.When EV chargers (Level 2 EVSE) are installed in a number equal to or greater than the required number

2.When EV chargers (Level 2 EVSE) are installed in a number less than the required number of EV capable spaces, the number of EV capable spaces required may be reduced by a number equal to the number of

a. Construction documents are intended to demonstrate the project's capability and capacity for facilitating

EV chargers are installed for use. 2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per dwelling unit when more than one parking space is provided for use by a single dwelling unit.

b.There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or

Exception: Areas of parking facilities served by parking lifts.

EVs at all required EV spaces at a minimum of 40 amperes.

4.106.4.2.2 Multifamily development projects with 20 or more dwelling units, hotels and motels with 20 or more sleeping units or guest rooms. The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to

1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at a minimum of 40 amperes.

The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPÁBLE" in accordance with the California Electrical Code.

Exception: When EV chargers (Level 2 EVSE) are installed in a number greater than five (5) percent of parking spaces required by Section 4.106.4.2.2, Item 3, the number of EV capable spaces required may be reduced by a number equal to the number of EV chargers installed over the five (5) percent required.

a. Construction documents shall show locations of future EV spaces.

b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.

2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per dwelling unit when more than one parking space is provided for use by a single dwelling unit.

Exception: Areas of parking facilities served by parking lifts.

3.EV Chargers. Five (5) percent of the total number of parking spaces shall be equipped with Level 2 EVSE. Where common use parking is provided, at least one EV charger shall be located in the common use parking area and shall be available for use by all residents or guests.

When low power Level 2 EV charging receptacles or Level 2 EVSE are installed beyond the minimum required, an automatic load management system (ALMS) may be used to reduce the maximum required electrical capacity to each space served by the ALMS. The electrical system and any on-site distribution transformers shall have sufficient capacity to deliver at least 3.3 kW simultaneously to each EV charging station (EVCS) served by the ALMS. The branch circuit shall have a minimum capacity of 40 amperes, and installed EVSE shall have a capacity of not less than 30 amperes. ALMS shall not be used to reduce the minimum required electrical capacity to the required EV capable spaces.

4.106.4.2.2.1 Electric vehicle charging stations (EVCS). Electric vehicle charging stations required by Section 4.106.4.2.2, Item 3, shall comply with Section 4.106.4.2.2.1

Exception: Electric vehicle charging stations serving public accommodations, public housing, motels and hotels shall not be required to comply with this section. See California Building Code, Chapter 11B, for applicable

4.106.4.2.2.1.1 Location.

EVCS shall comply with at least one of the following options:

1.The charging space shall be located adjacent to an accessible parking space meeting the requirements of the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking space.

2.The charging space shall be located on an accessible route, as defined in the California Building Code,

Exception: Electric vehicle charging stations designed and constructed in compliance with the California Building Code, Chapter 11B, are not required to comply with Section 4.106.4.2.2.1.1 and Section

4.106.4.2.2.1.2 Electric vehicle charging stations (EVCS) dimensions. The charging spaces shall be designed to comply with the following:

1. The minimum length of each EV space shall be 18 feet (5486 mm). 2. The minimum width of each EV space shall be 9 feet (2743 mm).

3.One in every 25 charging spaces, but not less than one, shall also have an 8-foot (2438 mm) wide minimum

aisle. A 5-foot (1524 mm) wide minimum aisle shall be permitted provided the minimum width of the EV space is a.Surface slope for this EV space and the aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083

percent slope) in any direction.

4.106.4.2.2.1.3 Accessible EV spaces. In addition to the requirements in Sections 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2, all EVSE, when installed, shall

comply with the accessibility provisions for EV chargers in the California Building Code, Chapter 11B. EV ready spaces and EVCS in multifamily developments shall comply with California Building Code, Chapter 11A, Section

1. Single EV space required. Install a listed raceway capable of accommodating a 208/240-volt dedicated branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the location or the proposed location of the EV space. Construction documents shall identify the raceway termination point, receptacle or charger location, as applicable. The service panel and/ or subpanel shall have a 40-ampere minimum dedicated branch circuit, including branch circuit overcurrent protective device installed, or space(s) reserved to permit installation of a branch circuit overcurrent protective device.

Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the location or the proposed location of the EV space, at the time of original construction in accordance with the California Electrical Code.

2.Multiple EV spaces required. Construction documents shall indicate the raceway termination point and the location of installed or future EV spaces, receptacles or EV chargers. Construction documents shall also provide information on amperage of installed or future receptacles or EVSE, raceway method(s), wiring schematics and electrical load calculations. Plan design shall be based upon a 40-ampere minimum branch circuit. Required raceways and related components that are planned to be installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the time of original construction.

exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the location or the proposed location of the EV space at the time of original construction in accordance with the California Electrical Code.

The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.

4.106.4.2.5 Electric Vehicle Ready Space Signage. Electric vehicle ready spaces shall be identified by signage or pavement markings, in compliance with Caltrans Traffic Operations Policy Directive 13-01 (Zero Emission Vehicle Signs and Pavement Markings) or its

4.106.4.3 Electric vehicle charging for additions and alterations of parking facilities serving existing multifamily buildings When new parking facilities are added, or electrical systems or lighting of existing parking facilities are added or

altered and the work requires a building permit, ten (10) percent of the total number of parking spaces added or altered shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE.

1.Construction documents are intended to demonstrate the project's capability and capacity for facilitating future

2. There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use.

DIVISION 4.2 ENERGY EFFICIENCY

4.201.1 SCOPE. For the purposes of mandatory energy efficiency standards in this code, the California Energy Commission will continue to adopt mandatory standards.

DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION 4.303 INDOOR WATER USE

4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3,

Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy, or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.

4.303.1.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense

Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume

4.303.1.2 Urinals. The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush. 4.303.1.3 Showerheads

4.303.1.3.1 Single Showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.

4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only allow one shower outlet to be in operation at a time

Note: A hand-held shower shall be considered a showerhead.

4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi.

4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. The maximum flow rate of lavatory faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gallons per minute at 60 psi.

4.303.1.4.3 Metering Faucets. Metering faucets when installed in residential buildings shall not deliver more than 0.2 gallons per cycle.

4.303.1.4.4 Kitchen Faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per

Note: Where complying faucets are unavailable, aerators or other means may be used to achieve

4.303.1.4.5 Pre-rinse spray valves.

When installed, shall meet the requirements in the California Code of Regulations, Title 20 (Appliance Efficiency Regulations), Sections 1605.1 (h)(4) Table H-2, Section 1605.3 (h)(4)(A), and Section 1607 (d)(7) and shall be equipped with an integral automatic shutoff.

FOR REFERENCE ONLY: The following table and code section have been reprinted from the California Code of Regulations, Title 20 (Appliance Efficiency Regulations), Section 1605.1 (h)(4) and Section

TABLE H-2 STANDARDS FOR COMMERCIAL PRE-RINSE SPRAY VALUES MANUFACTURED ON OR AFTER JANUARY 28, 2019

PRODUCT CLASS MAXIMUM FLOW RATE (gpm) [spray force in ounce force (ozf)] Product Class 1 (\leq 5.0 ozf) 1.00 Product Class 2 (> 5.0 ozf and \leq 8.0 ozf) 1.20 Product Class 3 (> 8.0 ozf)

Title 20 Section 1605.3 (h)(4)(A): Commercial prerinse spray values manufactured on or after January 1, 2006, shall have a minimum spray force of not less than 4.0 ounces-force (ozf)[113 grams-force(gf)]

4.303.2 Submeters for multifamily buildings and dwelling units in mixed-used residential/commercial Submeters shall be installed to measure water usage of individual rental dwelling units in accordance with the California Plumbing Code.

4.303.3 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 1701.1 of the California Plumbing Code.

THIS TABLE COMPILES THE DATA IN SECTION 4.303.1, AND IS INCLUDED AS A CONVENIENCE FOR TABLE - MAXIMUM FIXTURE WATER USE

FIXTURE TYPE FLOW RATE SHOWER HEADS (RESIDENTIAL) 1.8 GMP @ 80 PSI LAVATORY FAUCETS (RESIDENTIAL) MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 PSI LAVATORY FAUCETS IN COMMON & PUBLIC USE 0.5 GPM @ 60 PSI KITCHEN FAUCETS 1.8 GPM @ 60 PSI 0.2 GAL/CYCLE METERING FAUCETS WATER CLOSET 1.28 GAL/FLUSH 0.125 GAL/FLUSH

4.304 OUTDOOR WATER USE 4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.

1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code Regulations. Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget calculator, are available at: https://www.water.ca.gov/

DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY

4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE **4.406.1 RODENT PROOFING.** Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing

4.408 CONSTRUCTION WASTE REDUCTION. DISPOSAL AND RECYCLING **4.408.1 CONSTRUCTION WASTE MANAGEMENT.** Recycle and/or salvage for reuse a minimum of 65 percent of the non-hazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste

management ordinance

Excavated soil and land-clearing debris. Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably

3. The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility. 4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan

in conformance with Items 1 through 5. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency. Identify the construction and demolition waste materials to be diverted from disposal by recycling,

reuse on the project or salvage for future use or sale.

Specify if construction and demolition waste materials will be sorted on-site (source separated) or bulk mixed (single stream). 3. Identify diversion facilities where the construction and demolition waste material collected will be

4. Identify construction methods employed to reduce the amount of construction and demolition waste Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.

4.408.3 WASTE MANAGEMENT COMPANY. Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with Section 4.408.1.

Note: The owner or contractor may make the determination if the construction and demolition waste materials will be diverted by a waste management company. **4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR].** Projects that generate a total combined

weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4

lbs./sq.ft. of the building area shall meet the minimum 65% construction waste reduction requirement in 4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds

per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1 **4.408.5 DOCUMENTATION.** Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.408.2, items 1 through 5, Section 4.408.3 or Section 4.408.4...

(Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in documenting compliance with this section. 2. Mixed construction and demolition debris (C & D) processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle).

1. Sample forms found in "A Guide to the California Green Building Standards Code

4.410 BUILDING MAINTENANCE AND OPERATION

4.410.1 OPERATION AND MAINTENANCE MANUAL. At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building:

Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure. Operation and maintenance instructions for the following: a. Equipment and appliances, including water-saving devices and systems, HVAC systems,

photovoltaic systems, electric vehicle chargers, water-heating systems and other major appliances and equipment b. Roof and yard drainage, including gutters and downspouts Space conditioning systems, including condensers and air filters.

Landscape irrigation systems. e. Water reuse systems. Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations.

Public transportation and/or carpool options available in the area. 5. Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range.

Information about water-conserving landscape and irrigation design and controllers which conserve 7. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation.

8. Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc. Information about state solar energy and incentive programs available. 10. A copy of all special inspections verifications required by the enforcing agency or this code.

11. Information from the Department of Forestry and Fire Protection on maintenance of defensible

space around residential structures. 12. Information and/or drawings identifying the location of grab bar reinforcements. **4.410.2 RECYCLING BY OCCUPANTS.** Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the

depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waster, and metals, or meet a lawfully enacted local recycling

Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et seq. are note required to comply with the organic waste portion of

DIVISION 4.5 ENVIRONMENTAL QUALITY

The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors.

SECTION 4.501 GENERAL

SECTION 4.502 DEFINITIONS 5.102.1 DEFINITIONS

cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements.

The following terms are defined in Chapter 2 (and are included here for reference) **AGRIFIBER PRODUCTS.** Agrifiber products include wheatboard, strawboard, panel substrates and door

COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated wood I-joists or finger-jointed lumber, all as specified in California Code of regulations (CCR), title 17, Section

DIRECT-VENT APPLIANCE. A fuel-burning appliance with a sealed combustion system that draws all air for combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere.

Revision History 08/30/22 2ND PROGRESS SET 3RD PROGRESS SET 09/22/22 4TH PROGRESS SET FLOOR PLAN PROGRESS & SET WINDOWS 12/27/22 DECEMBER PROGRESS SET 5/23/23 MAY PROGRESS SET PLANNING SUBMISSION 02/20/24 - PLANNING SUBMISSION 3/5/24 A PLANNING COMMENTS



FICE & MASTER
HROOM ADDITION
LOS CERROS DR
BRAE, CA 94904-11
PN: 070-071-14

OWNER:
HEATHER HEWLE
(650) 380-4967
LOS CERROS DR
3RAE, CA 94904-11

Drawing By: Chris Klimen klimen@att.net PH: 510.928.1359 Date: JULY 05, 2022 Project / Job #:

Peter Christopher Klimen DIGITALLY SIGNED BY PETER CHRISTOPHER KLIMEN EMAIL=KLIMEN@ATT.NET DATE: 05/24/24

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2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 2 (January 2023)

MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to hundredths Note: MIR values for individual compounds and hydrocarbon solvents are specified in CCR, Title 17, Sections 94700 and

MOISTURE CONTENT. The weight of the water in wood expressed in percentage of the weight of the oven-dry wood. PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of

REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to

VOC. A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a).

4.503 FIREPLACES

4.503.1 GENERAL. Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.

4.504 POLLUTANT CONTROL
4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING

CONSTRUCTION. At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debris which may enter the system.

ACTOR 4.504.2 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with this section.

4.504.2.1 Adhesives, Sealants and Caulks. Adhesives, sealant and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality

- 1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and tricloroethylene), except for aerosol products, as specified in Subsection 2 below.
- 2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, commencing with section 94507.

4.504.2.2 Paints and Coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in

4.504.2.3 Aerosol Paints and Coatings. Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of California Code of Regulations, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation

4.504.2.4 Verification. Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following:

 Manufacturer's product specification. 2. Field verification of on-site product containers.

TABLE 4.504.1 - ADHESIVE VOC LIMI	$T_{1,2}$
(Less Water and Less Exempt Compounds in Gram	ns per Liter)
ARCHITECTURAL APPLICATIONS	VOC LIMIT
INDOOR CARPET ADHESIVES	50
CARPET PAD ADHESIVES	50
OUTDOOR CARPET ADHESIVES	150
WOOD FLOORING ADHESIVES	100
RUBBER FLOOR ADHESIVES	60
SUBFLOOR ADHESIVES	50
CERAMIC TILE ADHESIVES	65
VCT & ASPHALT TILE ADHESIVES	50
DRYWALL & PANEL ADHESIVES	50
COVE BASE ADHESIVES	50
MULTIPURPOSE CONSTRUCTION ADHESIVE	70
STRUCTURAL GLAZING ADHESIVES	100
SINGLE-PLY ROOF MEMBRANE ADHESIVES	250
OTHER ADHESIVES NOT LISTED	50
SPECIALTY APPLICATIONS	
PVC WELDING	510
CPVC WELDING	490
ABS WELDING	325
PLASTIC CEMENT WELDING	250
ADHESIVE PRIMER FOR PLASTIC	550
CONTACT ADHESIVE	80
SPECIAL PURPOSE CONTACT ADHESIVE	250
STRUCTURAL WOOD MEMBER ADHESIVE	140
TOP & TRIM ADHESIVE	250
SUBSTRATE SPECIFIC APPLICATIONS	
METAL TO METAL	30
PLASTIC FOAMS	50
POROUS MATERIAL (EXCEPT WOOD)	50
WOOD	30
FIBERGLASS	80

1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE

ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.

2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.

(Less Water and Less Exempt Compounds in Gr	ams per Liter)
SEALANTS	VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	450
OTHER	420
SEALANT PRIMERS	
ARCHITECTURAL	
NON-POROUS	250
POROUS	775
MODIFIED BITUMINOUS	500
MARINE DECK	760
OTHER	750

TABLE 4.504.3 - VOC CONTENT LIMITS FOR

GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT

ARCHITECTURAL COATINGS2,3

COATING CATEGORY	VOC LIMIT
LAT COATINGS	50
NON-FLAT COATINGS	100
IONFLAT-HIGH GLOSS COATINGS	150
SPECIALTY COATINGS	
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
TRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH TEMPERATURE COATINGS	420
NDUSTRIAL MAINTENANCE COATINGS	250
OW SOLIDS COATINGS1	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS, & UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACS	
CLEAR	730
DPAQUE	550
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100
STAINS	250
TONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
RAFFIC MARKING COATINGS	100
TUB & TILE REFINISH COATINGS	420
NATERPROOFING MEMBRANES	250
WOOD COATINGS	275
NOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340

1. GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER & EXEMPT 2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE

LISTED IN SUBSEQUENT COLUMNS IN THE TABLE. 3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM

THE AIR RESOURCES BOARD.

	TABLE 4.504.5 - FORMALDEHYDE LIM	ITS ₁
	MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS	PER MILLION
	PRODUCT	CURRENT LIMIT
	HARDWOOD PLYWOOD VENEER CORE	0.05
	HARDWOOD PLYWOOD COMPOSITE CORE	0.05
	PARTICLE BOARD	0.09
	MEDIUM DENSITY FIBERBOARD	0.11
	THIN MEDIUM DENSITY FIBERBOARD2	0.13

- 1. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIF. AIR RESOURCES BOARD, AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIF. CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH 93120.12.
- 2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF

DIVISION 4.5 ENVIRONMENTAL QUALITY (continued) 4.504.3 CARPET SYSTEMS. All carpet installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California

See California Department of Public Health's website for certification programs and testing labs.

https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs. https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.

4.504.4 RESILIENT FLOORING SYSTEMS. Where resilient flooring is installed , at least 80% of floor area receiving resilient flooring shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

hhtps://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx

4.504.5 COMPOSITE WOOD PRODUCTS. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.5

4.504.5.1 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:

- Product certifications and specifications. Chain of custody certifications.
- Product labeled and invoiced as meeting the Composite Wood Products regulation (see CCR. Litle 17. Section 93120, et sea.).
- 4. Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269, European 636 3S standards, and Canadian CSA
- 0121, CSA 0151, CSA 0153 and CSA 0325 standards. 5. Other methods acceptable to the enforcing agency.

4.505 INTERIOR MOISTURE CONTROL **4.505.1 General.** Buildings shall meet or exceed the provisions of the *California Building Standards Code*.

4.505.2 CONCRETE SLAB FOUNDATIONS. Concrete slab foundations required to have a vapor retarder by California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section.

4.505.2.1 Capillary break. A capillary break shall be installed in compliance with at least one of the

- 1. A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curling, shall be used. For additional information, see American Concrete Institute,
- 2. Other equivalent methods approved by the enforcing agency. 3. A slab design specified by a licensed design professional.

moisture content. Moisture content shall be verified in compliance with the following:

- 4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent
- 1. Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent
- moisture verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 101.8 of this code.
- 2. Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped of each piece verified.
- 3. At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing.
- Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying

recommendations prior to enclosure.

4.506 INDOOR AIR QUALITY AND EXHAUST | Contractor 4.506.1 Bathroom exhaust fans. Each bathroom shall be mechanically ventilated and shall comply with the following:

- 1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building. 2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a

a. Humidity controls shall be capable of adjustment between a relative humidity range less than or

- equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of
- b. A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in)

1. For the purposes of this section, a bathroom is a room which contains a bathtub, shower or

2. Lighting integral to bathroom exhaust fans shall comply with the *California Energy Code*.

4.507 ENVIRONMENTAL COMFORT 4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. Heating and air conditioning systems shall be sized,

designed and have their equipment selected using the following methods: 1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential

Load Calculation), ASHRAE handbooks or other equivalent design software or methods. 2. Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods. 3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential Equipment Selection), or other equivalent design software or methods.

Exception: Use of alternate design temperatures necessary to ensure the system functions are

09/22/22 **INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS**

Examples of acceptable HVAC training and certification programs include but are not limited to the following:

 State certified apprenticeship programs. 2. Public utility training programs.

Training programs sponsored by trade, labor or statewide energy consulting or verification organizations. 4. Programs sponsored by manufacturing organizations.

certification program. Uncertified persons may perform HVAC installations when under the direct supervision and

702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or

5. Other programs acceptable to the enforcing agency.

CHAPTER 7

702 QUALIFICATIONS

702.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector:

> 1. Certification by a national or regional green building program or standard publisher. 2. Certification by a statewide energy consulting or verification organization, such as HERS raters, building

2. HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate

- performance contractors, and home energy auditors. Successful completion of a third party apprentice training program in the appropriate trade.
- 4. Other programs acceptable to the enforcing agency.

1. Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.

homes in California according to the Home Energy Rating System (HERS).

shall be closely related to the primary job function, as determined by the local agency.

[BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a recognized state, national or international association, as determined by the local agency. The area of certification

Note: Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.

703 VERIFICATIONS

703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate section or identified applicable checklist.

Revision History 08/30/22 2ND PROGRESS SET 3RD PROGRESS SET 4TH PROGRESS SET FLOOR PLAN PROGRESS & SET WINDOWS 12/27/22 DECEMBER PROGRESS SET 5/23/23 MAY PROGRESS SET responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. PLANNING SUBMISSION 02/20/24 - PLANNING SUBMISSION 3/5/24 A PLANNING COMMENTS



Drawing By: Chris Klimen klimen@att.net PH: 510.928.1359 Date: JULY 05, 2022

Peter Christopher Klimen DIGITALLY SIGNED BY PETER CHRISTOPHER KLIMEN EMAIL=KLIMEN@ATT.NET DATE: 05/24/24

§ 110.3(c)3: surface heat loss rating.

5/6/22

2022 Single-Family Residential Mandatory Requirements Summary

NOTE: Single-family residential buildings subject to the Energy Codes must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the respective section for more information.

(04/2022)	
Building Envel	ope:
§ 110.6(a)1:	Air Leakage. Manufactured fenestration, exterior doors, and exterior pet doors must limit air leakage to 0.3 CFM per square foot or less when tested per NFRC-400, ASTM E283, or AAMA/WDMA/CSA 101/I.S.2/A440-2011. *
§ 110.6(a)5:	Labeling. Fenestration products and exterior doors must have a label meeting the requirements of § 10-111(a).
§ 110.6(b):	Field fabricated exterior doors and fenestration products must use U-factors and solar heat gain coefficient (SHGC) values from Tables 110.6-A, 110.6-B, or JA4.5 for exterior doors. They must be caulked and/or weather-stripped. *
§ 110.7:	Air Leakage. All joints, penetrations, and other openings in the building envelope that are potential sources of air leakage must be caulked, gasketed, or weather stripped.
§ 110.8(a):	Insulation Certification by Manufacturers. Insulation must be certified by the Department of Consumer Affairs, Bureau of Household Goods and Services (BHGS).
§ 110.8(g):	Insulation Requirements for Heated Slab Floors. Heated slab floors must be insulated per the requirements of § 110.8(g).
§ 110.8(i):	Roofing Products Solar Reflectance and Thermal Emittance. The thermal emittance and aged solar reflectance values of the roofing material must meet the requirements of § 110.8(i) and be labeled per §10-113 when the installation of a cool roof is specified on the CF1R.
§ 110.8(j):	Radiant Barrier. When required, radiant barriers must have an emittance of 0.05 or less and be certified to the Department of Consumer Affairs.
§ 150.0(a):	Roof Deck, Ceiling and Rafter Roof Insulation. Roof decks in newly constructed attics in climate zones 4 and 8-16 area-weighted average U-factor not exceeding U-0.184. Ceiling and rafter roofs minimum R-22 insulation in wood-frame ceiling; or area-weighted average U-factor must not exceed 0.043. Rafter roof alterations minimum R-19 or area-weighted average U-factor of 0.054 or less. Attic access doors must have permanently attached insulation using adhesive or mechanical fasteners. The attic access must be gasketed to prevent air leakage. Insulation must be installed in direct contact with a roof or ceiling which is sealed to limit infiltration and exfiltration as specified in § 110.7, including but not limited to placing insulation either above or below the roof deck or on top of a drywall ceiling. *
§ 150.0(b):	Loose-fill Insulation. Loose fill insulation must meet the manufacturer's required density for the labeled R-value.
§ 150.0(c):	Wall Insulation. Minimum R-13 insulation in 2x4 inch wood framing wall or have a U-factor of 0.102 or less, or R-20 in 2x6 inch wood framing or have a U-factor of 0.071 or less. Opaque non-framed assemblies must have an overall assembly U-factor not exceeding 0.102. Masonry walls must meet Tables 150.1-A or B. *
§ 150.0(d):	Raised-floor Insulation. Minimum R-19 insulation in raised wood framed floor or 0.037 maximum U-factor. *
§ 150.0(f):	Slab Edge Insulation. Slab edge insulation must meet all of the following: have a water absorption rate, for the insulation material alone without facings, no greater than 0.3 percent; have a water vapor permeance no greater than 2.0 perm per inch; be protected from physical damage and UV light deterioration; and, when installed as part of a heated slab floor, meet the requirements of § 110.8(g).
§ 150.0(g)1:	Vapor Retarder. In climate zones 1 through 16, the earth floor of unvented crawl space must be covered with a Class I or Class II vapor retarder. This requirement also applies to controlled ventilation crawl space for buildings complying with the exception to §150.0(d).
§ 150.0(g)2:	Vapor Retarder. In climate zones 14 and 16, a Class I or Class II vapor retarder must be installed on the conditioned space side of all insulation in all exterior walls, vented attics, and unvented attics with air-permeable insulation.
§ 150.0(q):	Fenestration Products. Fenestration, including skylights, separating conditioned space from unconditioned space or outdoors must have a maximum U-factor of 0.45; or area-weighted average U-factor of all fenestration must not exceed 0.45. *
ireplaces, De	corative Gas Appliances, and Gas Log:
§ 110.5(e)	Pilot Light. Continuously burning pilot lights are not allowed for indoor and outdoor fireplaces.
§ 150.0(e)1:	Closable Doors. Masonry or factory-built fireplaces must have a closable metal or glass door covering the entire opening of the firebox.
§ 150.0(e)2:	Combustion Intake. Masonry or factory-built fireplaces must have a combustion outside air intake, which is at least six square inches in area and is equipped with a readily accessible, operable, and tight-fitting damper or combustion-air control device. *
§ 150.0(e)3:	Flue Damper. Masonry or factory-built fireplaces must have a flue damper with a readily accessible control. *
pace Conditi	oning, Water Heating, and Plumbing System:
	Certification. Heating, ventilation, and air conditioning (HVAC) equipment, water heaters, showerheads, faucets, and all other 3regulated appliances must be certified by the manufacturer to the California Energy Commission. *
§ 110.2(a):	HVAC Efficiency. Equipment must meet the applicable efficiency requirements in Table 110.2-A through Table 110.2-N. *
§ 110.2(b):	Controls for Heat Pumps with Supplementary Electric Resistance Heaters. Heat pumps with supplementary electric resistance heaters must have controls that prevent supplementary heater operation when the heating load can be met by the heat pump alone; and in which the cut-on temperature for compression heating is higher than the cut-on temperature for supplementary heating, and the cut-off temperature for compression heating is higher than the cut-off temperature for supplementary heating. *

Thermostats. All heating or cooling systems not controlled by a central energy management control system (EMCS) must have a

§ 110.3(c)6: hose bibbs or other fittings on both cold and hot water lines to allow for flushing the water heater when the valves are closed.

setback thermostat. *
Insulation. Unfired service water heater storage tanks and solar water-heating backup tanks must have adequate insulation, or tank

Isolation Valves. Instantaneous water heaters with an input rating greater than 6.8 kBtu per hour (2 kW) must have isolation valves with

these spaces must not be compressed.

§ 150.0(m)3: mastics, sealants, and other requirements specified for duct construction.

accordance with Reference Residential Appendix RA3.1.

ENE BOY COMMISSION	2022 Single-Family Residential Mandatory Requirements Summary
§ 110.5:	Pilot Lights. Continuously burning pilot lights are prohibited for natural gas: fan-type central furnaces; household cooking appliances (except appliances without an electrical supply voltage connection with pilot lights that consume less than 150 Btu per hour); and pool and spa heaters. *
§ 150.0(h)1:	Building Cooling and Heating Loads. Heating and/or cooling loads are calculated in accordance with the ASHRAE Handbook, Equipment Volume, Applications Volume, and Fundamentals Volume; the SMACNA Residential Comfort System Installation Standards Manual; or the ACCA Manual J using design conditions specified in § 150.0(h)2.
§ 150.0(h)3A:	Clearances. Air conditioner and heat pump outdoor condensing units must have a clearance of at least five feet from the outlet of any dryer.
§ 150.0(h)3B:	Liquid Line Drier. Air conditioners and heat pump systems must be equipped with liquid line filter driers if required, as specified by the manufacturer's instructions.
§ 150.0(j)1:	Water Piping, Solar Water-heating System Piping, and Space Conditioning System Line Insulation. All domestic hot water piping must be insulated as specified in § 609.11 of the California Plumbing Code. *
§ 150.0(j)2:	Insulation Protection. Piping insulation must be protected from damage, including that due to sunlight, moisture, equipment' maintenance, and wind as required by §120.3(b). Insulation exposed to weather must be water retardant and protected from UV light (no adhesive tapes). Insulation covering chilled water piping and refrigerant suction piping located outside the conditioned space must include, or be protected by, a Class I or Class II vapor retarder. Pipe insulation buried below grade must be installed in a waterproof and non-crushable casing or sleeve.
§ 150.0(n)1:	Gas or Propane Water Heating Systems. Systems using gas or propane water heaters to serve individual dwelling units must designate a space at least 2.5' x 2.5' x 7' suitable for the future installation of a heat pump water heater, and meet electrical and plumbing requirements, based on the distance between this designated space and the water heater location; and a condensate drain no more than 2" higher than the base of the water heater
§ 150.0(n)3:	Solar Water-heating Systems. Solar water-heating systems and collectors must be certified and rated by the Solar Rating and Certification Corporation (SRCC), the International Association of Plumbing and Mechanical Officials, Research and Testing (IAPMO R&T), or by a listing agency that is approved by the executive director.
oucts and Fans	
§ 110.8(d)3:	Ducts. Insulation installed on an existing space-conditioning duct must comply with § 604.0 of the California Mechanical Code (CMC). If a contractor installs the insulation, the contractor must certify to the customer, in writing, that the insulation meets this requirement.
§ 150.0(m)1:	CMC Compliance. All air-distribution system ducts and plenums must meet CMC §§ 601.0-605.0 and ANSI/SMACNA-006-2006 HVAC Duct Construction Standards Metal and Flexible 3rd Edition. Portions of supply-air and return-air ducts and plenums must be insulated to R-6.0 or higher; ducts located entirely in conditioned space as confirmed through field verification and diagnostic testing (RA3.1.4.3.8) do not require insulation. Connections of metal ducts and inner core of flexible ducts must be mechanically fastened. Openings must be sealed with mastic, tape, or other duct-closure system that meets the applicable UL requirements, or aerosol sealant that meets UL 723. The combination of mastic and either mesh or tape must be used to seal openings greater than 1/4", If mastic or tape is used. Building cavities, air handler support platforms, and plenums designed or constructed with materials other than sealed sheet metal, duct board or

flexible duct must not be used to convey conditioned air. Building cavities and support platforms may contain ducts; ducts installed in

Field-Fabricated Duct Systems. Field-fabricated duct systems must comply with applicable requirements for: pressure-sensitive tapes,

Gravity Ventilation Dampers. Gravity ventilating systems serving conditioned space must have either automatic or readily accessible,

Protection of Insulation. Insulation must be protected from damage due tosunlight, moisture, equipment maintenance, and wind.

cover). Cellular foam insulation must be protected as above or painted with a water retardant and solar radiation-resistant coating.

Duct System Sealing and Leakage Test. When space conditioning systems use forced air duct systems to supply conditioned air to an

Air Filtration. Space conditioning systems with ducts exceeding 10 feet and the supply side of ventilation systems must have MERV 13

Clean-filter pressure drop and labeling must meet the requirements in §150.0(m)12. Filters must be accessible for regular service. Filter

racks or grilles must use gaskets, sealing, or other means to close gaps around the inserted filters to and prevents air from bypassing the

Factory-Fabricated Duct Systems. Factory-fabricated duct systems must comply with applicable requirements for duct construction,

§ 150.0(m)2: connections, and closures; joints and seams of duct systems and their components must not be sealed with cloth back rubber adhesive

§ 150.0(m)7: Backdraft Damper. Fan systems that exchange air between the conditioned space and outdoors must have backdraft or automatic

§ 150.0(m)8: manually operated dampers in all openings to the outside, except combustion inlet and outlet air openings and elevator shaft vents.

§ 150.0(m)9: Insulation exposed to weather must be suitable for outdoor service (e.g., protected by aluminum, sheet metal, painted canvas, or plastic

§ 150.0(m)10: Porous Inner Core Flex Duct. Porous inner cores of flex ducts must have a non-porous layer or air barrier between the inner core and

§ 150.0(m)11: occupiable space, the ducts must be sealed and duct leakage tested, as confirmed through field verification and diagnostic testing, in

§ 150.0(m)12: or equivalent filters. Filters for space conditioning systems must have a two inch depth or can be one inch if sized per Equation 150.0-A.

duct tapes unless such tape is used in combination with mastic and draw bands.

2022 Single-Family Residential Mandatory Requirements Summary

Space Conditioning System Airflow Rate and Fan Efficacy. Space conditioning systems that use ducts to supply cooling must have a hole for the placement of a static pressure probe, or a permanently installed static pressure probe in the supply plenum. Airflow must § 150.0(m)13: be ≥ 350 CFM per ton of nominal cooling capacity, and an air-handling unit fan efficacy ≤ 0.45 watts per CFM for gas furnace air handlers and ≤ 0.58 watts per CFM for all others. Small duct high velocity systems must provide an airflow ≥ 250 CFM per ton of nominal cooling capacity, and an air-handling unit fan efficacy ≤ 0.62 watts per CFM. Field verification testing is required in accordance with Reference Residential Appendix RA3.3. *

Ventilation and Indoor Air Quality:

§ 150.0(o)1:	Requirements for Ventilation and Indoor Air Quality. All dwelling units must meet the requirements of ASHRAE Standard 62.2, Ventilation and Acceptable Indoor Air Quality in Residential Buildings subject to the amendments specified in § 150.0(o)1. *
§ 150.0(o)1B:	Central Fan Integrated (CFI) Ventilation Systems. Continuous operation of CFI air handlers is not allowed to provide the whole-dwelling unit ventilation airflow required per §150.0(o)1C. A motorized damper(s) must be installed on the ventilation duct(s) that prevents all airflow through the space conditioning duct system when the damper(s) is closed and controlled per §150.0(o)1Biii&iv. CFI ventilation systems must have controls that track outdoor air ventilation run time, and either open or close the motorized damper(s) for compliance with §150.0(o)1C.
§ 150.0(o)1C:	Whole-Dwelling Unit Mechanical Ventilation for Single-Family Detached and townhouses. Single-family detached dwelling units, and attached dwelling units not sharing ceilings or floors with other dwelling units, occupiable spaces, public garages, or commercial spaces must have mechanical ventilation airflow specified in § 150.0(o)1Ci-iii.
§ 150.0(o)1G:	Local Mechanical Exhaust. Kitchens and bathrooms must have local mechanical exhaust; nonenclosed kitchens must have demand-controlled exhaust system meeting requirements of §150.0(o)1Giii,enclosed kitchens and bathrooms can use demand-controlled or continuous exhaust meeting §150.0(o)1Giii-iv. Airflow must be measured by the installer per §150.0(o)1Gv, and rated for sound per §150.0(o)1Gvi. *
§ 150.0(o)1H8	kl: Airflow Measurement and Sound Ratings of Whole-Dwelling Unit Ventilation Systems. The airflow required per § 150.0(o)1C must be measured by using a flow hood, flow grid, or other airflow measuring device at the fan's inlet or outlet terminals/grilles per Reference

be measured by using a flow hood, flow grid, or other airflow measuring device at the fan's inlet or outlet terminals/grilles per Reference Residential Appendix RA3.7. Whole-Dwelling unit ventilation systems must be rated for sound per ASHRAE 62.2 §7.2 at no less than the minimum airflow rate required by §150.0(o)1C. Field Verification and Diagnostic Testing. Whole-Dwelling Unit ventilation airflow, vented range hood airflow and sound rating,

and HRV and ERV fan efficacy must be verified in accordance with Reference Residential Appendix RA3.7. Vented range hoods must be verified per Reference Residential Appendix RA3.7.4.3 to confirm if it is rated by HVI or AHAM to comply with the airflow rates and sound requirements per §150.0(o)1G

Pool and Spa	Systems and Equipment:
§ 110.4(a):	Certification by Manufacturers. Any pool or spa heating system or equipment must be certified to have all of the following: compliance with the Appliance Efficiency Regulations and listing in MAEDbS; an on-off switch mounted outside of the heater that allows shutting off the heater without adjusting the thermostat setting; a permanent weatherproof plate or card with operating instructions; and must not use electric resistance heating. *
§ 110.4(b)1:	Piping. Any pool or spa heating system or equipment must be installed with at least 36 inches of pipe between the filter and the heater, or dedicated suction and return lines, or built-in or built-up connections to allow for future solar heating.
§ 110.4(b)2:	Covers. Outdoor pools or spas that have a heat pump or gas heater must have a cover.
§ 110.4(b)3:	Directional Inlets and Time Switches for Pools. Pools must have directional inlets that adequately mix the pool water, and a time switch that will allow all pumps to be set or programmed to run only during off-peak electric demand periods.
§ 110.5:	Pilot Light. Natural gas pool and spa heaters must not have a continuously burning pilot light.
§ 150.0(p):	Pool Systems and Equipment Installation. Residential pool systems or equipment must meet the specified requirements for pump sizing, flow rate, piping, filters, and valves. *

Lighting.	
	Lighting Controls and Components. All lighting control devices and systems, ballasts, and luminaires must meet the applicable
§ 110.9:	requirements of § 110.9. *

§ 150.0(k)1A: Luminaire Efficacy. All installed luminaires must meet the requirements in Table 150.0-A, except lighting integral to exhaust fans, kitchen range hoods, bath vanity mirrors, and garage door openers; navigation lighting less than 5 watts; and lighting internal to drawers, cabinets, and linen closets with an efficacy of at least 45 lumens per watt. \$ 150.0(k)1B: Screw based luminaires. Screw based luminaires must contain lamps that comply with Reference Joint Appendix JA8. *

Recessed Downlight Luminaires in Ceilings. Luminaires recessed into ceilings must not contain screw based sockets, must be airtight, and must be sealed with a gasket or caulk. California Electrical Code § 410.116 must also be met. Light Sources in Enclosed or Recessed Luminaires. Lamps and other separable light sources that are not compliant with the JA8 elevated temperature requirements, including marking requirements, must not be installed in enclosed or recessed luminaires.

Blank Electrical Boxes. The number of electrical boxes that are more than five feet above the finished floor and do not contain a luminaire or other device shall be no more than the number of bedrooms. These boxes must be served by a dimmer, vacancy sensor control, low voltage wiring, or fan speed control.

Lighting Integral to Exhaust Fans. Lighting integral to exhaust fans (except when installed by the manufacturer in kitchen exhaust \$ 150.0(k)1F: hoods) must meet the applicable requirements of § 150.0(k). *

2022 Single-Family Residential Mandatory Requirements Summary

ENERGY COMMISSION	2022 Single-I amily Residential Mandatory Requirements Summary
§ 150.0(k)1G:	Screw based luminaires. Screw based luminaires must contain lamps that comply with Reference Joint Appendix JA8.*
§ 150.0(k)1H:	Light Sources in Enclosed or Recessed Luminaires. Lamps and other separable light sources that are not compliant with the JA8
§ 150.0(k)1I:	Light Sources in Drawers, Cabinets, and Linen Closets. Light sources internal to drawers, cabinetry or linen closets are not required to comply with Table 150.0-A or be controlled by vacancy sensors provided that they are rated to consume no more than 5 watts of power, emit no more than 150 lumens, and are equipped with controls that automatically turn the lighting off when the drawer, cabinet or linen closet is closed.
§ 150.0(k)2A:	Interior Switches and Controls. All forward phase cut dimmers used with LED light sources must comply with NEMA SSL 7A.
§ 150.0(k)2B:	Interior Switches and Controls. Exhaust fans must be controlled separately from lighting systems. *
§ 150.0(k)2A:	Accessible Controls. Lighting must have readily accessible wall-mounted controls that allow the lighting to be manually turned on and off. *
§ 150.0(k)2B:	Multiple Controls. Controls must not bypass a dimmer, occupant sensor, or vacancy sensor function if the dimmer or sensor is installed to comply with § 150.0(k).
§ 150.0(k)2C:	Mandatory Requirements. Lighting controls must comply with the applicable requirements of § 110.9.
§ 150.0(k)2D:	Energy Management Control Systems. An energy management control system (EMCS) may be used to comply with dimming, occupancy, and control requirements if it provides the functionality of the specified control per § 110.9 and the physical controls specified in § 150.0(k)2A.
§ 150.0(k)2E:	Automatic Shutoff Controls. In bathrooms, garages, laundry rooms, utility rooms and walk-in closets, at least one installed luminaire must be controlled by an occupancy or vacancy sensor providing automatic-off functionality. Lighting inside drawers and cabinets with opaque fronts or doors must have controls that turn the light off when the drawer or door is closed.
§ 150.0(k)2F:	Dimmers. Lighting in habitable spaces (e.g., living rooms, dining rooms, kitchens, and bedrooms) must have readily accessible wall-mounted dimming controls that allow the lighting to be manually adjusted up and down. Forward phase cut dimmers controlling LED light sources in these spaces must comply with NEMA SSL 7A.
§ 150.0(k)2K:	Independent controls. Integrated lighting of exhaust fans shall be controlled independently from the fans. Lighting under cabinets or shelves, lighting in display cabinets, and switched outlets must be controlled separately from ceiling-installed lighting.
§ 150.0(k)3A:	Residential Outdoor Lighting. For single-family residential buildings, outdoor lighting permanently mounted to a residential building, or to other buildings on the same lot, must have a manual on/off switch and either a photocell and motion sensor or automatic time switch control) or an astronomical time clock. An energy management control system that provides the specified control functionality and meets all applicable requirements may be used to meet these requirements.
§ 150.0(k)4:	Internally illuminated address signs. Internally illuminated address signs must either comply with § 140.8 or consume no more than 5 watts of power.
§ 150.0(k)5:	Residential Garages for Eight or More Vehicles. Lighting for residential parking garages for eight or more vehicles must comply with the applicable requirements for nonresidential garages in §§ 110.9, 130.0, 130.1, 130.4, 140.6, and 141.0.
Solar Readines	SS:
	Single-family Residences. Single-family residences located in subdivisions with 10 or more single-family residences and where the

Electric and Energy Storage Ready:

§ 150.0(k)4:	watts of power.
§ 150.0(k)5:	Residential Garages for Eight or More Vehicles. Lighting for residential parking garages for eight or more vehicles must comply with the applicable requirements for nonresidential garages in §§ 110.9, 130.0, 130.1, 130.4, 140.6, and 141.0.
Solar Readine	SS:
§ 110.10(a)1:	Single-family Residences. Single-family residences located in subdivisions with 10 or more single-family residences and where the application for a tentative subdivision map for the residences has been deemed complete and approved by the enforcement agency, which do not have a photovoltaic system installed, must comply with the requirements of § 110.10(b)-(e).
§110.10(b)1A	Minimum Solar Zone Area. The solar zone must have a minimum total area as described below. The solar zone must comply with access, pathway, smoke ventilation, and spacing requirements as specified in Title 24, Part 9 or other parts of Title 24 or in any requirements adopted by a local jurisdiction. The solar zone total area must be comprised of areas that have no dimension less than 5 feet and are no less than 80 square feet each for buildings with roof areas less than or equal to 10,000 square feet or no less than 160 square feet each for buildings with roof areas greater than 10,000 square feet. For single-family residences, the solar zone must be located on the roof or overhang of the building and have a total area no less than 250 square feet. *
§ 110.10(b)2:	Azimuth. All sections of the solar zone located on steep-sloped roofs must have an azimuth between 90-300° of true north.
§ 110.10(b)3A	Shading. The solar zone must not contain any obstructions, including but not limited to: vents, chimneys, architectural features, and roof \text{\chimounted equipment.}*
§ 110.10(b)3E	Shading. Any obstruction located on the roof or any other part of the building that projects above a solar zone must be located at least twice the schorizontal distance of the height difference between the highest point of the obstruction and the horizontal projection of the nearest point of the solar zone, measured in the vertical plane. *
§ 110.10(b)4:	Structural Design Loads on Construction Documents. For areas of the roof designated as a solar zone, the structural design loads for roof dead load and roof live load must be clearly indicated on the construction documents.
	Interconnection Pathways. The construction documents must indicate: a location reserved for inverters and metering equipment and a

§ 110.10(c): pathway reserved for routing of conduit from the solar zone to the point of interconnection with the electrical service; and for single-family

§ 110.10(e)2: Solution of the final electric installation. The reserved space must be permanently marked as "For Future Solar Electric."

8 110 10(e)1. Main Electrical Service Panel. The main electrical service panel must have a minimum busbar rating of 200 amps

5/6/22

residences and central water-heating systems, a pathway reserved for routing plumbing from the solar zone to the water-heating system. Documentation. A copy of the construction documents or a comparable document indicating the information from § 110.10(b)-(c) must be

Main Electrical Service Panel. The main electrical service panel must have a reserved space to allow for the installation of a double pole



2022 Single-Family Residential Mandatory Requirements Summary

§ 150.0(s)	Energy Storage System (ESS) Ready. All single-family residences must meet all of the following: Either ESS-ready interconnection equipment with backed up capacity of 60 amps or more and four or more ESS supplied branch circuits, or a dedicated raceway from the main service to a subpanel that supplies the branch circuits in § 150.0(s); at least four branch circuits must be identified and have their source collocated at a single panelboard suitable to be supplied by the ESS, with one circuit supplying the refrigerator, one lighting circuit near the primary exit, and one circuit supplying a sleeping room receptacle outlet; main panelboard must have a minimum busbar rating of 225 amps; sufficient space must be reserved to allow future installation of a system isolation equipment/transfer switch within 3' of the main panelboard, with raceways installed between the panelboard and the switch location to allow the connection of backup power source.
§ 150.0(t)	Heat Pump Space Heater Ready. Systems using gas or propane furnaces to serve individual dwelling units must include: A dedicated unobstructed 240V branch circuit wiring installed within 3' of the furnace with circuit conductors rated at least 30 amps with the blank cover identified as "240V ready;" and a reserved main electrical service panel space to allow for the installation of a double pole circuit breaker permanently marked as "For Future 240V use."
§ 150.0(u)	Electric Cooktop Ready. Systems using gas or propane cooktop to serve individual dwelling units must include: A dedicated unobstructed 240V branch circuit wiring installed within 3' of the cooktop with circuit conductors rated at least 50 amps with the blank cover identified as "240V ready;" and a reserved main electrical service panel space to allow for the installation of a double pole circuit breaker permanently marked as "For Future 240V use."
§ 150.0(v)	Electric Clothes Dryer Ready. Clothes dryer locations with gas or propane plumbing to serve individual dwelling units must include: A dedicated unobstructed 240V branch circuit wiring installed within 3' of the dryer location with circuit conductors rated at least 30 amps with the blank cover identified as "240V ready;" and a reserved main electrical service panel space to allow for the installation of a double pole circuit breaker permanently marked as "For Future 240V use."

*Exceptions may apply.

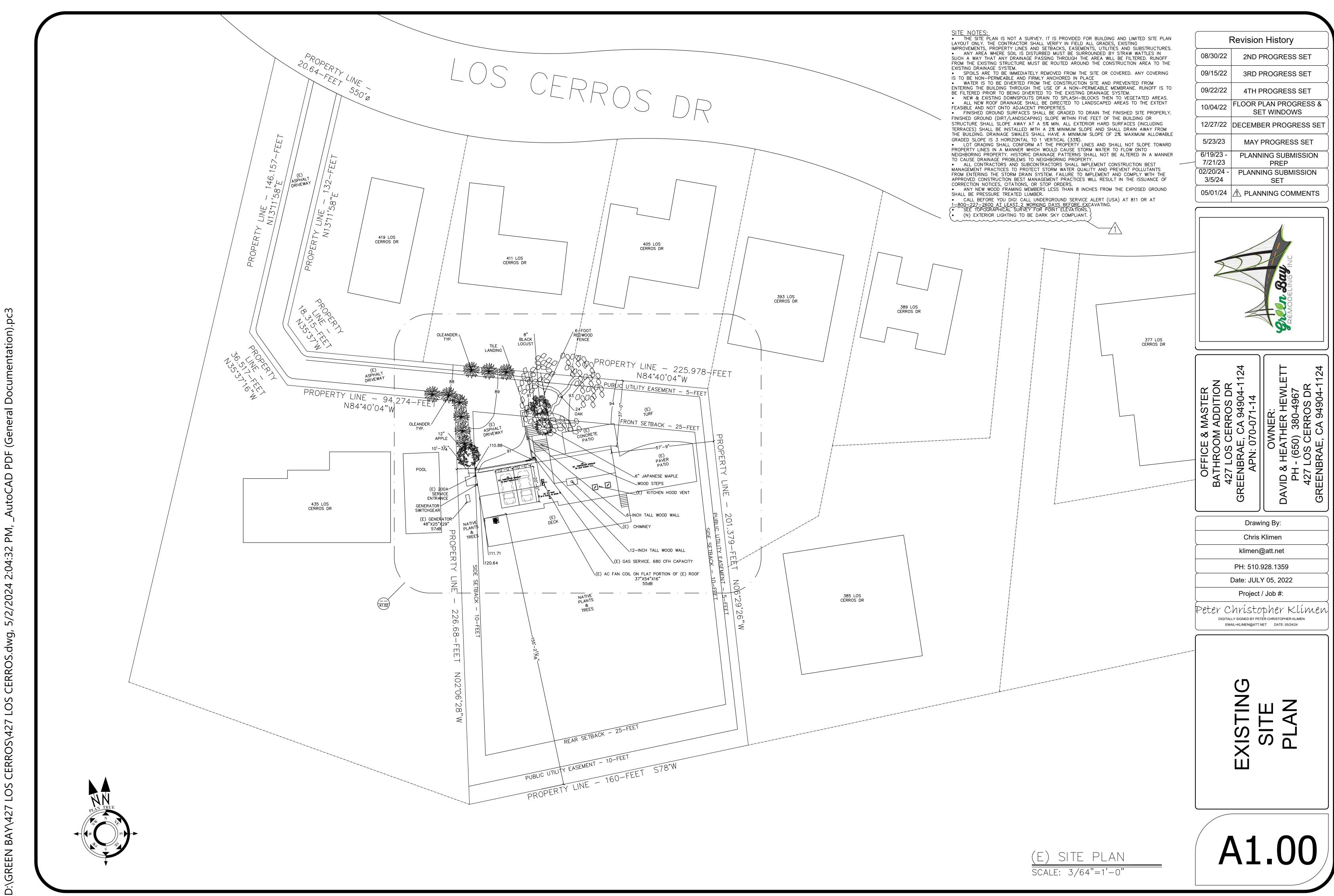
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BRAE, CA 94904-11;

Drawing By: Chris Klimen klimen@att.net PH: 510.928.1359 Date: JULY 05, 2022 Project / Job #:

Peter Christopher Klimev DIGITALLY SIGNED BY PETER CHRISTOPHER KLIMEN EMAIL=KLIMEN@ATT.NET DATE: 05/24/24



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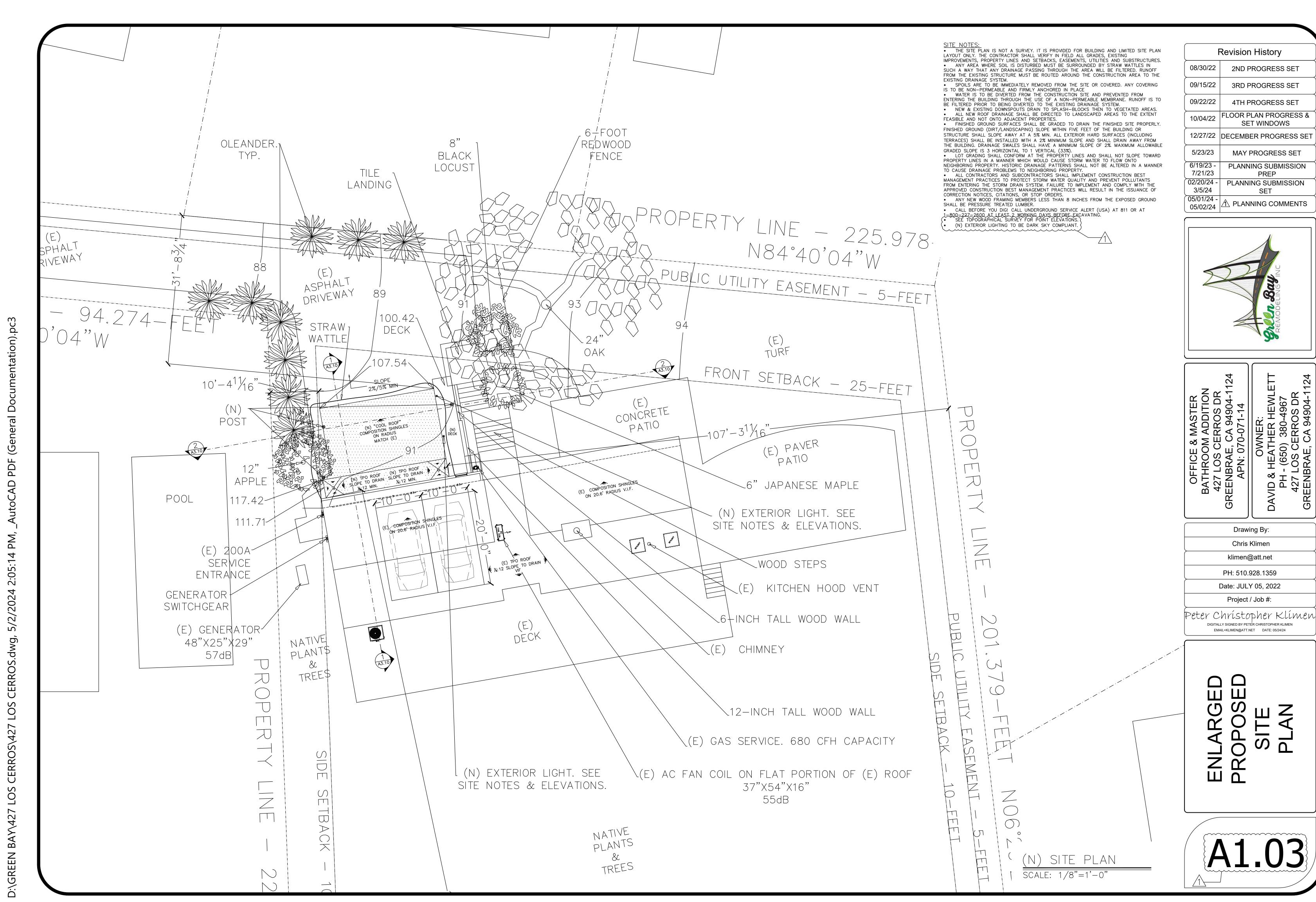


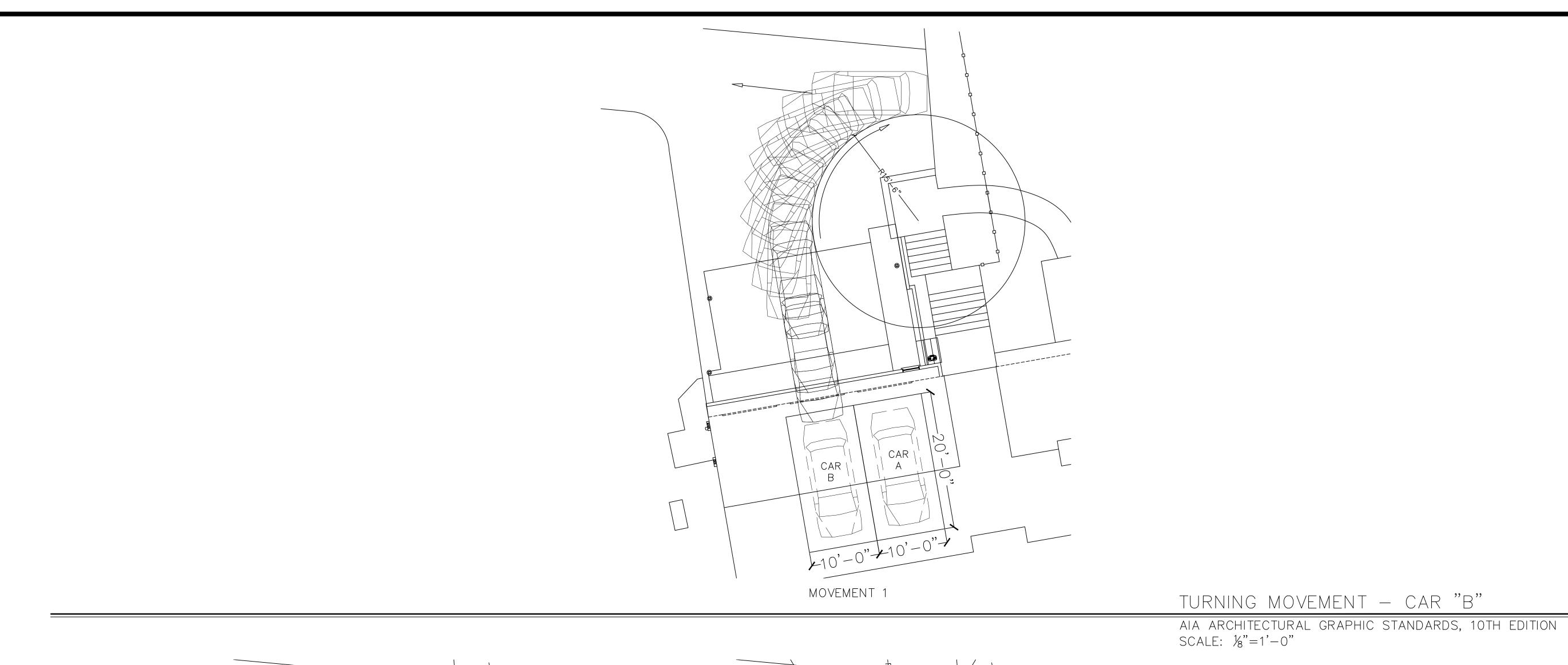
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Drawing By: Chris Klimen klimen@att.net PH: 510.928.1359 Date: JULY 05, 2022 Project / Job #:

Peter Christopher Klimen EMAIL=KLIMEN@ATT.NET DATE: 05/24/24

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Revision History								
08/30/22	2ND PROGRESS SET							
09/15/22	3RD PROGRESS SET							
09/22/22	4TH PROGRESS SET							
10/04/22	FLOOR PLAN PROGRESS & SET WINDOWS							
12/27/22	DECEMBER PROGRESS SET							
5/23/23	MAY PROGRESS SET							
6/19/23 - 7/21/23	PLANNING SUBMISSION PREP							
02/20/24 - 3/5/24	PLANNING SUBMISSION SET							
05/01/24	A PLANNING COMMENTS							



Drawing By: Chris Klimen klimen@att.net PH: 510.928.1359 Date: JULY 05, 2022

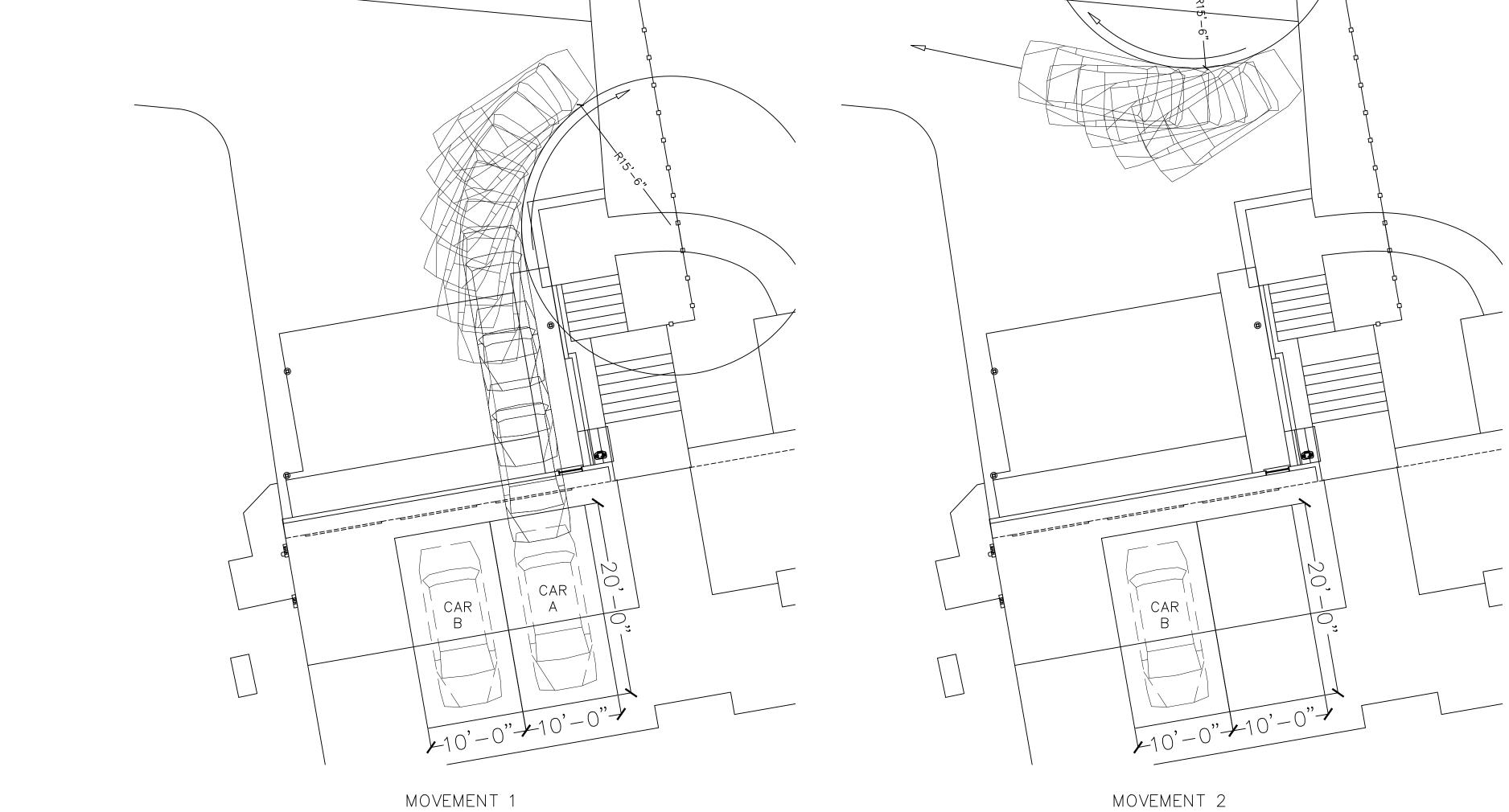
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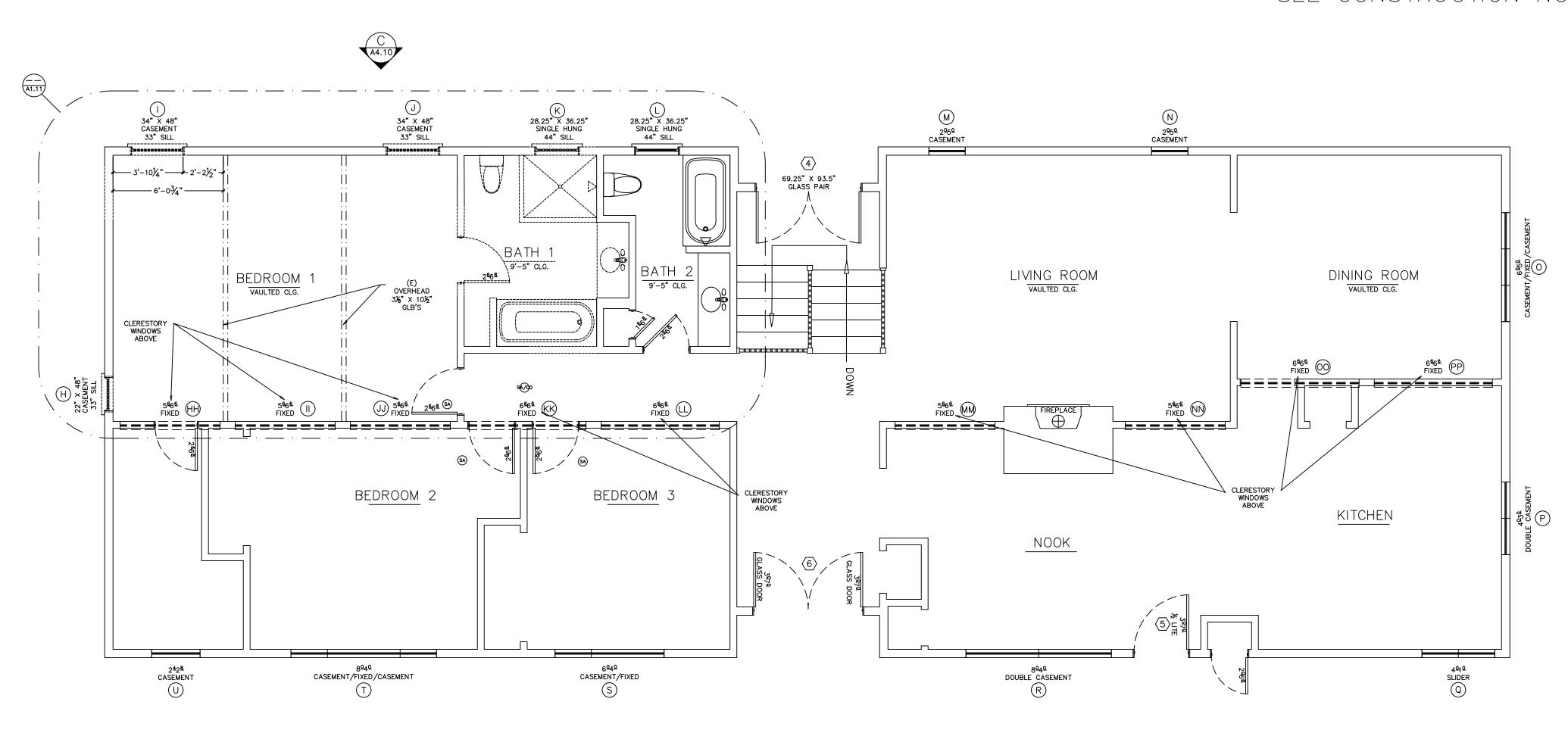
EMAIL=KLIMEN@ATT.NET DATE: 05/24/24

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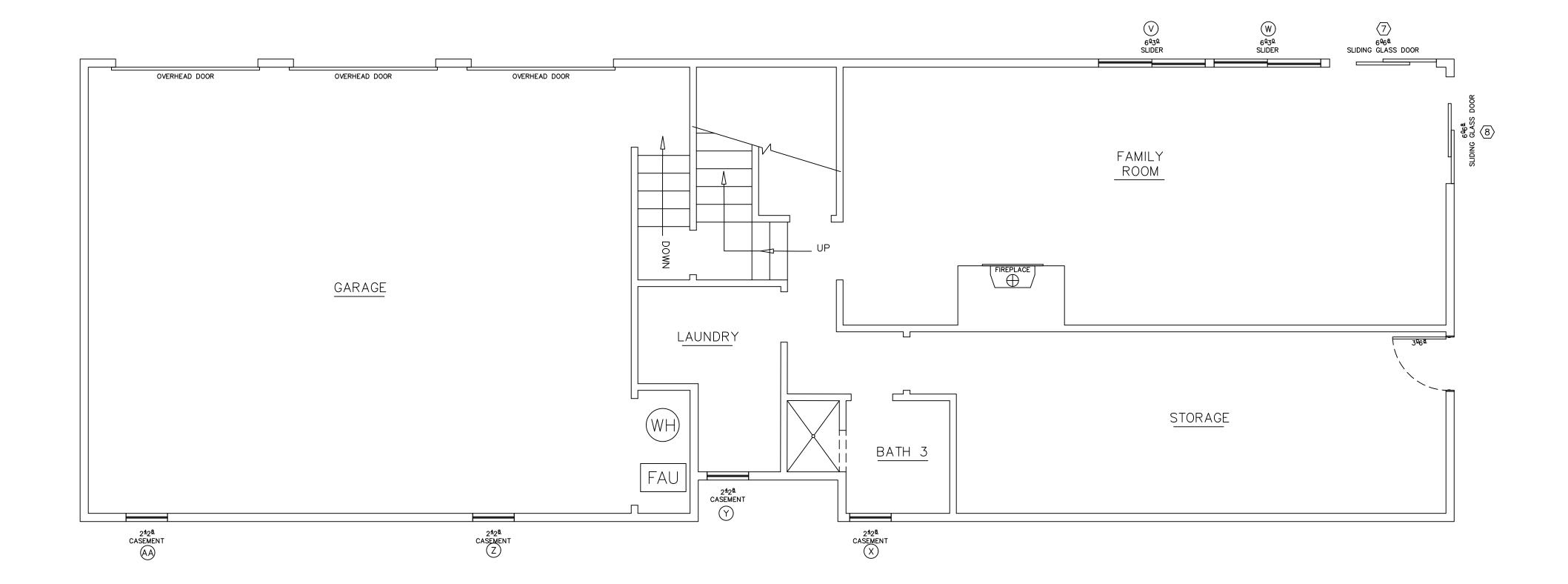
AIA ARCHITECTURAL GRAPHIC STANDARDS, 10TH EDITION SCALE: 1/8"=1'-0"



TURNING MOVEMENT — CAR "A"

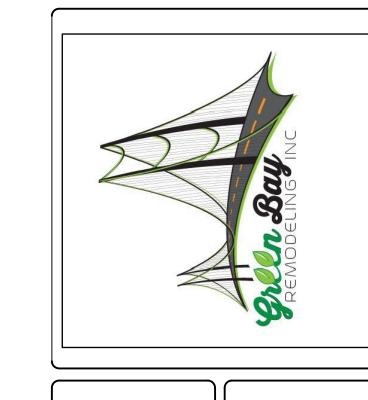


UPPER FLOOR



LOWER FLOOR

Revision History 08/30/22 2ND PROGRESS SET 09/15/22 3RD PROGRESS SET 09/22/22 4TH PROGRESS SET FLOOR PLAN PROGRESS & SET WINDOWS 10/04/22 12/27/22 DECEMBER PROGRESS SET 5/23/23 MAY PROGRESS SET 6/19/23 -7/21/23 PLANNING SUBMISSION 02/20/24 - PLANNING SUBMISSION 3/5/24 05/01/24 A PLANNING COMMENTS



OFF BATHI 427 L GREENBI AP

Drawing By: Chris Klimen klimen@att.net PH: 510.928.1359 Date: JULY 05, 2022 Project / Job #:

Peter Christopher Klimen

DIGITALLY SIGNED BY PETER CHRISTOPHER KLIMEN

EMAIL=KLIMEN@ATT.NET DATE: 05/24/24

A4.10

SEE CONSTRUCTION NOTES FOR LEGEND & DETAILS **Revision History** 08/30/22 2ND PROGRESS SET 09/15/22 3RD PROGRESS SET 09/22/22 4TH PROGRESS SET FLOOR PLAN PROGRESS & SET WINDOWS 10/04/22 12/27/22 DECEMBER PROGRESS SET 5/23/23 MAY PROGRESS SET 6/19/23 -7/21/23 PLANNING SUBMISSION



02/20/24 - PLANNING SUBMISSION 3/5/24 SET 05/01/24 - D5/02/24 PLANNING COMMENTS

OFF BATHI 427 L GREENBI AP

Drawing By: Chris Klimen klimen@att.net PH: 510.928.1359 Date: JULY 05, 2022 Project / Job #:

Peter Christopher Klimen

DIGITALLY SIGNED BY PETER CHRISTOPHER KLIMEN

EMAIL=KLIMEN@ATT.NET DATE: 05/24/24

2X4 WALL -

SEE CONSTRUCTION NOTES FOR LEGEND & DETAILS

(N) STAIRS.

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Revision History

08/30/22 2ND PROGRESS SET

09/15/22 3RD PROGRESS SET

09/22/22 4TH PROGRESS SET

10/04/22 FLOOR PLAN PROGRESS & SET WINDOWS

12/27/22 DECEMBER PROGRESS SET

5/23/23 MAY PROGRESS SET

6/19/23 - PLANNING SUBMISSION PREP

02/20/24 - PLANNING SUBMISSION SET

05/01/24 - O5/02/24 PLANNING COMMENTS



OFFICE & MASTER
BATHROOM ADDITION
427 LOS CERROS DR
GREENBRAE, CA 94904-1124
APN: 070-071-14
OWNER:

Drawing By:
Chris Klimen
klimen@att.net
PH: 510.928.1359
Date: JULY 05, 2022
Project / Job #:
Peter Christopher Klimer

DIGITALLY SIGNED BY PETER CHRISTOPHER KLIMEN

EMAIL=KLIMEN@ATT.NET DATE: 05/24/24

ONSTRUCTION

A1.12

(N) FLOOR PLAN
SCALE: 1/2"=1'-0"

SITE SPECIFIC SOILS REPORTS AND CIVIL DRAWINGS SHALL TAKE PRECEDENCE OVER NOTES AND DETAILS ON THIS SET OF DOCUMENTS. ROOM ADDITIONS SHALL DUPLICATE AND/OR COMPLEMENT THE ARCHITECTURAL STYLE, PROPORTIONS, SCALE, FORM, COLORS AND MATERIALS OF THE EXISTING HOUSE. ALL VENTS, GUTTERS, DOWNSPOUTS, FLASHINGS, ELECTRICAL CONDUITS, METAL SURFACES ETC., SHALL BE

PAINTED TO MATCH THE COLOR OF ADJACENT SURFACES. U.O.N. DIMENSIONS GIVEN ARE TO FACE OF FINISH U.O.N. MAKE APPROPRIATE ADJUSTMENTS TO DETERMINE • SEE SHEETS A0.2, G1.0 & G1.1 FOR MANDATORY GENERAL CONSTRUCTION, ELECTRICAL, MECHANICAL, & PLUMBING REQUIREMENTS

 ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR METHOD ACCEPTABLE TO THE ENFORCING

INSTALLED ITEMS & ALL OTHER REQUIRED INFORMATION DESCRIBED IN SECTION 4.410 ON SHEET G1.0 PRIOR TO BUILDING FINAL ALL FINISH MATERIALS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS AS OUTLINED. IN SECTION 4.504 ON SHEETS G1.0 & G1.1. INCLUDING (BUT NOT LIMITED TO) ADHESIVES, SEALANTS, CAULKS, PAINTS, STAINS, COATINGS, CARPET & CARPET SYSTEMS, RESILIENT FLOORING, PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD, PLYWOOD. <u>DOCUMENTATION IS REQUIRED AS SPECIFIED IN SECTION 4.504.2.4 ON SHEET</u>

CONTRACTORS SHALL PROVIDE OWNER WITH ALL END USER INFORMATION & MAINTENANCE MANUALS FOR

• MOISTURE CONTENT OF BUILDING MATERIALS SHALL BE VERIFIED AND DOCUMENTATION PROVIDED TO THE ENFORCING AGENCY AS OUTLINED IN SECTION 4.505.3 ON SHEET G1.1. DO NOT CLOSE ANY CONSTRUCTION ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE,

PLASTIC, SHEET METAL OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF WATER, DUST OR DEBRIS WHICH MAY ENTER THE SYSTEM. ALL NONCOMPLIANT PLUMBING FIXTURES SHALL BE REPLACED WITH WATER-CONSERVING PLUMBING FIXTURES PER CAL GREEN SECTIONS 301.1.1 & 4.303.1 ALL PROPOSED LIGHTING TO BE HIGH EFFICACY IN ACCORDANCE WITH CEC 150, O (K)(L)(A)

DIMMERS OR VACANCY SENSORS ARE REQUIRED TO CONTROL ALL HIGH-EFFICACY LUMINAIRES, EXCEPT CLOSETS LESS THAN 70 SQ FT & HALLWAYS ALL NEW RECESSED LIGHTING SHALL COMPLY WITH THE REFERENCE JOINT APPENDIX JA8 AND SHALL NOT. CONTAIN SCREW BASE SOCKET. CA ENERGY SECTIONS 150.0 (K) 1 C. RECESSED LIGHTING FIXTURES TO BE LISTED FOR ZERO CLEARANCE INSULATION CONTACT (IC) IN

ACCORDANCE W/ CEC 150(K)(L)(A). CAULK OR FOAM SEAL ANY PENETRATIONS (PIPING, WIRING, ETC.) THROUGH THE TOP OR BOTTOM PLATES. PROVIDE A COMPLETE AIR-TIGHT SEAL.

 INSTALL FOAM GASKETS TO CEILING & CRAWLSPACE ACCESS PANELS. • USE CAULKING OR FOAM TO PROVIDE AN AIRTIGHT SEAL AROUND ALL MECHANICAL PENETRATIONS THROUGH WALLS, CEILING, OR FLOORS. USE FIRE RESISTANT SEALING MATERIAL WHERE APPROPRIATE. FIELD-CUT ENDS, NOTCHES AND DRILLED HOLES OF PRESERVATIVE-TREATED WOOD SHALL BE TREATED

• (E) DOORS & WINDOWS NOT INDICATED TO BE REMOVED ARE TO REMAIN. ANY NEW DOORS, WINDOWS, OR FLASHING FOR THEM, TO BE INSTALLED PER THE DOOR OR WINDOW MANUFACTURERS INSTALLATION INSTRUCTIONS. WHERE FLASHING IS INSTALLED, APPROVED CORROSION-RESISTANT FLASHING SHALL BE APPLIED SHINGLE-FASHION IN A MANNER TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING

CONSULT THE T-24 REPORT FOR REQUIRED U-FACTOR & SHGC VALUES FOR ANY NEW DOOR, WINDOW, CONSULT THE STRUCTURAL PLANS FOR ALL FOUNDATION, FRAMING, NEW & MODIFIED WALL, & SHEARWALL

REMOVE (E) WALLS AS INDICATED IN THE DEMOLITION PLAN. REMOVE (E) ROOFING MATERIAL WHERE NEW ROOF TIES INTO THE EXISTING ROOF.

INSTALL NEW DOORS & WINDOWS AS INDICATED.

LANDINGS @ EXTERIOR DOORS TO BE 36" MINIMUM IN THE DIRECTION OF TRAVEL, EQUAL OR GRATER IN WIDTH THAN THE DOOR OPENING, & NOT TO EXCEED 2% SLOPE AWAY FROM THE BUILDING. • LANDINGS FOR EGRESS DOORS SHALL BE NOT MORE THAN 7-3/4 INCHES LOWER THAN THE THRESHOLD FOR IN-SWINGING DOORS AND NOT MORE THAN 1-1/2 INCHES LOWER THAN THE THRESHOLD FOR OUT-SWINGING DOORS.

LANDINGS FOR OTHER EXTERIOR DOORS SHALL BE NOT MORE THAN 7-3/4 INCHES LOWER THAN THE

• (N) EXTERIOR LIGHTING TO BE DARK SKY COMPLIANT.

DETAILS.

CRC REQUIREMENTS FOR FIRE/SMOKE & CARBONMONOXIDE ALARMS:
THE 2019 CALIFORNIA RESIDENTIAL CODE REQUIRES THE INSTALLATION OF SMOKE ALARMS AND

CARBON MONOXIDE ALARMS, IF THEY DO NOT ALREADY EXIST, WHEN RESIDENTIAL BUILDING PERMITS ARE ISSUED FOR ADDITIONS, ALTERATIONS OR REPAIRS THAT EXCEED \$1,000 IN VALUE. EXISTING SMOKE ALARMS OR COMBINATION SMOKE/CARBON MONOXIDE ALARMS MUST BE REPLACED ACCORDING TO THE FOLLOWING CRITERIA: SMOKE ALARMS SHALL NOT REMAIN IN SERVICE LONGER THAN 10 YEARS FROM THE DATE

OF MANUFACTURE, UNLESS OTHERWISE PROVIDED BY THE MANUFACTURER'S PUBLISHED • COMBINATION SMOKE/CARBON MONOXIDE ALARMS SHALL BE REPLACED WHEN THE END-OF-LIFE SIGNAL ACTIVATES OR 10 YEARS FROM THE DATE OF MANUFACTURE.

WHICHEVER COMES FIRST, UNLESS OTHERWISE PROVIDED BY THE MANUFACTURER'S PUBLISHED INSTRUCTIONS. SMOKE ALARMS OR COMBINATION SMOKE/CARBON MONOXIDE ALARMS WITHOUT PROOF OF

MANUFACTURE DATE OR EXEMPTION OF REPLACEMENT REQUIREMENT VIA MANUFACTURERS PUBLISHED INSTRUCTIONS, MUST BE REPLACED.

(N) SMOKE/FIRE ALARM. SMOKE ALARMS APPROVED AND LISTED BY THE STATE FIRE MARSHAL SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. AND ON EACH ADDITIONAL STORY AND LEVEL OF THE DWELLING. SMOKE ALARMS SHALL BE INSTALLED NOT LESS THAN 3 FEET HORIZONTALLY FROM A BATHROOM DOOR OR OPENING. ALARMS MAY BE SOLELY BATTERY OPERATED IN EXISTING BUILDINGS WHERE THE ALTERATIONS OR REPAIRS DO NOT RESULT IN THE REMOVAL OF INTERIOR WALLS OR CEILING FINISHES EXPOSING THE STRUCTURE, UNLESS THERE IS AN ATTIC, CRAWL SPACE OR BASEMENT AVAILABLE WHICH COULD PROVIDE ACCESS FOR BUILDING WIRING WITHOUT THE REMOVAL OF INTERIOR FINISHES. SMOKE ALARMS INSTALLED IN NEW CONSTRUCTION & LOCATIONS WHERE FINISHES ARE REMOVED, MUST RECEIEVE THEIR POWER FROM THE BUILDING WIRING. WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED, THE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. EXCEPT WHERE ALTERATIONS OR REPAIRS DO NOT RESULT IN THE REMOVAL OF INTERIOR WALL OR CEILING FINISHES EXPOSING THE STRUCTURE, UNLESS THERE IS AN ATTIC, CRAWL SPACE OR BASEMENT AVAILABLE WHICH COULD PROVIDE ACCESS FOR INTERCONNECTION WITHOUT THE REMOVAL OF INTERIOR FINISHES. THE ALARM(S) SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED. SMOKE ALARMS WITH INTEGRAL STROBES THAT ARE NOT EQUIPPED WITH BATTERY BACKUP SHALL BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM. SMOKE ALARMS SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVERCURRENT PROTECTION. ANY SMOKE ALARM WITHIN 20 FEET OF A PERMANENTLY INSTALLED COOKING APPLIANCE SHALL BE THE IONIZATION OR PHOTOELECTRIC ALARM TYPE AND HAVE A MINIMUM SPACING OF 10 FEET AWAY. ALL SMOKE ALARMS MUST BE INSTALLED IN ACCORDANCE WITH SECTION R314 OF THE CALIFORNIA RESIDENTIAL CODE (CRC).

(N) CARBON MONOXIDE ALARM. CARBON MONOXIDE ALARMS APPROVED AND LISTED BY THE STATE MARSHALL SHALL BE INSTALLED IN EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES, FOSSIL FUEL-BURNING APPLIANCES OR FIREPLACES AS FOLLOWS: OUTSIDE EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS, ON EVERY LEVEL OF DWELLING UNIT INCLUDING BASEMENTS AND IN ANY BEDROOM WHERE A FUEL BURNING APPLIANCE IS LOCATED WITHIN THE BEDROOM OR ITS ATTACHED BATHROOM. IN EXISTING DWELLING UNITS, A CARBON MONOXIDE ALARM IS PERMITTED TO BE SOLELY BATTERY OPERATED WHERE REPAIRS OR ALTERATIONS DO NOT RESULT IN THE REMOVAL OF WALL AND CEILING FINISHES OR THERE IS NO ACCESS BY MEANS OF ATTIC, BASEMENT OR CRAWL SPACE. SMOKE ALARMS INSTALLED IN NEW CONSTRUCTION & LOCATIONS WHERE FINISHES ARE REMOVED, MUST RECEIEVE THEIR POWER FROM THE BUILDING WIRING. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVERCURRENT PROTECTION. WHERE MORE THAN ONE CARBON MONOXIDE ALARM IS REQUIRED TO BE INSTALLED, THE ALARMS SHALL BE INTERCONNECTED IN A MANNER THAT ACTIVATION OF ONE ALARM SHALL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT, EXCEPT WHERE REPAIRS DO NOT RESULT IN THE REMOVAL OF WALL AND CEILING FINISHES, THERE IS NO ACCESS BY MEANS OF ATTIC, BASEMENT OR CRAWL SPACE, AND NO PREVIOUS METHOD FOR INTERCONNECTION EXISTED COMBINATION CARBON MONOXIDE AND SMOKE ALARMS SHALL BE PERMITTED TO BE USED IN LIEU OF CARBON MONOXIDE ALARMS. ALL CARBON MONOXIDE ALARMS MUST BE INSTALLED IN ACCORDANCE WITH SECTION R315 OF THE CALIFORNIA RESIDENTIAL CODE (CRC).

INSTALL GFCI RECEPTACLES AS INDICATED.

INSTALL ANY NEW SWITCHES OR RECEPTACLES AT ELEVATIONS TO MATCH EXISTING U.O.N. INSTALL NEW RECEPTACLES ON VANITY @ 8" TO € FROM VANITY SURFACE. CONFIRM MIRROR ELEVATION & LOCATION PRIOR TO ROUGH IN, RELOCATE OR TURN HORIZONTAL IF NECESSARY. CONSULT OWNER/PROJECT MANAGER FOR EXACT PLACEMENT IF RELOCATION IS REQUIRED. RECEPTACLE @ TOILET AREA TO MATCH EXISTING RECEPTACLE ELEVATION (SEE WASHLET NOTE BELOW).

INSTALL NEW TOILET WHERE INDICATED. PROVIDE MINIMUM 24" UNOBSTRUCTED CLEARANCE IN FRONT OF TOILET & 15" MINIMUM UNOBSTRUCTED CLEARANCE TO EACH SIDE. SEE SECTION 4.303 ON SHEET G1.0 FOR REQUIRED FIXTURE FLOW RATES. RELOCATE PLUMBING AS NECESSARY. INSTALL WASHLET ACCESSORY TO TOILET. CONSULT WASHLET INSTALLATION INSTRUCTIONS TO DETERMINE EXACT LOCATION FOR RECEPTACLE. INSTALL CURBLESS SHOWER WITH LINEAR DRAIN PER DIMENSIONS SHOWN. TRAP & DRAIN PIPE TO BE 2"

INSTALL LINEAR DRAIN @ SHOWER DOOR AS INDICATED TO FUNCTION AS REQUIRED SECONDARY DRAIN. WATERPROOF SHOWER MEMBRANE MUST EXTEND BEYOND DRAIN. TRAP AND DRAIN FOR SECONDARY MUST CONNECT INDEPENDENTLY TO MAIN. INSTALL BENCH AS INDICATED, 20" TO TOP.

INSTALL BATHTUB. CONSULT MANUFACTURERS INSTRUCTIONS TO DETERMINE LOCATION FOR ROUGH-IN. RELOCATE PLUMBING AS NECESSARY. BATHTUB MODELED IS A KOHLER STARGAZE 72". INSTALL WALL MOUNTED ROMAN TUB BATHTUB VALVE & FILLER SPOUT. SEE SECTION 4.303 ON SHEET G1.0 FOR REQUIRED FIXTURE FLOW RATES. INSTALL WALL MOUNTED EXHAUST FAN AS INDICATED. 1629 CFM MIN.

INSTALL LED LIGHTING (SUITABLE FOR DAMP/WET LOCATION, AS APPROPRIATE) AS INDICATED INSTALL VANITIES, SINKS & SINK FIXTURES. SEE SECTION 4.303 ON SHEET G1.0 FOR REQUIRED FIXTURE FLOW RATES. PROVIDE MINIMUM 24" UNOBSTRUCTED CLEARANCE IN FRONT OF SINK.

INSTALL LED BACKLIT MIRRORS CENTERED OVER VANITIES. CONSULT OWNER/PROJECT MANAGER FOR

ELEVATION PRIOR TO ROUGH-IN. PROVIDE REQUIRED ELECTRICAL ROUGH-IN. INSTALL SHOWERHEADS (HANDHELD & FIXED) @ 7' FROM FINISHED FLOOR, & MIXING VALVE @ 48" FROM FINISHED FLOOR. SEE SECTION 4.303 ON SHEET G1.0 FOR REQUIRED FIXTURE FLOW RATES. SHOWER TO BE PROVIDED WITH PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE CONTROLS.

INSTALL TWO 16"W X 16"T SHAMPOO NICHES @ BATHTUB. INSTALL 4" ABOVE RIM OF BATHTUB TO BOTTOM INSTALL NEW 16"W X 36"T SHAMPOO NICHE @ SHOWER. INSTALL @ 40" FROM FINISHED FLOOR TO BOTTOM OF BOX AND PER DIMENSIONS SHOWN. CONSULT OWNER/PROJECT MANAGER FOR SHELF LOCATIONS PRIOR TO

INSTALLATION. INSTALL REDGUARD TO BATHROOM FLOOR AND SHOWER & BATHTUB WALLS PRIOR TO TILE OR STONE INSTALLATION. INSTALL NEW TILE TO SHOWER & BATHTUB SURROUND.

TILE @ SHOWER SURROUND & BATHTUB SURROUND TO CEILING. TRANSITION TILE 6-INCHES BEYOND SHOWER ENCLOSURE GLASS PANEL. INSTALL NEW FLOORING & BASE

INSTALL NEW SAFETY GLASS SHOWER DOOR & ENCLOSURE. SHOWER DOOR SHALL OPEN TO MAINTAIN NOT LESS THAN A 22-INCH UNOBSTRUCTED OPENING. • NEW PAINT; WALLS & CEILING - 1 COAT PRIMER, 2 COATS FINISH.

FINISH MATERIALS -

SHOWER PAN - 100 SQ FT - INCLUDES 20% OVERAGE

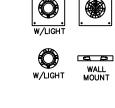
RAIN SHOWER HEAD

SHOWER SURROUND - 276 SQ FT - INCLUDES 20% OVERAGE

BATHROOM FLOOR - 100 SQ FT - INCLUDES 20% OVERAGE (INCLUDES FLOORING UNDER VANITY)

BASE (INCLUDES BASE UNDER VANITY) - 34 LF - INCLUDES 20% OVERAGE





SPECIFIED IN THE MECHANICAL NOTES ON PAGE A0.2. FAN MUST BE CONTROLLED BY A HUMIDITY CONTROL. HUMIDITY CONTROL SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE LESS THAN OR EQUAL TO 50% TO A MAXIMUM OF 80%. HUMIDITY CONTROL MAY UTILIZE MANUAL OR AUTOMATIC MEANS OF ADJUSTMENT. HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT TO THE EXHAUST FAN AND IS NOT REQUIRED TO BE INTEGRAL (I.E., BUILT-IN). EXHAUST FAN TO BE 50 CFM MIN & DUCT SIZED ACCORDING TO ASHRAE STANDARD 62.2, TABLE 7.1 [CEnC 150.0 (O)]. BATHROOM EXHAUST FANS SHALL BE RATED FOR SOUND AT A MAXIMUM OF 3 SONE. FANS WITH A MINIMUM AIRFLOW SETTING EXCEEDING 400 CFM NEED NOT COMPLY.

LEGEND:

EXISTING TO REMAIN

ETTTT EXISTING WALLS & ITEMS TO BE

NEW 2X4 WALLS @ 16" O.C.

@ EXTERIOR WALLS.

8888888 NEW 2X6 WALLS @ 16" O.C.

@ EXTERIOR WALLS.

C:=: OVERHEAD CABINET, BEAM,

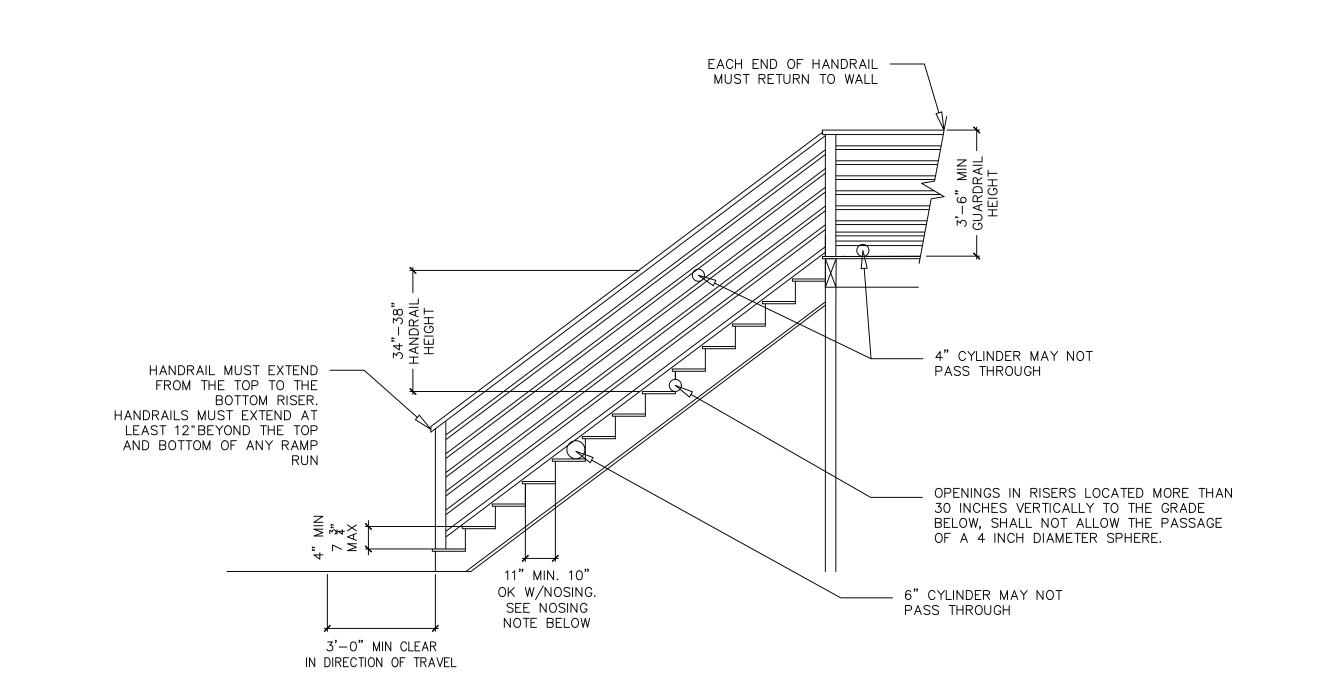
NEW 42" TALL WALL

REMOVED

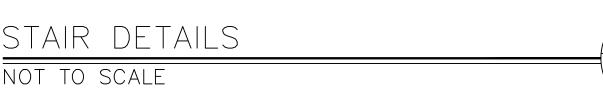
INSTALL R-15 MIN INSULATION

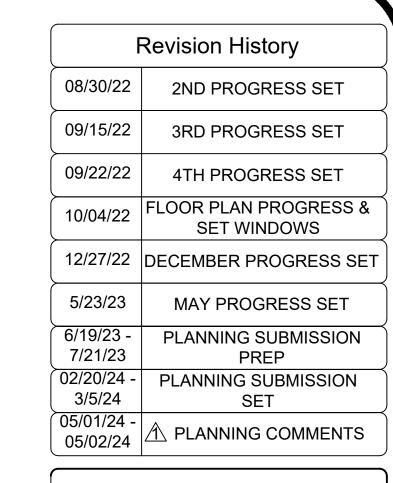
INSTALL R-21 MIN INSULATION

REGISTER UNIT IDENTIFIER



- LANDINGS @ EXTERIOR DOORS TO BE 36" MINIMUM IN THE DIRECTION OF TRAVEL, EQUAL OR GRATER IN WIDTH THAN THE DOOR OPENING, & NOT TO EXCEED
- 2% SLOPE AWAY FROM THE BUILDING. • LANDINGS FOR EGRESS DOORS SHALL BE NOT MORE THAN 7-3/4 INCHES LOWER THAN THE THRESHOLD FOR IN-SWINGING DOORS AND NOT MORE THAN
- 1-1/2 INCHES LOWER THAN THE THRESHOLD FOR OUT-SWINGING DOORS. • LANDINGS FOR OTHER EXTERIOR DOORS SHALL BE NOT MORE THAN 7-3/4 INCHES LOWER THAN THE THRESHOLD.
- HANDRAIL BETWEEN THE DIMENSIONS OF 34" & 38" REQUIRED ALONG ALL SLOPED SECTIONS OF STAIRS. • THE OUTSIDE DIAMETER OF A CIRCULAR HANDRAIL MAY BE NO LESS THAN 1-1/4 INCHES AND NO GREATER THAN 2 INCHES. A NON-CIRCULAR MUST HAVE A
- PERIMETER DIMENSION OF AT LEAST 4 INCHES AND NO GREATER THAN 6-1/4 INCHES. THE MAXIMUM CROSS SECTION IS 2-1/4 INCHES. HANDRAILS MAY PROJECT OVER THE STAIRS BY 4-1/2 INCHES MAXIMUM ON EACH SIDE OF THE STAIRWAY
- HANDRAILS ATTACHED TO THE WALL MUST HAVE SPACE BETWEEN THE WALL AND THE RAIL OF AT LEAST 1-1/2 INCHES TO PROVIDE A GRASPABLE SURFACE. HANDRAIL ATTACHED TO GUARDRAIL OR WALL MUST RETURN TO GUARDRAIL OR WALL AT EACH END.
- INSTALL SOLID BLOCKING AS NEEDED TO SUPPORT HANDRAIL CAPABLE OF WITHSTANDING A CONCENTRATED LOAD OF 200 POUNDS APPLIED IN ANY DIRECTION
- STAIR NOSING PROJECTION: ¾ MINIMUM, 1 ¼ MAXIMUM.







MAS-ADDI RRO SA 948 CE 8 OON S CI AE, 1 OF BATH 427 I REENE AF

D 8 PH 727 ENE

Drawing By:
Chris Klimen
klimen@att.net
PH: 510.928.1359
Date: JULY 05, 2022
Project / Job #:

Peter Christopher Klimen DIGITALLY SIGNED BY PETER CHRISTOPHER KLIMEN EMAIL=KLIMEN@ATT.NET DATE: 05/24/24

KEY:

DOOR.

BI-PASS BI-FOLD

SOLID CORE

HOLLOW CORE

1HR RATED FIRE DOOR

W/SELF CLOSING HINGES

WINDOW SCHEDULE																
MARK	STATUS	ROOM	WIDTH	HEIGHT	GLZ AREA (FT ²)	TYPE	R.O. WIDTH	R.O. HEIGHT	HEADER HEIGHT	COLOR - INTERIOR	COLOR EXTERIC	– HARDWA	MANUFACTURER	U-FACTOR	SHGC	NOTES
А	NEW	BEDROOM 1	3'-0"	4'-0"	12.0	CASEMENT										
В	NEW	BEDROOM 1	3'-0"	4'-0"	12.0	CASEMENT										
С	NEW	BATHROOM 1	3'-0"	4'-0"	12.0	CASEMENT										TEMPERED/SAFETY GLASS
D	NEW	BATHROOM 1	5'-0"	2'-0"	10.0	AWNING										TEMPERED/SAFETY GLASS. COMPOSITE OR VINYL ONLY - WOOD NOT PERMITTED.
E	NEW	OFFICE	3'-0"	4'-0"	12.0	CASEMENT										
F	NEW	OFFICE	5'-0"	4'-0"	20.0	FIXED										
G	NEW	OFFICE	3'-0"	4'-0"	12.0	CASEMENT										
Н	EXISTING	BEDROOM 1	1'-10"	4'-0"	7.3	CASEMENT										
+	EXISTING	BEDROOM 1	2'-10"	4'-0"	11.3	CASEMENT										
J	EXISTING	BEDROOM 1	2'-10"	4'-0"	11.3	CASEMENT										
К	EXISTING	BATHROOM 1	2' 4 1/4"	3' 0 1/4"	7.1	SINGLE HUNG										
L	EXISTING	BATHROOM 2	2'-4 1/4"	3'-0 1/4"	7.1	SINGLE HUNG										
М	EXISTING	LIVING ROOM	2'-0"	5'-0"	10.0	CASEMENT										TEMPERED/SAFETY GLASS
N	EXISTING	LIVING ROOM	2'-0"	5'-0"	10.0	CASEMENT										TEMPERED/SAFETY GLASS
0	EXISTING	DINING ROOM	6'-0"	5'-0"	30.0	CASEMENT/FIXED /CASEMENT										
Р	EXISTING	KITCHEN	4'-0"	3'-0"	12.0	SLIDER										
Q	EXISTING	KITCHEN	4'-0"	1'-0"	4.0	SLIDER										
R	EXISTING	NOOK	8'-0"	4'-0"	32.0	DOUBLE CASEMENT										
S	EXISTING	BEDROOM 3	6'-0"	4'-0"		CASEMENT/FIXED										
Т	EXISTING	BEDROOM 2	8'-0"	4'-0"	32.0	CASEMENT/FIXED /CASEMENT										
U	EXISTING	BEDROOM 1 CLOSET	2'-4"	2'-8"	6.2	CASEMENT										
V	EXISTING	FAMILY ROOM	6'-0"	3'-0"	18.0	SLIDER										
w	EXISTING	FAMILY ROOM	6'-0"	3'-0"	18.0	SLIDER										
×	EXISTING	BATH 3	2'-4"	2'-8"	6.2	CASEMENT										
Y	EXISTING	LAUNDRY	2'-4"	2'-8"	6.2	CASEMENT										
Z	EXISTING	GARAGE	2'-4"	2'-8"	6.2	CASEMENT										
AA	EXISTING	GARAGE	2'-4"	2'-8"	6.2	CASEMENT										
ВВ	NEW	BATHROOM 1	4'-0"		###											
СС	NEW	BATHROOM 1	1'-6"		###											
DD	NEW	OFFICE	3'-0"		###											
EE	NEW	OFFICE	5'-0"		###											
FF	NEW	OFFICE	3'-0"		###											
GG	NEW	BATHROOM 1	1'-6"		###											
НН	EXISTING	BEDROOM 1	5'-6"	6'-6"	35.8	FIXED										
II	EXISTING	BEDROOM 1	5'-6"	6'-6"	35.8	FIXED										
	EXISTING	BEDROOM 1	5'-6"	6'-6"	35.8	FIXED										
	EXISTING	HALL	6'-6"	6'-6"	42.3	FIXED										
+	EXISTING	HALL	6'-6"	6'-6"	42.3	FIXED										
MM	EXISTING	LIVING ROOM	5'-6"	6'-6"	35.8	FIXED										
	EXISTING	LIVING ROOM	5'-6"	6'-6"	35.8	FIXED										
00	EXISTING	DINING ROOM	6'-6"	6'-6"	42.3	FIXED										
PP	EXISTING	DINING ROOM	6'-6"	6'-6"	42.3	FIXED					2 001155					
	Т				GLZ ARFA	FINISH	<u> </u>	$\overline{}$			R SCHEDU		ARDWARE	<u> </u>		
MARK	STATUS	ROOM	WIDTH		GLZ AREA (FT ²)			WIDTH R.O.	HEIGHT H	IEADER CHEIGHT II	NTERIOR	COLOR - F EXTERIOR	ARDWARE SEE MANUFA	CTURER U-	FACTOR SHO	GC NOTES
1	NEW	BEDROOM 1	5'-0"	6'-8"		BI-PA										
2	NEW	BATHROOM 1	2'-6"	6'-8"		SWIN SLIDING										
3	NEW	OFFICE	6'-0"	6'-8"	40.0	DOO	R									TEMPERED/SAFETY GLASS
4	EXISTING	ENTRY	5'-9 1/4"	7'-9 1/2"	45.0	SWING										GLAZED DOOR PAIR
5	EXISTING	KITCHEN	3'-0"	7'-0"	10.5	SWIN										½" LITE
6	EXISTING	BACK PATIO	6'-0"	7'-0"	42.0	SWING SLIDING										GLAZED DOOR PAIR
7	EXISTING	FAMILY ROOM	6'-0"	6'-8"	40.0	DOO SLIDING	R									
8	EXISTING	FAMILY ROOM	6'-0"	6'-8"	40.0	DOO	R									

VERIFY DOOR & WINDOW SIZES BEFORE PLACING ORDER. FOLLOW MANUFACTURERS R.O. DIMENSIONS FOR ALL DOOR & WINDOW OPENINGS

TEMPERED/SAFETY GLASS

OVERHEAD SECTIONAL

EXISTING TO REMAIN

OBSCURE

SWING

FRENCH DOOR

OS

FR

SW

VERIFY U FACTOR & SHGC REQUIREMENTS IN T-24 REPORT

SAFETY GLAZING IS REQUIRED FOR AN INDIVIDUAL FIXED OR OPERABLE WINDOW PANEL PANEL ADJACENT TO A DOOR WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60

INCHES ABOVE THE FLOOR OR WALKING SURFACE AND IT MEETS EITHER OF THE FOLLOWING CONDITIONS:

• WHERE THE GLAZING IS WITHIN 24 INCHES OF EITHER SIDE OF THE DOOR IN THE PLANE OF THE DOOR IN A CLOSED POSITION.

• WHERE THE GLAZING IS ON A WALL LESS THAN 180 DEGREES FROM THE PLANE OF THE DOOR IN A CLOSED POSITION AND WITHIN 24 INCHES OF THE HINGE SIDE OF AN IN—SWINGING

DBLH

AW

SLIDING GLASS DOOR

BIDIRECTIONAL SLIDER

SINGLE HUNG

DOUBLE HUNG

AWNING

Revision History

2ND PROGRESS SET

3RD PROGRESS SET

4TH PROGRESS SET

FLOOR PLAN PROGRESS &

SET WINDOWS

MAY PROGRESS SET

PLANNING SUBMISSION

12/27/22 DECEMBER PROGRESS SET

02/20/24 - PLANNING SUBMISSION

05/01/24 -05/02/24 PLANNING COMMENTS

08/30/22

09/15/22

09/22/22

10/04/22

5/23/23

6/19/23 -7/21/23

3/5/24

OFF BATHI 427 L GREENBI AP

Drawing By:

Chris Klimen

klimen@att.net

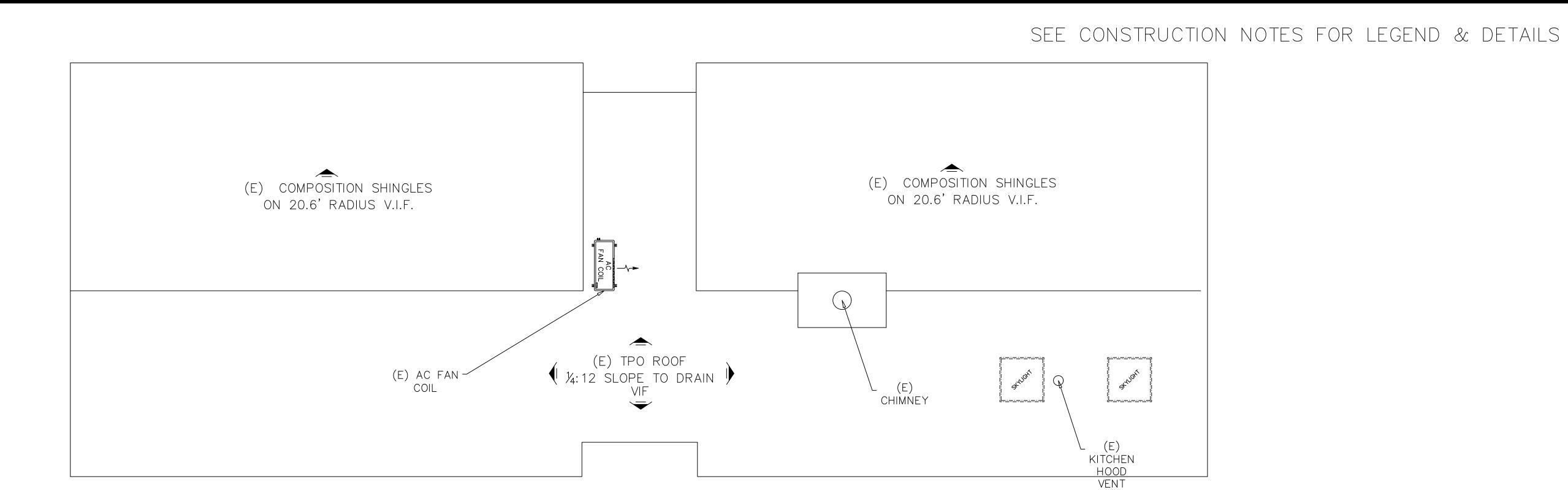
PH: 510.928.1359

Date: JULY 05, 2022

Project / Job #:

Peter Christopher Klimen DIGITALLY SIGNED BY PETER CHRISTOPHER KLIMEN EMAIL=KLIMEN@ATT.NET DATE: 05/24/24

AVID & H PH -427 L SREENBI



 Revision History

 08/30/22
 2ND PROGRESS SET

 09/15/22
 3RD PROGRESS SET

 09/22/22
 4TH PROGRESS SET

 10/04/22
 FLOOR PLAN PROGRESS & SET WINDOWS

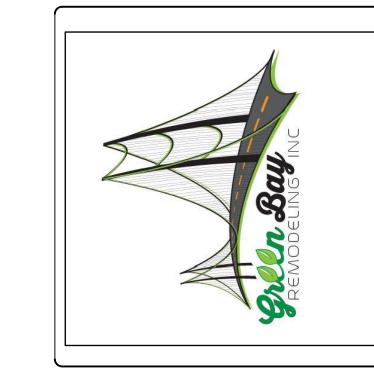
 12/27/22
 DECEMBER PROGRESS SET

 5/23/23
 MAY PROGRESS SET

 6/19/23 - 7/21/23
 PLANNING SUBMISSION PREP

 02/20/24 - 9LANNING SUBMISSION SET
 PLANNING SUBMISSION SET

 05/01/24 - 05/02/24
 A PLANNING COMMENTS



OFFICE & MASTER
BATHROOM ADDITION
427 LOS CERROS DR
GREENBRAE, CA 94904-1124
APN: 070-071-14

Drawing By:
Chris Klimen
klimen@att.net
PH: 510.928.1359
Date: JULY 05, 2022

Project / Job #:

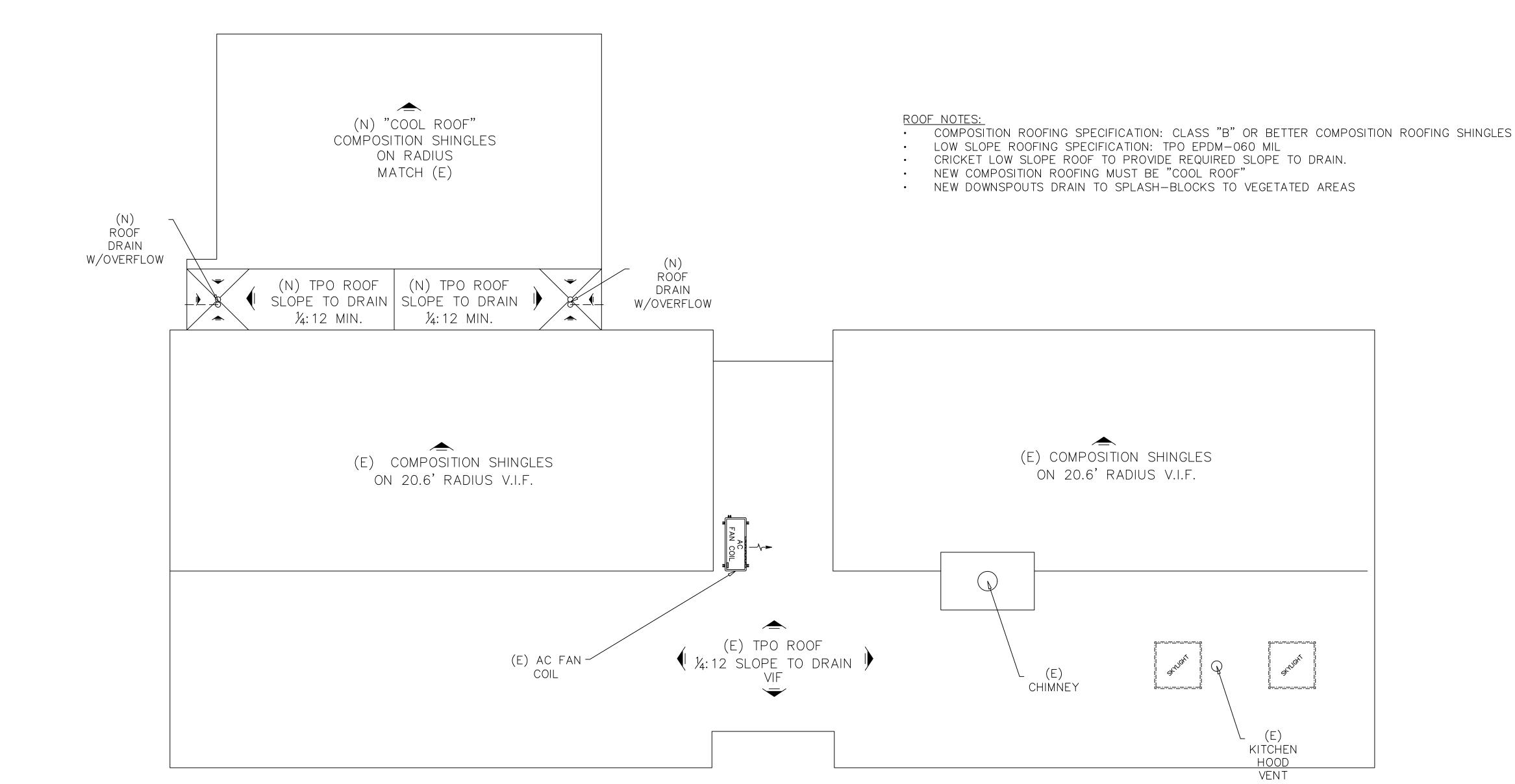
Peter Christopher Klimen

Digitally signed by Peter Christopher Klimen

EMAIL=KLIMEN@ATT.NET DATE: 05/24/24

ROOF

A2.10

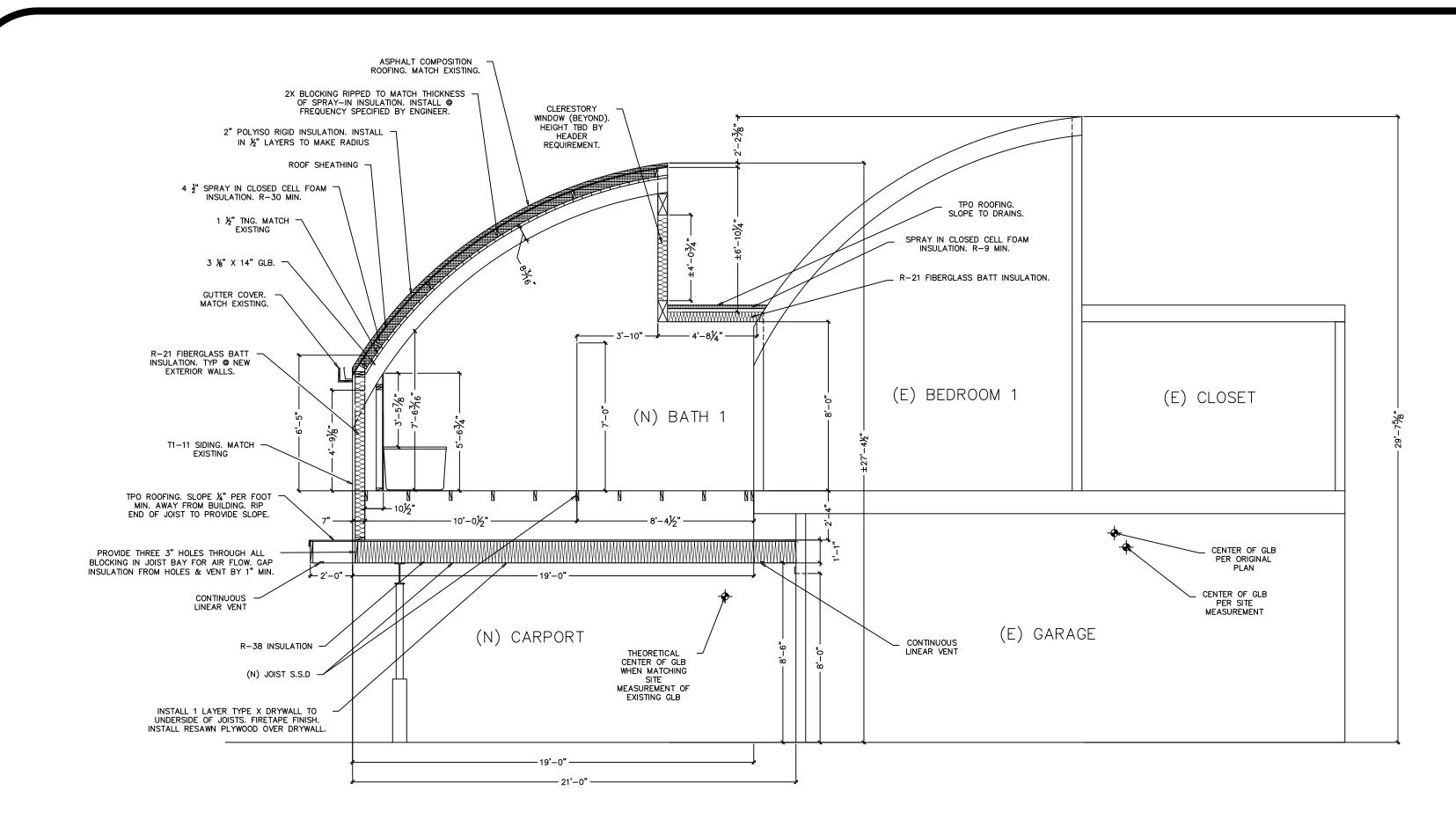


(N) ROOF PLAN

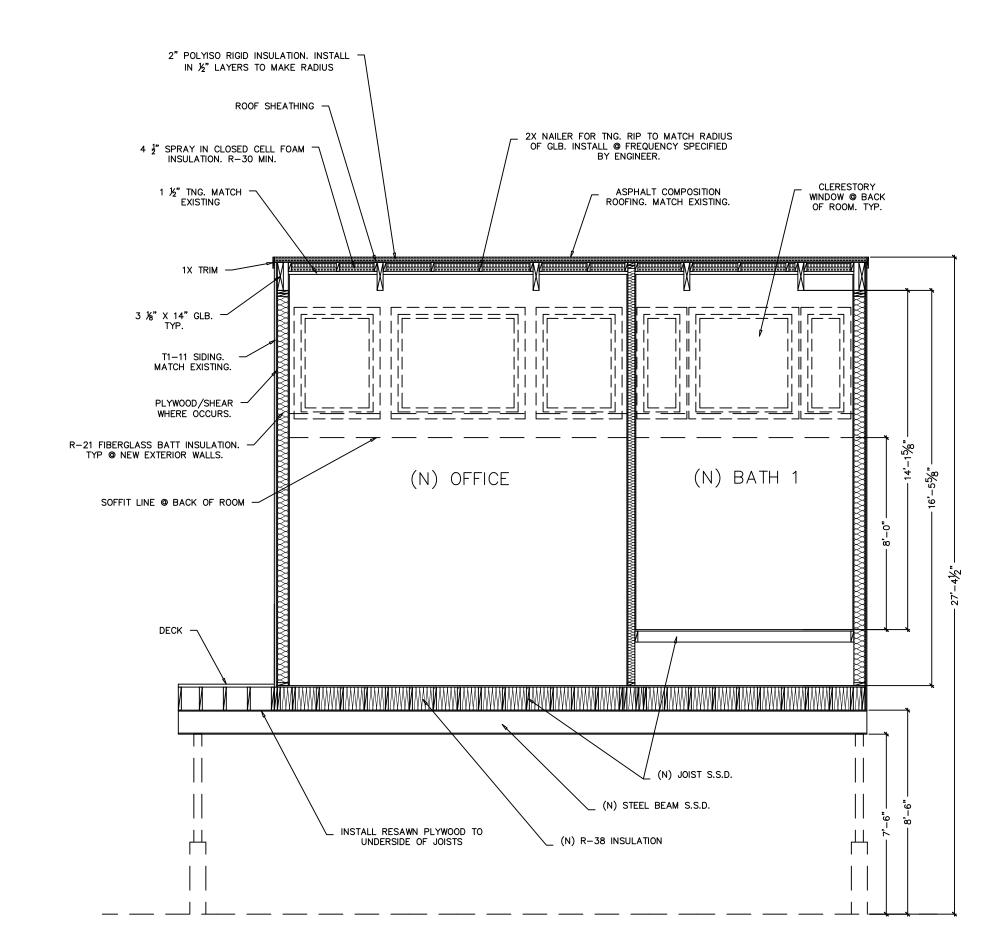
SCALE: 1/4"=1'-0"

(E) ROOF PLAN

SCALE: 1/4"=1'-0"



SECTION VIEW & CONSTRUCTION DETAILS SCALE: 1/4"=1'-0"



SECTION VIEW & CONSTRUCTION DETAILS SCALE: 1/4"=1'-0"



SEE CONSTRUCTION NOTES FOR LEGEND & DETAILS

• NEW ROOF ASSEMBLY MEETS REQUIREMENTS UNDER SECTION R806.5 AS AN UNVENTED ROOF FRAMING ASSEMBLY; THE AMOUNTS OF PREFORMED RIGID OR SPRAY-IN INSULATION SPECIFIED READILY EXCEED THE REQUIRED AMOUNTS FOR CONDENSATION CONTROL. (R-5 FOR CLIMATE ZONE

DÉTAILS SHOWN ARE TYPICAL TO ALL NEW CONSTRUCTION LOCATIONS.

• (N) EXTERIOR WALL INSULATION TO BE R-21 MIN @ 2X6 WALLS & R-15 MIN @ 2X4 WALLS. • (N) CEILING INSULATION @ CURVED AREAS TO BE COMBINATION OF CLOSED CELL SPRAY FOAM (UNDER ROOF DECKING) & RIGID POLYISOCYANURATE SHEET INSULATION (ABOVE ROOF DECKING),

• (N) CEILING INSULATION @ FLAT AREAS TO BE COMBINATION OF CLOSED CELL SPRAY FOAM (UNDER ROOF DECKING) & RIGID POLYISOCYANURATE SHEET INSULATION (ABOVE ROOF DECKING), R-30 MIN.

• (N) UNDER-FLOOR INSULATION TO BE R-38 MIN. INSTALL WITH NETTING OR INSULATION HANGERS. INSTALL LINEAR SOFFIT VENTS TO CARPORT SOFFIT WHERE INDICATED. DRILL HOLES THROUGH

BLOCKING IN JOIST BAYS AS INDICATED. WHERE SOFFIT VENTS ARE INSTALLED (OR JOIST BLOCKING), INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. NOT LESS THAN A 1-INCH SPACE SHALL BE PROVIDED BETWEEN THE

INSULATION AND THE BLOCKING/VENT. • (N) ROOFING @ CURVED ROOF TO BE COMPOSITION OF CLASS "B" OR BETTER. COLOR TO MATCH

 UNDERLAYMENT FOR ASPHALT SHINGLES SHALL COMPLY WITH ASTM D226 TYPE I; ASTM D4869
 TYPE I, II, III OR IV; ASTM D6757, AND SHALL BEAR A LABEL INDICATING COMPLIANCE TO THE
 STANDARD DESIGNATION. UNDERLAYMENT SHALL BE APPLIED SHINGLE FASHION, PARALLEL TO AND STARTING FROM THE EAVE AND LAPPED 2 INCHES, DISTORTIONS IN THE UNDERLAYMENT SHALL NOT INTERFERE WITH THE ABILITY OF THE SHINGLES TO SEAL. END LAPS SHALL BE 4 INCHES AND

SHALL BE OFFSET BY 6 FEET. • NEW ROOFING @ LOW SLOPE AREAS TO BE TPO EPDM-060 MIL. PROVIDE SLOPE AS SPECIFIED BY

MANUFACTURER. SLOPE ROOF WITH RIGID INSULATION SUITABLE FOR ROOFING APPLICATION. ANY NEW WOOD FRAMING MEMBERS LESS THAN 8 INCHES FROM THE EXPOSED GROUND (2" FROM

CONCRETE) SHALL BE PRESSURE TREATED LUMBER.

GRATER IN WIDTH THAN THE DOOR OPENING, & NOT TO EXCEED 2% SLOPE AWAY FROM THE

• LANDINGS FOR EGRESS DOORS SHALL BE NOT MORE THAN 7-3/4 INCHES LOWER THAN THE THRESHOLD FOR IN-SWINGING DOORS AND NOT MORE THAN 1-1/2 INCHES LOWER THAN THE THRESHOLD FOR OUT-SWINGING DOORS.

• LANDINGS @ EXTERIOR DOORS TO BE 36" MINIMUM IN THE DIRECTION OF TRAVEL, EQUAL OR • LANDINGS FOR OTHER EXTERIOR DOORS SHALL BE NOT MORE THAN 7-3/4 INCHES LOWER THAN

Revision History 2ND PROGRESS SET 08/30/22 09/15/22 3RD PROGRESS SET 09/22/22 4TH PROGRESS SET FLOOR PLAN PROGRESS & 10/04/22 SET WINDOWS 12/27/22 DECEMBER PROGRESS SET MAY PROGRESS SET 5/23/23 PLANNING SUBMISSION 7/21/23 02/20/24 - PLANNING SUBMISSION 3/5/24 ⚠ PLANNING COMMENTS



Drawing By:	
Chris Klimen	
klimen@att.net	
PH: 510.928.1359	
Date: JULY 05, 2022	
Project / Job #:	
Datas Olasista la assista	(11)

Peter Christopher Klimen DIGITALLY SIGNED BY PETER CHRISTOPHER KLIMEN EMAIL=KLIMEN@ATT.NET DATE: 05/24/24

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klimen@att.net PH: 510.928.1359 Date: JULY 05, 2022 Project / Job #:

Drawing By:

Chris Klimen

DIGITALLY SIGNED BY PETER CHRISTOPHER KLIMEN EMAIL=KLIMEN@ATT.NET DATE: 05/24/24

Revision History

2ND PROGRESS SET

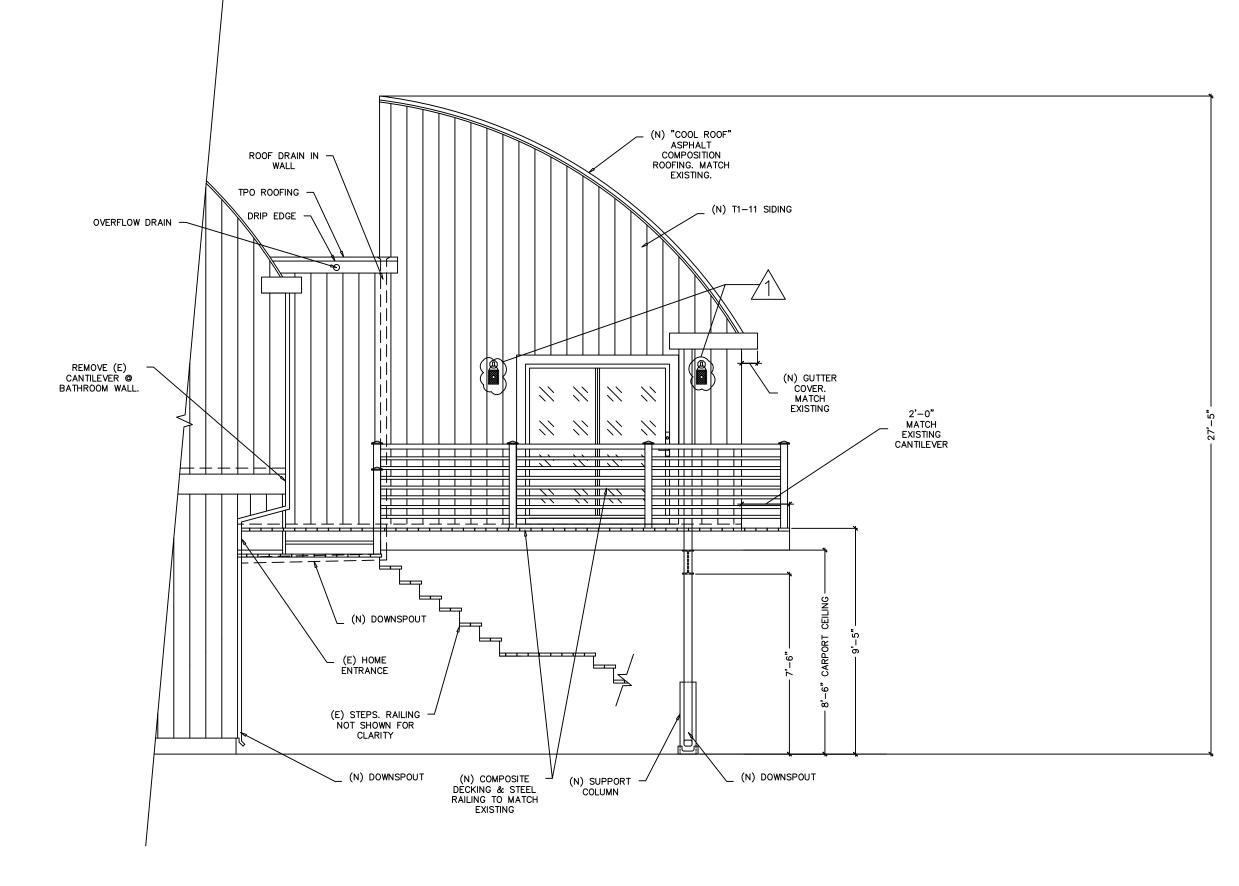
3RD PROGRESS SET

4TH PROGRESS SET

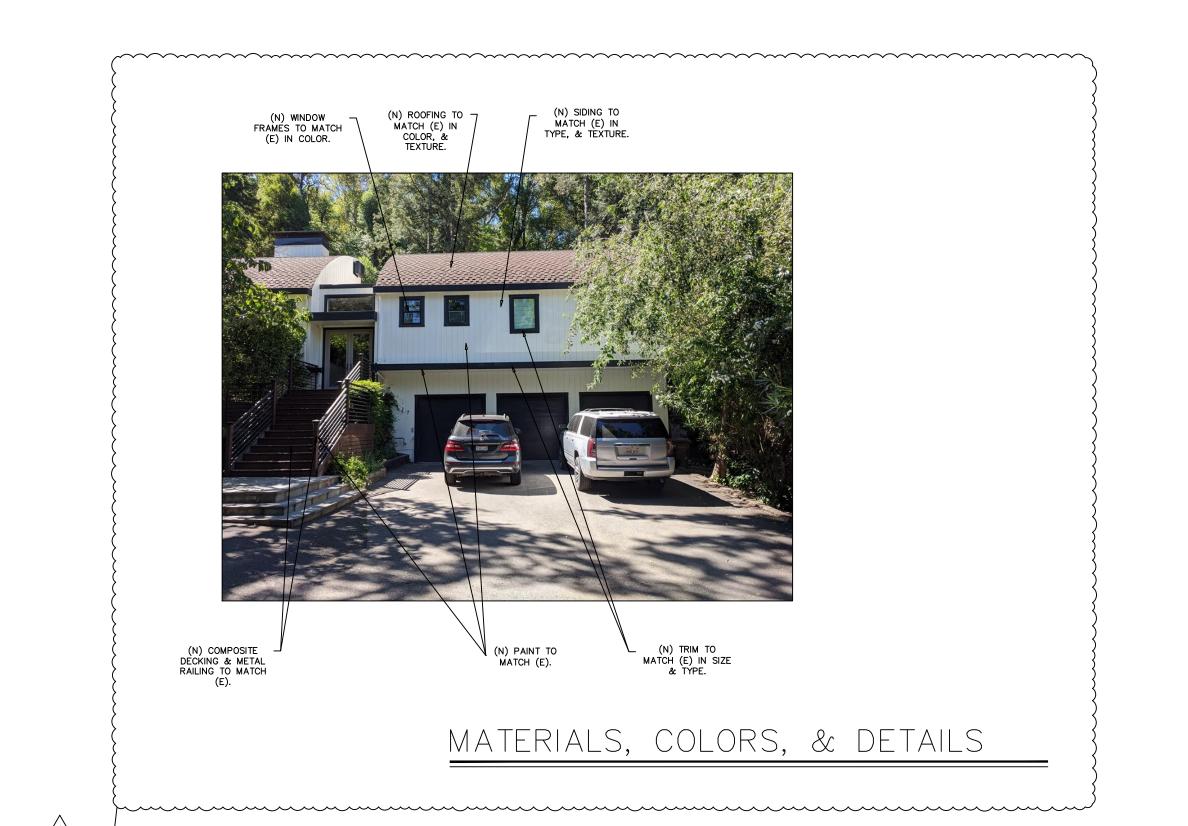
FLOOR PLAN PROGRESS & SET WINDOWS

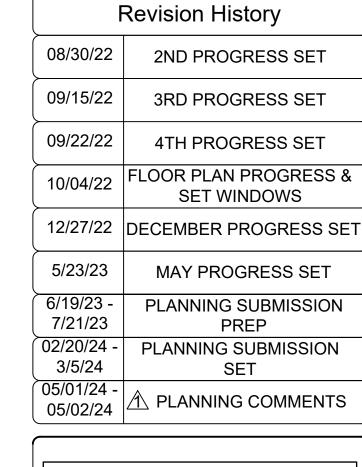
MAY PROGRESS SET

PLANNING SUBMISSION

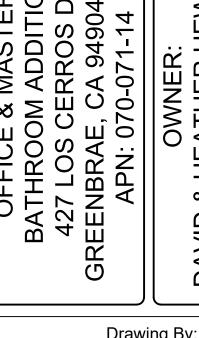


(N) ELEVATION FROM PLAN EAST SCALE: 1/4"=1'-0"









Drawing By:
Chris Klimen
klimen@att.net
PH: 510.928.1359
Date: JULY 05, 2022
Project / Job #:
peter Christopher Klini

reter Christopher Klimen DIGITALLY SIGNED BY PETER CHRISTOPHER KLIMEN EMAIL=KLIMEN@ATT.NET DATE: 05/24/24

SEE CONSTRUCTION NOTES FOR LEGEND & DETAILS

Revision History									
08/30/22	2ND PROGRESS SET								
09/15/22	3RD PROGRESS SET								
09/22/22	4TH PROGRESS SET								
10/04/22	FLOOR PLAN PROGRESS & SET WINDOWS								
12/27/22	DECEMBER PROGRESS SET								
5/23/23	MAY PROGRESS SET								
6/19/23 - 7/21/23	PLANNING SUBMISSION PREP								
02/20/24 - 3/5/24	PLANNING SUBMISSION SET								
05/01/24	⚠ PLANNING COMMENTS								



Drawing By: Chris Klimen klimen@att.net PH: 510.928.1359 Date: JULY 05, 2022 Project / Job #:

Peter Christopher Klimen

DIGITALLY SIGNED BY PETER CHRISTOPHER KLIMEN

EMAIL=KLIMEN@ATT.NET DATE: 05/24/24

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ELECTRICAL & MECHANICAL PLAN

SCALE: 1/2"=1'-0"

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