

DESCRIPTION OF WORK:

CONSTRUCT A 477 SQ FT OFFICE AND MASTER BATHROOM ADDITION WITH A CARPORT BENEATH.

427 LOS CERROS DR OFFICE & MASTER BATHROOM ADDITION

ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING CODES AND STANDARDS:
 CALIFORNIA BUILDING CODE, 2022 EDITION
 CALIFORNIA RESIDENTIAL CODE, 2022 EDITION
 CALIFORNIA PLUMBING CODE, 2022 EDITION
 CALIFORNIA MECHANICAL CODE, 2022 EDITION
 CALIFORNIA ELECTRICAL CODE, 2022 EDITION
 2022 CALIFORNIA REFERENCED STANDARDS CODE
 2022 CALIFORNIA ENERGY CODE
 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
 CITY OF GREENBRAE MUNICIPAL CODE
 COUNTY OF MARIN CODES AND ORDINANCES

CONTRACTOR MUST RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65 PERCENT OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH EITHER SECTION 4.408.2, 4.408.3 OR 4.408.4 FOUND ON SHEET G1.0, OR MEET A MORE STRINGENT CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE PRESCRIBED BY THE CITY OF GREENBRAE OR COUNTY OF MARIN.

PROJECT DATA:	
COUNTY: MARIN APN#: 070-071-14 YEAR BUILT: 1972 ZONING: R1-B2 OCCUPANCY: R-3/U CLIMATE ZONE: 2 TYPE OF CONSTRUCTION: V-B SEISMIC CATEGORY "D" FLOOD HAZARD ZONE: X SPRINKLERS: NO STORIES: 2 (SPLIT LEVEL) BEDROOMS: (E) 5 (N) NO CHANGE BATHROOMS: (E) 3 (N) NO CHANGE	
DEVELOPMENT STANDARDS PER 22.14.050, TABLE 2-11 FRONT SETBACK = 25 FT SIDES = 10 FT REAR = 25 FT MAXIMUM HEIGHT = 30 FT RIDGE HEIGHT OF ADDITION = 27'-5"	
NO CHANGE TO LANDSCAPING. NO CHANGE TO LOCATION OF UTILITIES. NO CHANGE TO PARKING. NO CHANGE TO DRAINAGE. COLORS & MATERIALS TO MATCH EXISTING.	
CONDITIONED SPACE:	
(E) CONDITIONED SPACE:	3291 SQ FT
(N) ADDED CONDITIONED SPACE:	477 SQ FT
(N) TOTAL CONDITIONED SPACE:	3768 SQ FT
BUILDING AREA:	
(E) BUILDING AREA:	4118 SQ FT
PROPOSED BUILDING AREA:	5160 SQ FT
FLOOR AREA & FAR:	
(E) FLOOR AREA:	3507 SQ FT
PROPOSED FLOOR AREA:	3984 SQ FT
LOT SF:	31746 SQ FT
EXISTING FAR:	$(3507/31746)*100 = 11\%$ FAR
NEW FAR:	$(3984/31746)*100 = 13\%$ FAR
MAX FAR PER 22.14.050, TABLE 2-11 = 30%	

Revision History	
08/30/22	2ND PROGRESS SET
09/15/22	3RD PROGRESS SET
09/22/22	4TH PROGRESS SET
10/04/22	FLOOR PLAN PROGRESS & SET WINDOWS
12/27/22	DECEMBER PROGRESS SET
5/23/23	MAY PROGRESS SET
6/19/23 - 7/21/23	PLANNING SUBMISSION PREP
02/20/24 - 3/5/24	PLANNING SUBMISSION SET
05/01/24	▲ PLANNING COMMENTS



OFFICE & MASTER BATHROOM ADDITION
 427 LOS CERROS DR
 GREENBRAE, CA 94904-1124
 APN: 070-071-14

OWNER:
 DAVID & HEATHER HEWLETT
 PH - (650) 380-4967
 427 LOS CERROS DR
 GREENBRAE, CA 94904-1124

Drawing By:
 Chris Klimen
 klimen@att.net
 PH: 510.928.1359
 Date: JULY 05, 2022
 Project / Job #:
 Peter Christopher Klimen
DIGITALLY SIGNED BY PETER CHRISTOPHER KLIMEN
 EMAIL=KLIMEN@ATT.NET DATE=05/24/24

SITE DATA SHEET INDEX

A0.1

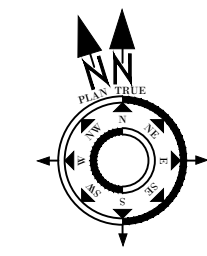
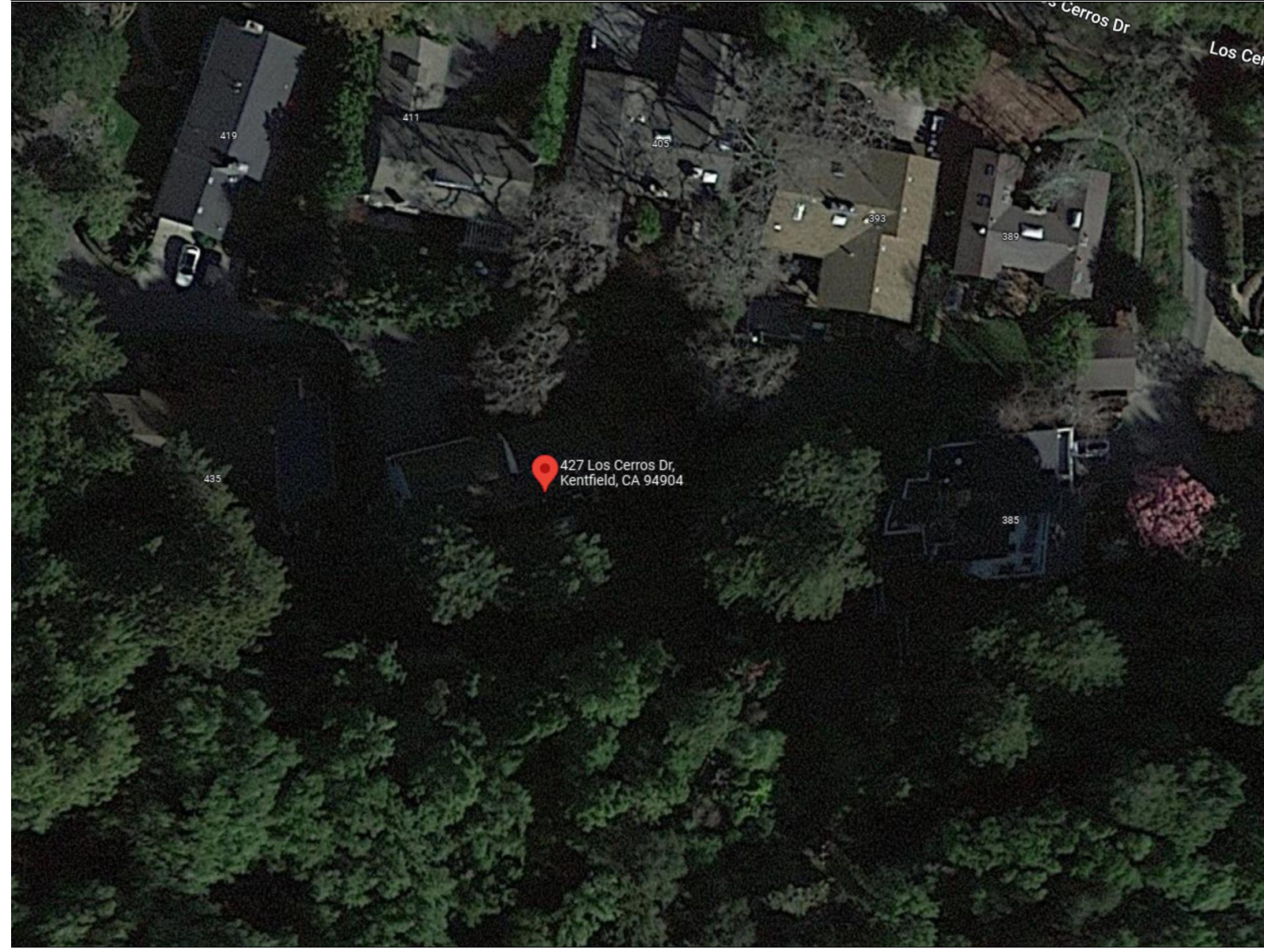
SHEET INDEX:	
A0.1	COVER, PROJECT DATA, INDEX
A0.2	CODE & CONSTRUCTION NOTES
A0.3	BLUEPRINT FOR A CLEAN BAY
A0.4	STORM-WATER POLLUTION PREVENTION TOPOGRAPHIC SURVEY
G1.0	CAL GREEN REQUIREMENTS
G1.1	CAL GREEN REQUIREMENTS
T-24A	T-24 ENERGY CALCULATIONS
T-24B	T-24 ENERGY CALCULATIONS
MF1R	RESIDENTIAL MANDATORY MEASURES
A1.00	(E) SITE PLAN
A1.01	(N) SITE PLAN
A1.02	ENLARGED (E) SITE PLAN
A1.03	ENLARGED (N) SITE PLAN
A1.04	DRIVEWAY TURNAROUND STUDY
A1.10	(E) FLOOR PLAN & DEMOLITION PLAN
A1.11	(N) FLOOR PLAN
A1.12	CONSTRUCTION PLAN
A1.13	CONSTRUCTION NOTES
A1.14	DOOR & WINDOW SCHEDULE
A2.10	ROOF PLANS
A3.10	SECTION VIEWS & CONSTRUCTION DETAILS
A4.10	ELEVATIONS
A4.11	ELEVATIONS, MATERIALS, COLORS, & DETAILS
EM1.10	ELECTRICAL & MECHANICAL PLANS
EM1.11	GARAGE DUCT PLAN

IMPERVIOUS SURFACE CALCULATIONS		
	EXISTING SF	PROPOSED SF
HOUSE	2139	2617
FRONT PATIO & WALK	481	481
FRONT STAIRS	225	225
DRIVEWAY - ASPHALT	5316	4838
SIDE PAVER PATIO	1064	1064
REAR DECK	1320	1320
TOTAL	10545	10545
LOT COVERAGE (LOT=31746 SQ FT)	33.20%	33.20%

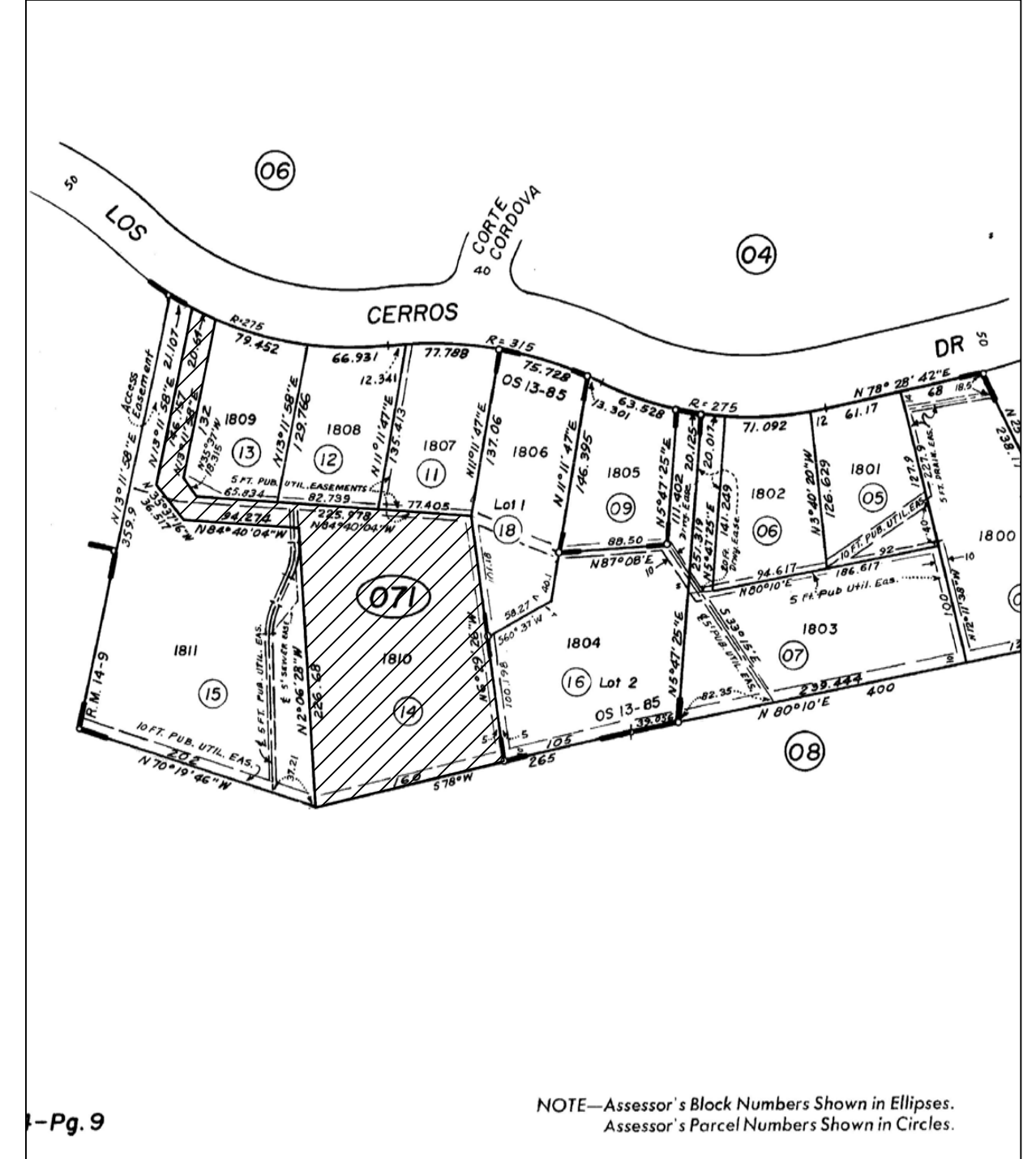
DRAFTER- CHRIS KLIMEN CAD SERVICES:
 CHRIS KLIMEN
 510.928.1359

GENERAL CONTRACTOR - GREEN BAY REMODELING:
 DANNY ILEBOWSKI
 615.730.2259

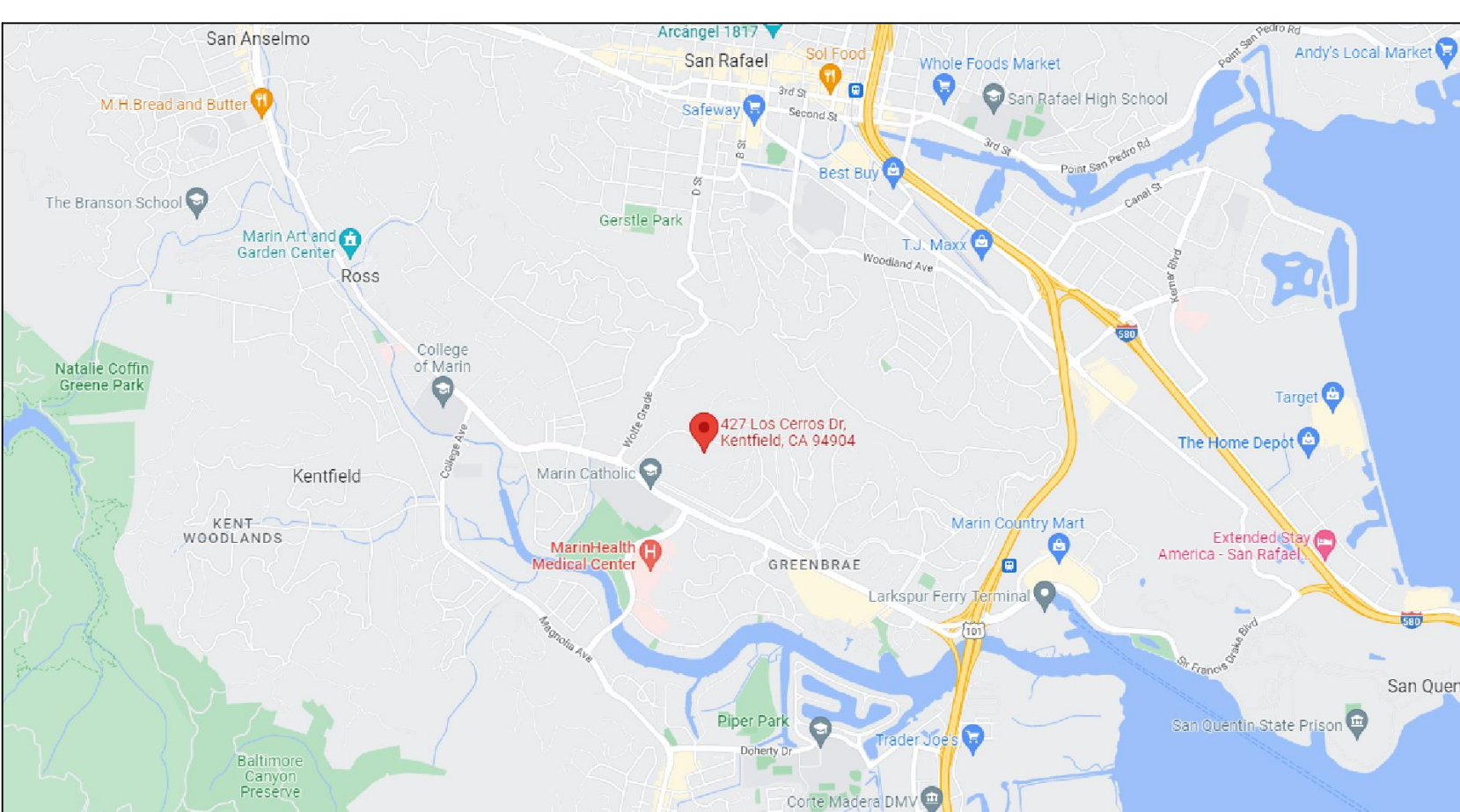
OWNER:
 DAVID & HEATHER HEWLETT
 650.380.4967



LOCAL MAP



ASSESSORS PARCEL MAP



VERIFY ALL DIMENSIONS IN FIELD. IN CASE OF DISCREPANCY, GC TO CONTACT DRAFTER/PROJECT MANAGER PRIOR TO CONTINUATION OF WORK.

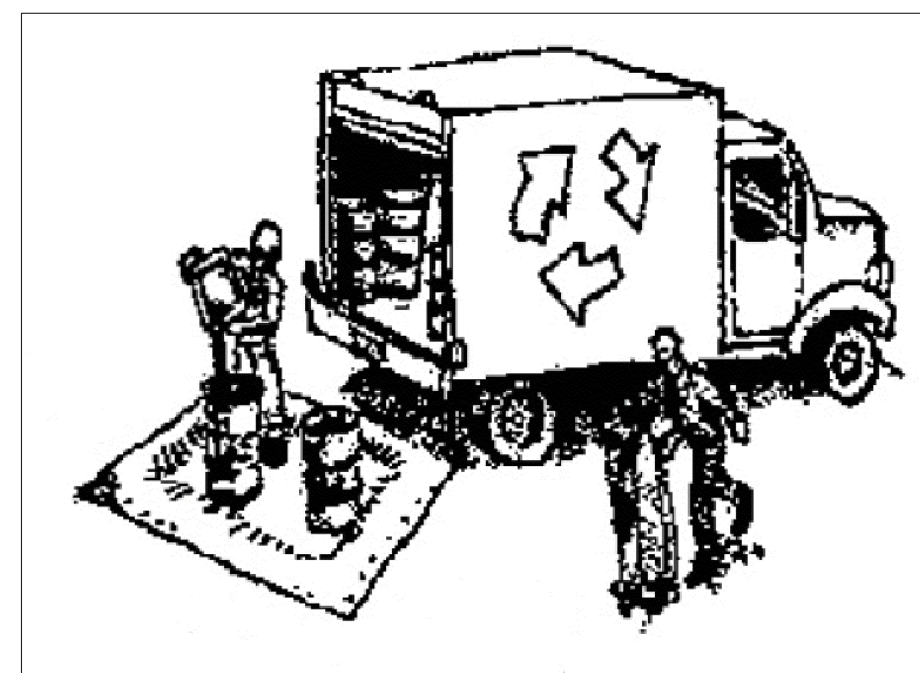
D:\GREEN BAY\427 LOS CERROS\427 LOS CERROS.dwg, 5/2/2024 2:04:19 PM, _AutoCAD PDF (General Documentation).pc3

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project. Please note: the wet season begins on October 1 and continues through April 30.

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Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

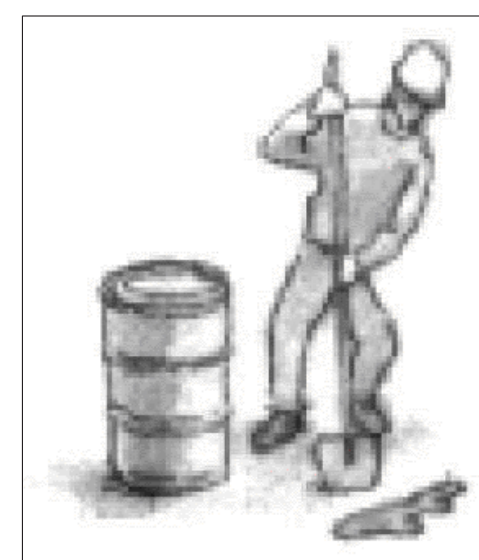
Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



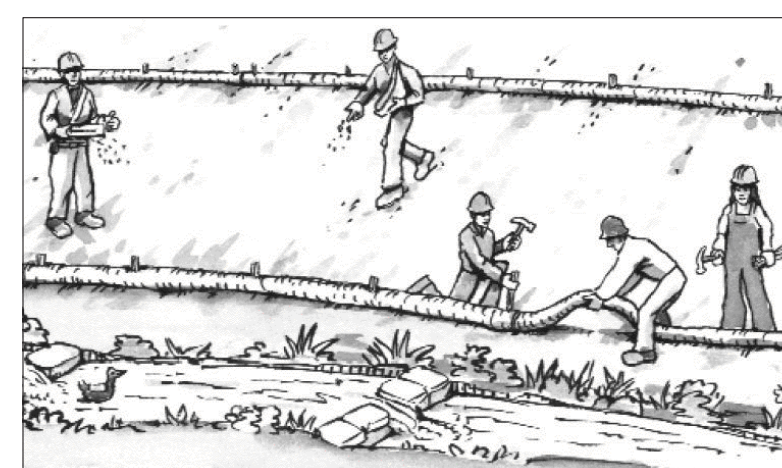
Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc.

Spill Prevention and Control

- Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthwork & Contaminated Soils



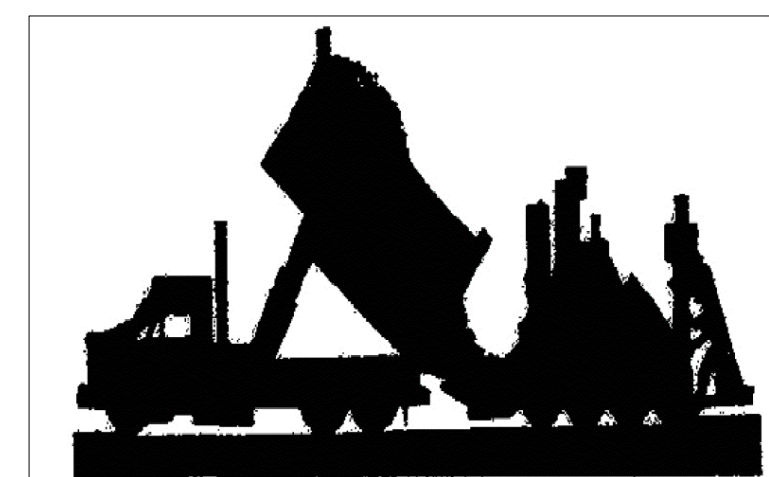
Erosion Control

- Schedule grading and excavation work for dry weather only.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.

Sediment Control

- Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, fiber rolls, berms, etc.
- Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins.
- Keep excavated soil on the site where it will not collect into the street.
- Transfer excavated materials to dump trucks on the site, not in the street.
- Contaminated Soils
- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work

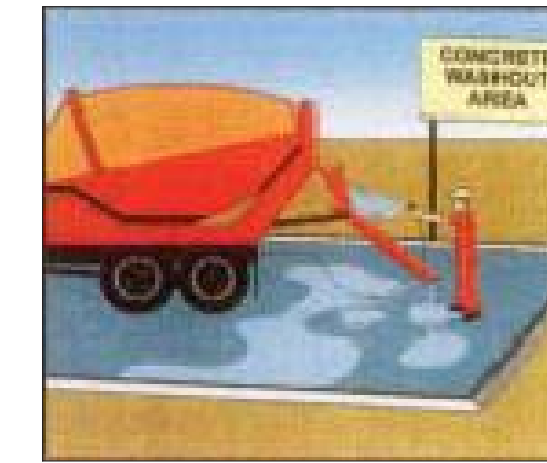


- Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

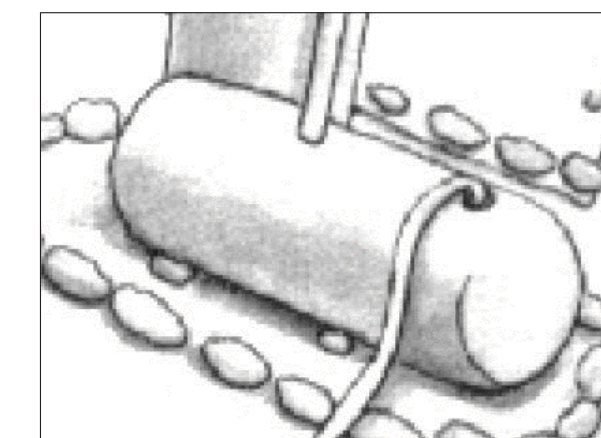
- Completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



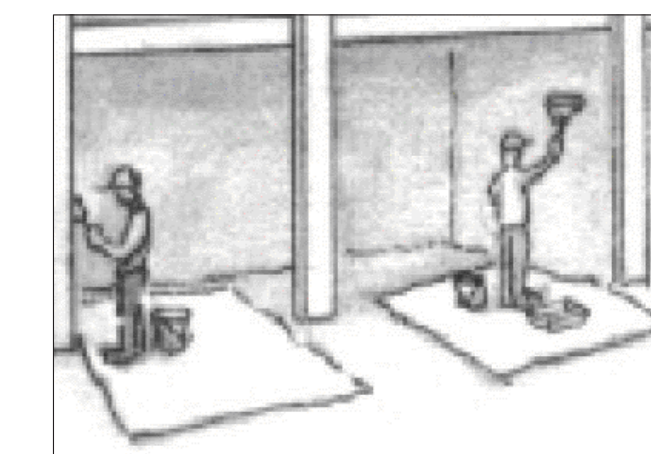
- Store concrete, grout and mortar under cover, on pallets and away from drainage areas. These materials must never reach a storm drain.
- Wash out concrete equipment/trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite.

Dewatering



- Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site. Divert run-on water from offsite away from all disturbed areas or otherwise ensure compliance.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer to determine whether testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

Painting & Paint Removal



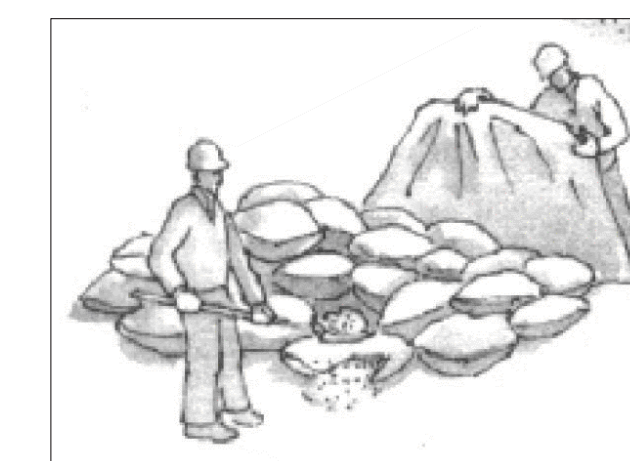
Painting cleanup

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface waters.
- For water-based paints, paint out brushes to the extent possible. Rinse to the sanitary sewer once you have gained permission from the local wastewater treatment authority. Never pour paint down a drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of residue and unusable thinner/solvents as hazardous waste.

Paint removal

- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead or tributyltin must be disposed of as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.

Landscape Materials



- Contain stockpiled landscaping materials by storing them under tarps when they are not actively being used.
- Stack erodible landscape material on pallets. Cover or store these materials when they are not actively being used or applied.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.



**OFFICE & MASTER
BATHROOM ADDITION
427 LOS CERROS DR
GREENBRAE, CA 94904-1124
APN: 070-071-14**

**OWNER:
DAVID & HEATHER HEWLETT
PH - (650) 380-4967
427 LOS CERROS DR
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Drawing By:
Chris Klimen
klimen@att.net
PH: 510.928.1359
Date: JULY 05, 2022
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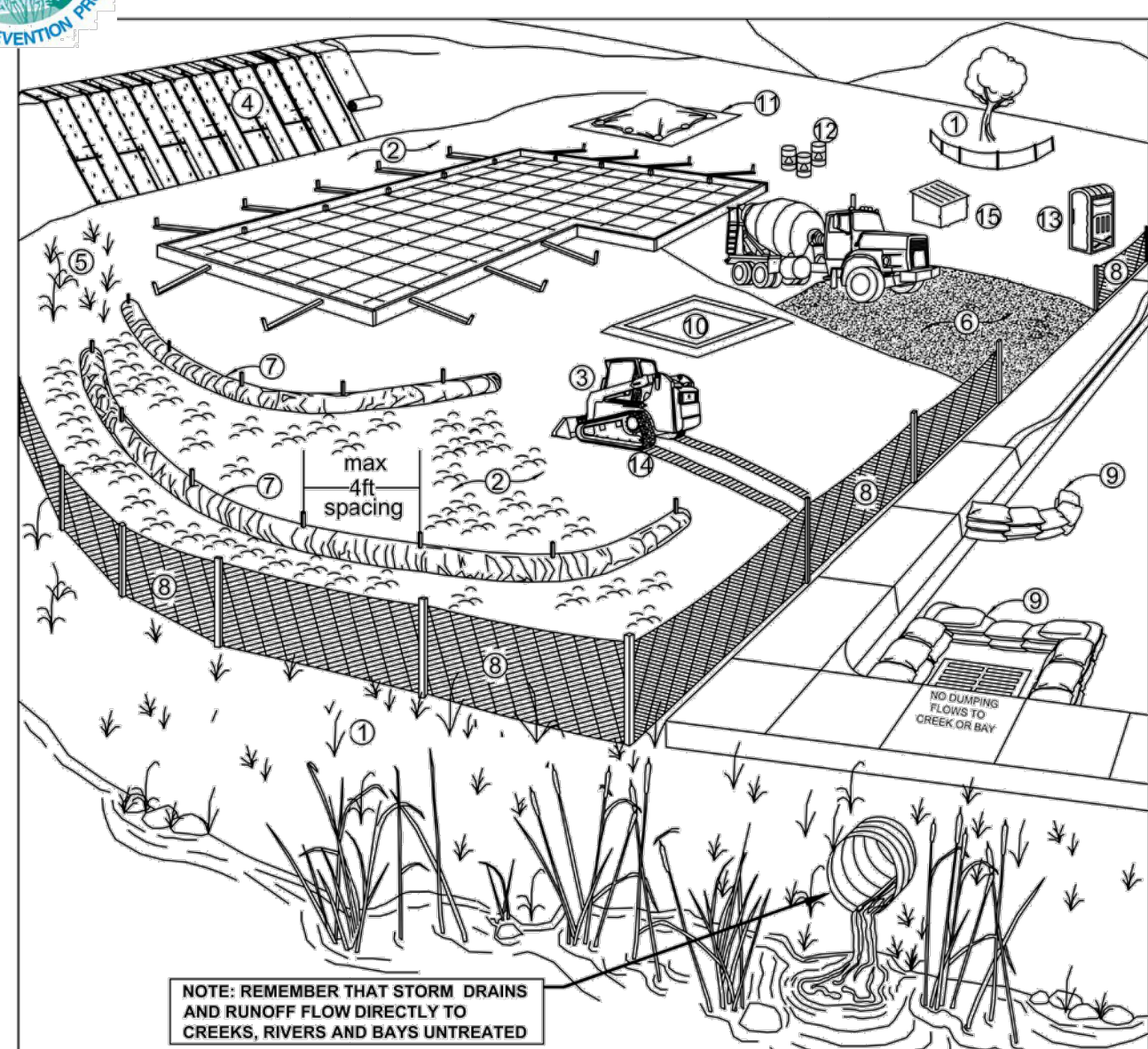
**CONSTRUCTION
BEST
MANAGEMENT
PRACTICES**

A0.3

Storm drain polluters may be liable for fines of up to \$10,000 per day!



**Marin County Stormwater Pollution Prevention Program
Minimum Control Measures
For Small Construction Projects**



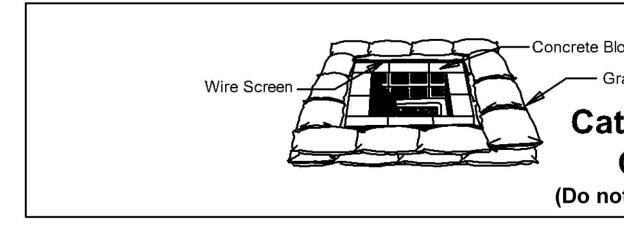
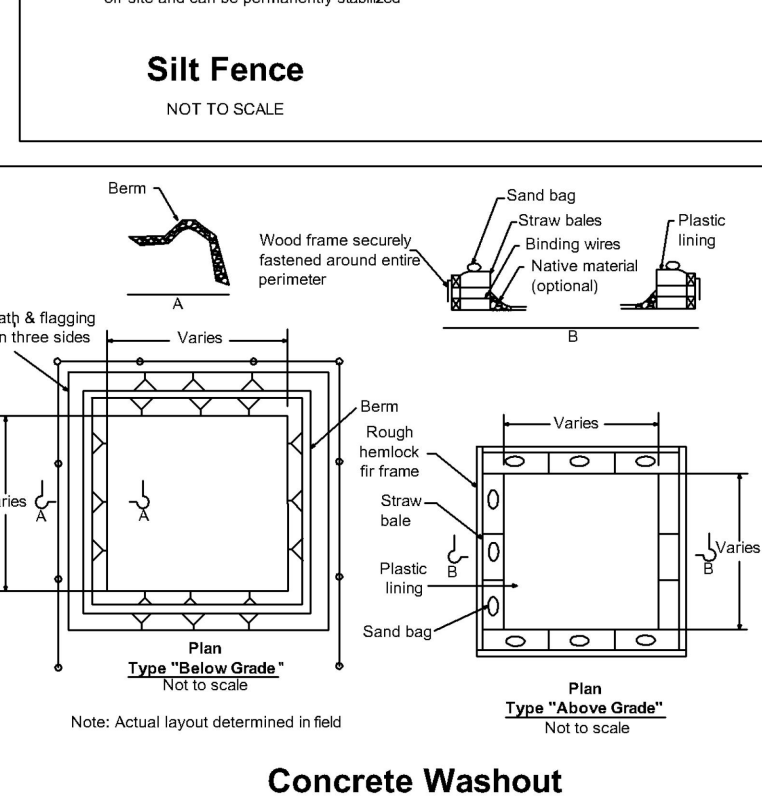
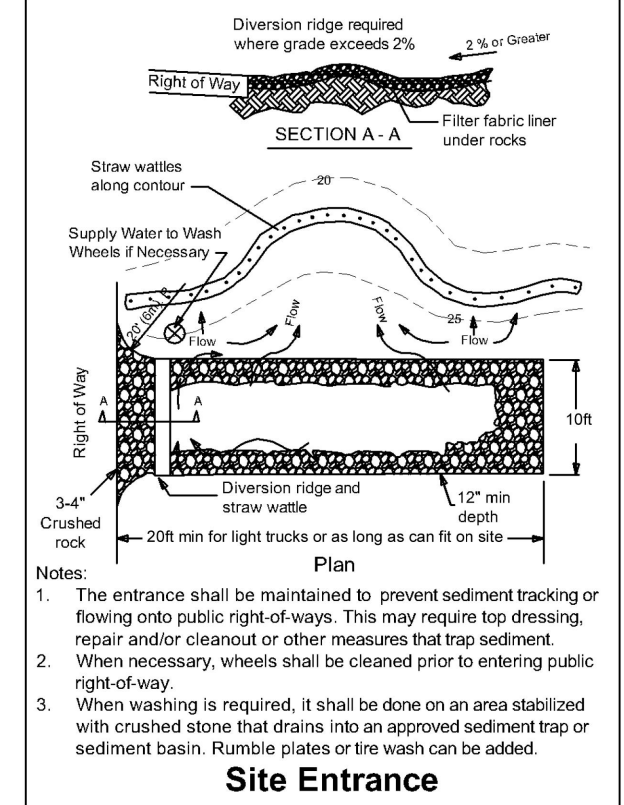
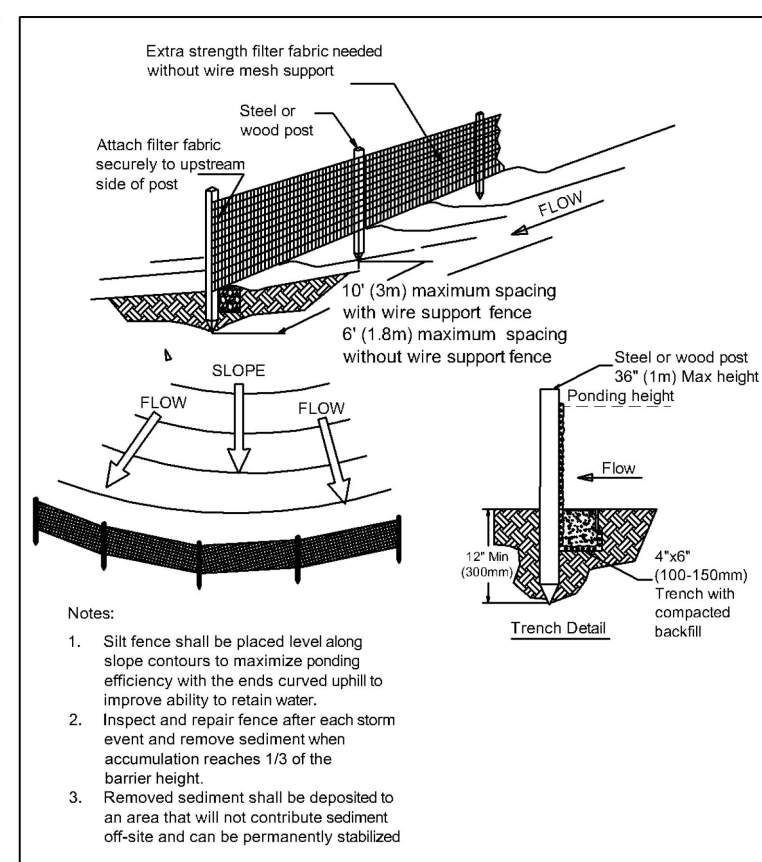
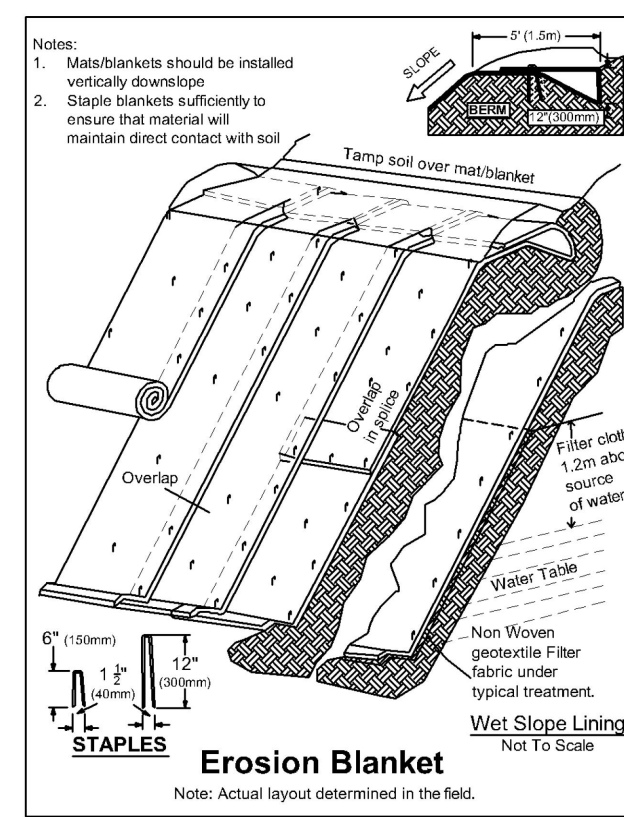
Erosion Controls			Sediment Controls			Good Housekeeping					
NS	Scheduling	6.	Tracking Controls	10.	Concrete Washout	1.	Preserve Vegetation & Creek Set Backs	7.	Fiber Rolls	11.	Stockpile Management
2.	Soil Cover	8.	Silt Fence	12.	Hazardous Material Management	3.	Soil Preparation/ Roughening	9.	Drain Inlet Protection	13.	Sanitary Waste Management
4.	Erosion Control Blankets	NS	Trench Dewatering	14.	Equipment and Vehicle Maintenance	5.	Revegetation	15.	Litter and Waste Management		

NS=not shown on graphic

Note: Select an effective combination of control measures from each category. Erosion Control, Sediment Control, and Good Housekeeping. Control measures shall be continually implemented and maintained throughout the project until activities are complete, disturbed areas are stabilized with permanent erosion controls, and the local agency has signed off on permits that may have been required for the project. **Inspect and maintain the control measures before and after rain events, and as required by the local agency or state permit.** More detailed information on the BMPs can be found in the related California Stormwater Quality Association (CASQA) and California Department of Transportation (Caltrans) BMP Factsheets. CASQA factsheets are available by subscription in the *California Best Management Practices Handbook Portal*: Construction at <http://www.casqa.org>. Caltrans factsheets are available in the *Construction Site BMP Manual* March 2003 at <http://www.dti.ca.gov/nc/constructionwater/manuals.htm>. Visit www.mcsctopp.org for more information on construction site management and Erosion and Sediment Control Plans.

If you require materials in alternative formats, please contact:
415-473-4381 voice/TTY or disabilityaccess@co.marin.ca.us

Control Measure	General Description
Erosion Control Best Management Practices	
N/A	Scheduling Plan the project and develop a schedule showing each phase of construction. Schedule construction activities to reduce erosion potential, such as scheduling ground disturbing activities during the summer and phasing projects to minimize the amount of area disturbed. For more info see the following factsheets: CASQA: EC-1; or Caltrans: SS-1.
1	Preserve Existing Vegetation and Creek Setbacks Preserve existing vegetation to the extent possible, especially along creek buffers. Show creek buffers on maps and identify areas to be preserved in the field with temporary fencing. Check with the local Planning and Public Works Departments for specific creek set back requirements. For more info see the following factsheets: CASQA: EC-2; or Caltrans: SS-2.
2	Soil Cover Cover exposed soil with straw mulch and tackifier (or equivalent). For more info see the following factsheets: CASQA: EC-3, EC-5, EC-6, EC-7, EC-8, EC-14, EC-16; or Caltrans: SS-2, SS-4, SS-5, SS-6, SS-7, SS-8.
3	Soil Preparation/ Roughening Soil preparation is essential to vegetation establishment and BMP installation. It includes soil testing and amendments to promote vegetation growth as well as roughening surface soils by mechanical methods (decompacting, scarifying, stair stepping, etc.). For more info see the following factsheets: CASQA: EC-15; or Caltrans: SS-3.
4	Erosion Control Blankets Install erosion control blankets (or equivalent) on disturbed sites with 3:1 slopes or steeper. Use wildlife-friendly blankets made of biodegradable natural materials. Avoid using blankets made with plastic netting or fixed aperture netting. See: http://www.coastal.ca.gov/nps/Wildlife-Friendly_Products.pdf . For more info see the following factsheets: CASQA: EC-7; or Caltrans: SS-7.
5	Revegetation Re-vegetate areas of disturbed soil or vegetation as soon as practical. For more info see the following factsheets: CASQA: EC-4; or Caltrans: SS-4.
Sediment Control Best Management Practices	
6	Tracking Controls Stabilize site entrance to prevent tracking soil offsite. Inspect streets daily and sweep street as needed. Require vehicles and workers to use stabilized entrance. Place crushed rock 12-inches deep over a geotextile, using angular rock between 4 and 6-in. Make the entrance as long as can be accommodated on the site, ideally long enough for 2 revolutions of the maximum tire size (16-20 feet long for most light trucks). Make the entrance wide enough to accommodate the largest vehicle that will access the site, ideally 10 feet wide with sufficient radii for turning in and out of the site. Rumble pads or rumble racks can be used in lieu of or in conjunction with rock entrances. Wheel washes may be needed where space is limited or where the site entrance and sweeping is not effective. For more info see the following factsheets: CASQA: TC-1; TC-3; or Caltrans: TC-1; TC-3.
7	Fiber Rolls Use fiber rolls as a perimeter control measure, along contours of slopes, and around soil stockpiles. On slopes space rolls 10 to 20 feet apart (using closer spacing on steeper slopes). Install parallel to contour. If more than one roll is used in a row overlap roll do not abut. J-hook end of roll up slope. Install rolls per either Type 1 (stake rolls into shallow trenches) or Type 2 (stake in front and behind roll and lash with rope). Use wildlife-friendly fiber rolls made of biodegradable natural materials. Avoid using fiber rolls made with plastic netting or fixed aperture netting. See: http://www.coastal.ca.gov/nps/Wildlife-Friendly_Products.pdf . Manufactured linear sediment control or compost socks can be used in lieu of fiber rolls. For more info see the following factsheets: CASQA: SE-5 (Type 1); SE-12; SE-13; or Caltrans: SC-5 (Type 1 and Type 2).
8	Silt Fence Use silt fence as a perimeter control measure, and around soil stockpiles. Install silt fence along contours. Key silt fence into the soil and stake. Do not use silt fence for concentrated water flows. Install fence at least 3 feet back from the slope to allow for sediment storage. Wire backed fence can be used for extra strength. Avoid installing silt fence on slopes because they are hard to maintain. Manufactured linear sediment control can be used in lieu of silt fences. For more info see the following factsheets: CASQA: SE-1; SE-12; or Caltrans: SC-1.
9	Drain Inlet Protection Use gravel bags, (or similar product) around drain inlets located both onsite and in gutter as a last line of defense. Bags should be made of a woven fabric resistant to photo-degradation filled with 0.5-1-in washed crushed rock. Do not use sand bags or silt fence fabric for drain inlet protection. For more info see the following factsheets: CASQA: SE-10; or Caltrans: SC-10.
N/A	Trench Dewatering Follow MCSTOPPP BMPs for trench dewatering: http://www.marincounty.org/depts/bw/divisions/mstopp/development/media/Files/Departments/PW/mstoppdevelopment/TrenchingSWRealMCSTOPPPFinalR09.pdf . For more info see the following factsheets: CASQA: NS-2; or Caltrans: NS-2.
Good Housekeeping Best Management Practices	
10	Concrete Washout Construct a lined concrete washout site away from storm drains, waterbodies, or other drainages. Ideally, place adjacent to stabilized entrance. Clean as needed and remove at end of project. For more info see the following factsheets: CASQA: WM-8; or Caltrans: WM-8.
11	Stockpile Management Cover all stockpiles and landscape material and berm properly with fiber rolls or sand bags. Keep behind the site perimeter control and away from waterbodies. For more info see the following factsheets: CASQA: WM-3 or Caltrans: WM-3.
12	Hazardous Material Management Hazardous materials must be kept in closed containers that are covered and within secondary containment; do not place containers directly on soil. For more info see the following factsheets: CASQA: WM-6; or Caltrans: WM-6.
13	Sanitary Waste Management Place portable toilets near stabilized site entrance, behind the curb and away from gutters, storm drain inlets, and waterbodies. Tie or stake portable toilets to prevent tipping and equip units with overflow pantry (most vendors provide these). For more info see the following factsheets: CASQA: NS-8, NS-9, and NS-10; or Caltrans: NS-8, NS-9, and NS-10.
14	Equipment and Vehicle Maintenance Prevent equipment fluid leaks onto ground by placing drip pans or plastic tarps under equipment. Immediately clean up any spills or drips. For more info see the following factsheets: CASQA: NS-8, NS-9, and NS-10; or Caltrans: NS-8, NS-9, and NS-10.
15	Litter and Waste Management Designate waste collection areas on site. Use watertight dumpsters and trash cans; inspect for leaks. Cover at the end of each work day and when it is raining or windy. Arrange for regular waste collection. Pick up site litter daily. For more info see the following factsheets: CASQA: WM-5; or Caltrans: WM-5.



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**OFFICE & MASTER
BATHROOM ADDITION
427 LOS CERROS DR
GREENBRAE, CA 94904-1124
APN: 070-071-14**

**OWNER:
DAVID & HEATHER HEWLETT
PH - (650) 380-4967
427 LOS CERROS DR
GREENBRAE, CA 94904-1124**

Drawing By:
Chris Klimen
klimen@att.net
PH: 510.928.1359
Date: JULY 05, 2022
Project / Job #:
Peter Christopher Klimen
DIGITALLY SIGNED BY PETER CHRISTOPHER KLIMEN
EMAIL=KLIMEN@ATT.NET DATE=052424

**STORM-WATER
POLLUTION &
PREVENTION &
EROSION
CONTROL**

A0.4

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE RESIDENTIAL MANDATORY MEASURES, SHEET 2 (January 2023)

Y: YES APPLICABLE
N/A: NOT APPLICABLE
RESPON. PARTY: RESPONSIBLE PARTY (i.e. ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR, ETC.)

Table with columns for Y, N/A, RESPON. PARTY and content for MAXIMUM INCREMENTAL REACTIVITY (MIR), MOISTURE CONTENT, PRODUCT-WEIGHTED MIR (PWMIR), REACTIVE ORGANIC COMPOUND (ROC), VOC, 4.503 FIREPLACES, 4.504 POLLUTANT CONTROL, 4.504.2 FINISH MATERIAL POLLUTANT CONTROL, 4.504.2.1 Adhesives, Sealants and Caulks, 4.504.2.2 Paints and Coatings, 4.504.2.3 Aerosol Paints and Coatings, 4.504.2.4 Verification, 4.504.1 - ADHESIVE VOC LIMIT, 4.505 INTERIOR MOISTURE CONTROL, 4.506 INDOOR AIR QUALITY AND EXHAUST, 4.507 ENVIRONMENTAL COMFORT.

TABLE 4.504.2 - SEALANT VOC LIMIT (Less Water and Less Exempt Compounds in Grams per Liter)

TABLE 4.504.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS

1. GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER & EXEMPT COMPOUNDS
2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE.
3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

TABLE 4.504.5 - FORMALDEHYDE LIMITS: MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION

DIVISION 4.5 ENVIRONMENTAL QUALITY (continued)

Table with columns for Y, N/A, RESPON. PARTY and content for 4.504.3 CARPET SYSTEMS, 4.504.3.1 Carpet cushion, 4.504.3.2 Carpet adhesive, 4.504.4 RESILIENT FLOORING SYSTEMS, 4.504.5 COMPOSITE WOOD PRODUCTS, 4.505.1 Documentation, 4.505.2 CONCRETE SLAB FOUNDATIONS, 4.505.2.1 Capillary break, 4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS, 4.506 INDOOR AIR QUALITY AND EXHAUST, 4.506.1 Bathroom exhaust fans, 4.507 ENVIRONMENTAL COMFORT.

CHAPTER 7 INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS

Table with columns for Y, N/A, RESPON. PARTY and content for 702 QUALIFICATIONS, 702.1 INSTALLER TRAINING, 702.2 SPECIAL INSPECTION [HCD], 703 VERIFICATIONS, 703.1 DOCUMENTATION.

Revision History table with columns for date and description of revisions.



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CAL GREEN REQUIREMENTS PAGE 2

G1.1



2022 Single-Family Residential Mandatory Requirements Summary

NOTE: Single-family residential buildings subject to the Energy Codes must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the respective section for more information. (04/2022)

Table containing building envelope requirements (Air Leakage, Field Fabricated exterior doors, Insulation, Radiant Barrier, Roof Deck, U-Factor, Vapor Retarder, etc.), fireplaces, decorative gas appliances, and gas log, and space conditioning, water heating, and plumbing system requirements.

5/6/22



2022 Single-Family Residential Mandatory Requirements Summary

Table containing pilot lights, building cooling and heating loads, liquid line drier, water piping, solar water-heating system piping, and space conditioning system line insulation, ducts and fans, and gravity ventilation dampers.

5/6/22



2022 Single-Family Residential Mandatory Requirements Summary

Table containing space conditioning system airflow rate and fan efficacy, ventilation and indoor air quality, and pool and spa systems and equipment requirements.

5/6/22

Revision History

Table with columns for date and revision description, including '2ND PROGRESS SET', '3RD PROGRESS SET', '4TH PROGRESS SET', etc.



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RESIDENTIAL MANDATORY MEASURES SUMMARY

MF1R



2022 Single-Family Residential Mandatory Requirements Summary

Table containing screw based luminaires, light sources in enclosed or recessed luminaires, light sources in drawers, cabinets, and linen closets, interior switches and controls, exhaust fans, multiple controls, energy management control systems, automatic shut-off controls, dimmers, independent controls, residential outdoor lighting, internally illuminated address signs, residential garages, solar readiness, and electric and circuit storage requirements.

5/6/22

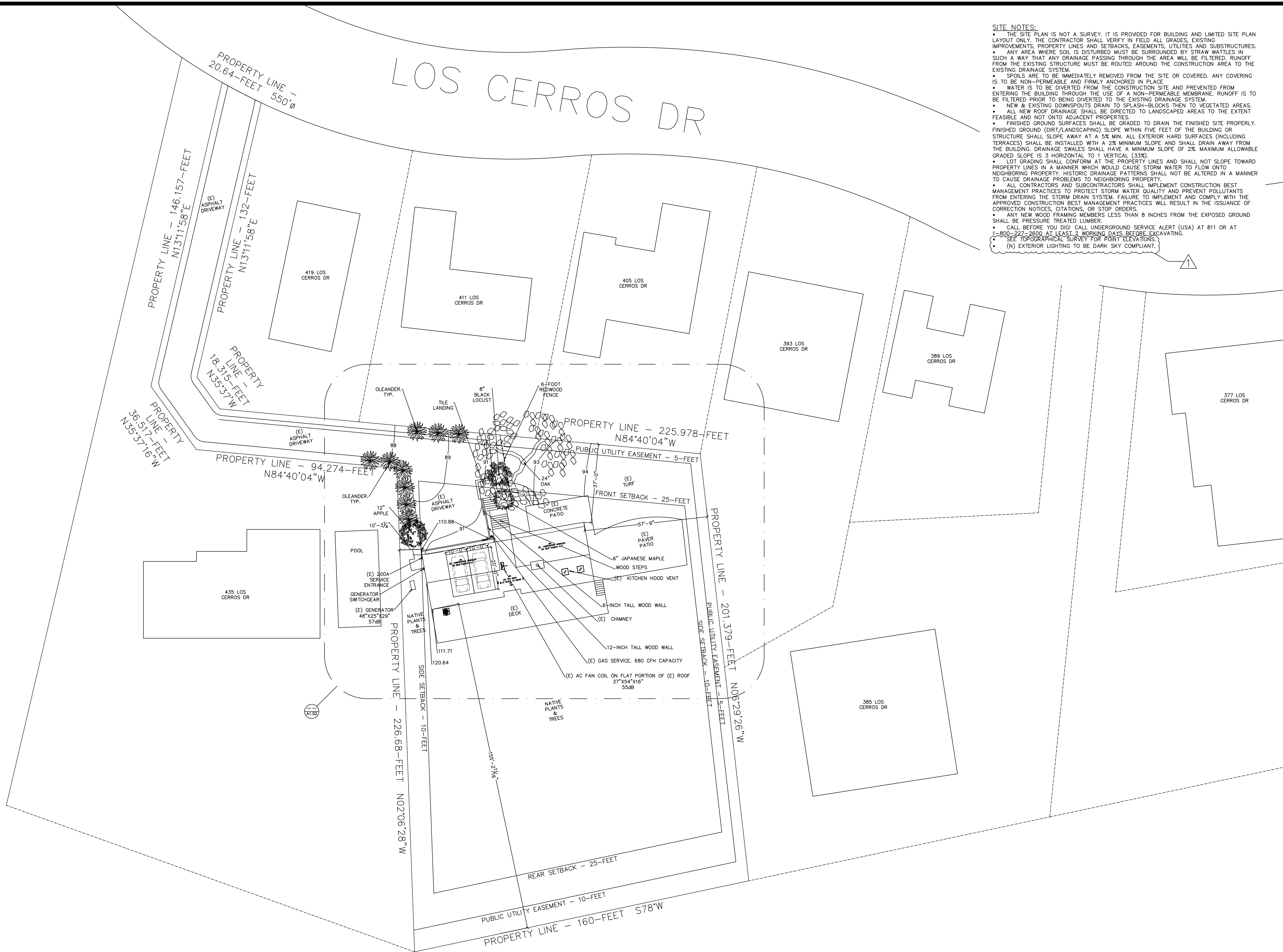
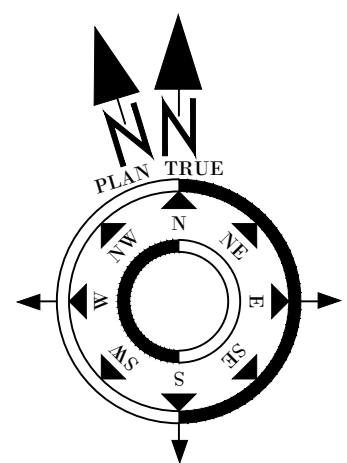


2022 Single-Family Residential Mandatory Requirements Summary

Table containing energy storage system (ESS) ready requirements, electric clothes dryer ready, and electric cooktop ready requirements.

*Exceptions may apply.

5/6/22



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05/01/24	▲ PLANNING COMMENTS



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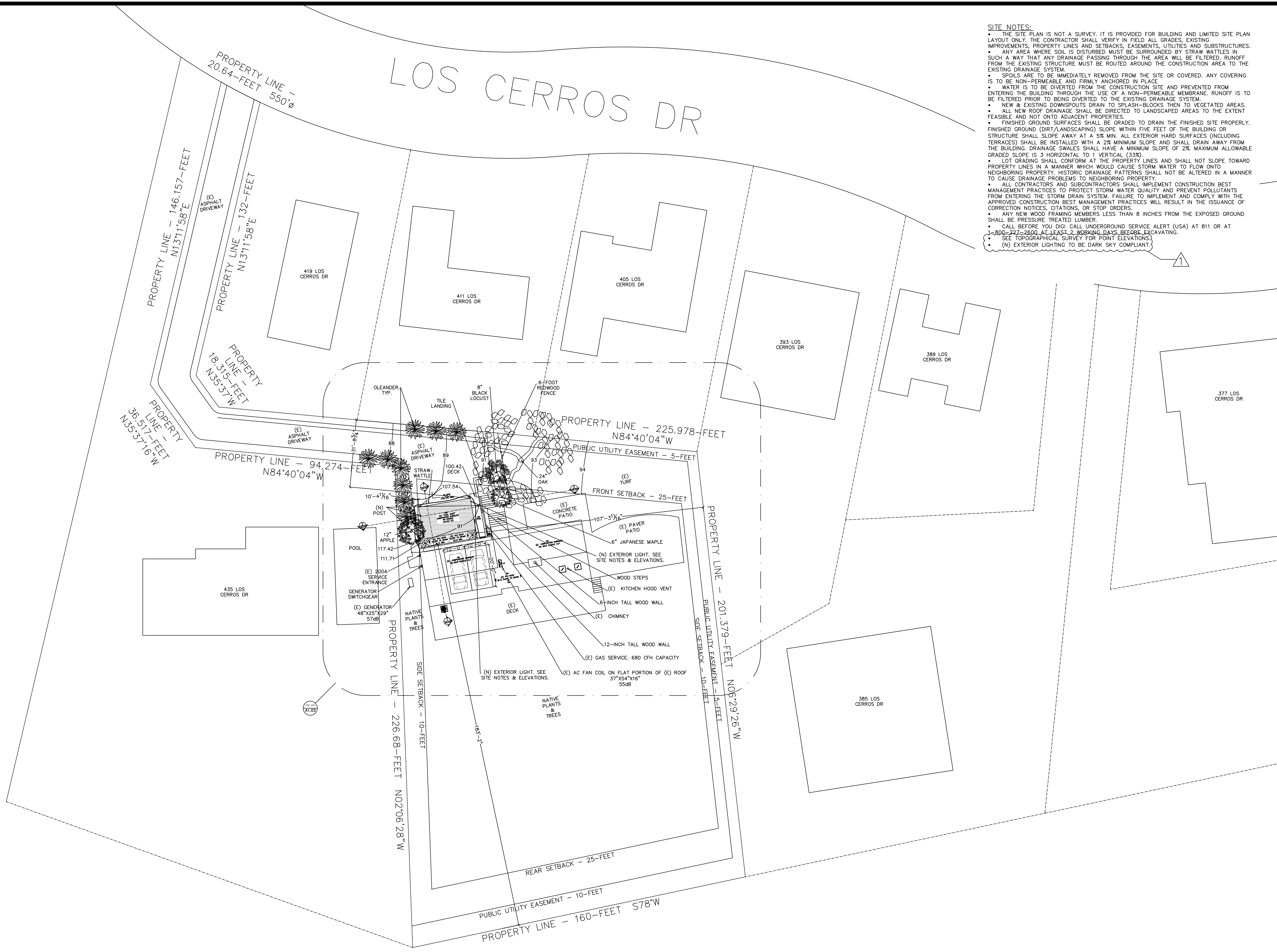
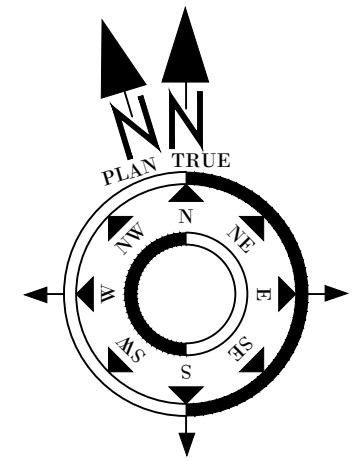
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EXISTING SITE PLAN

A1.00

(E) SITE PLAN
 SCALE: 3/64"=1'-0"



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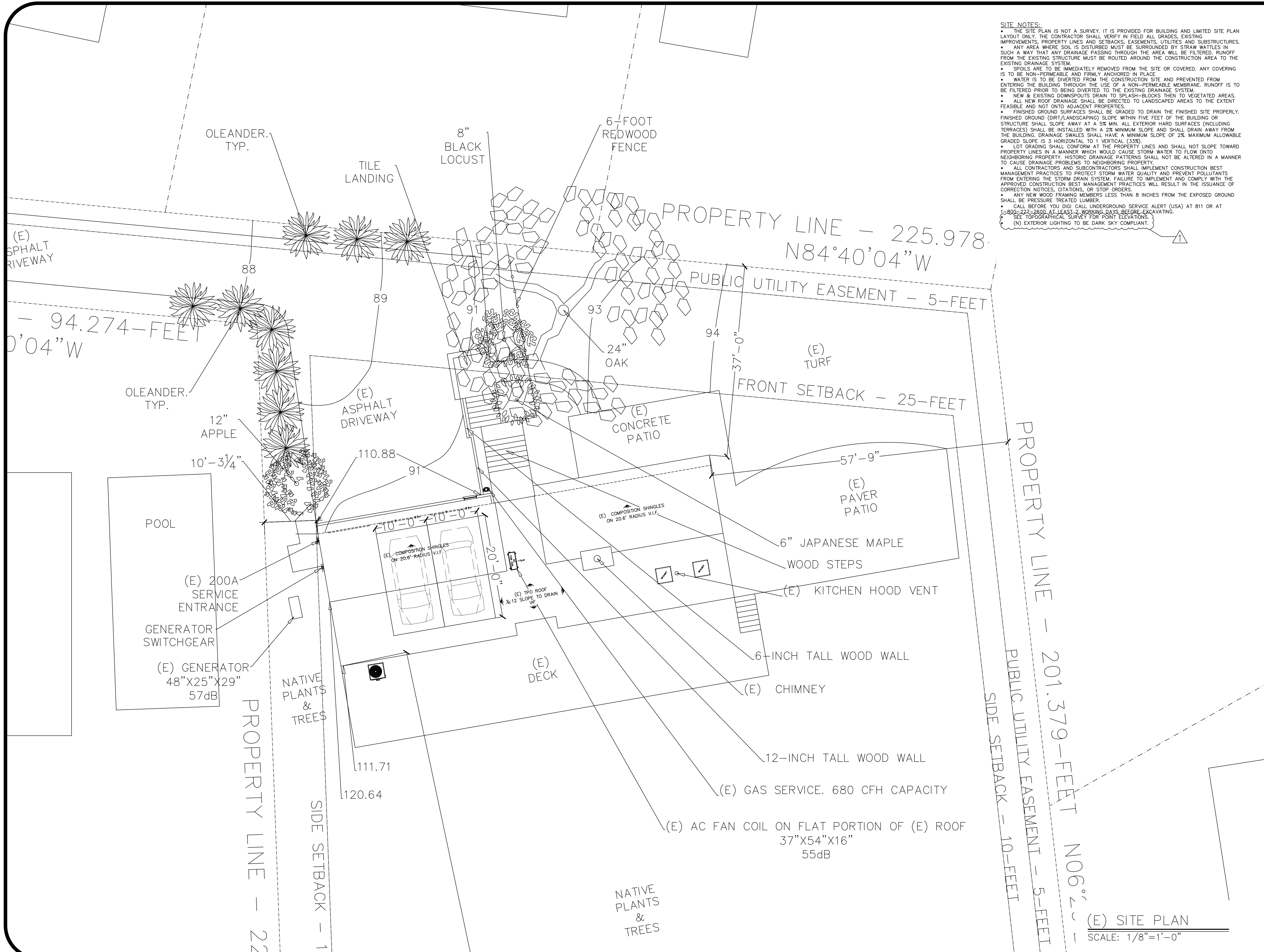
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PROPOSED SITE PLAN

A1.01

(N) SITE PLAN
 SCALE: 3/64"=1'-0"



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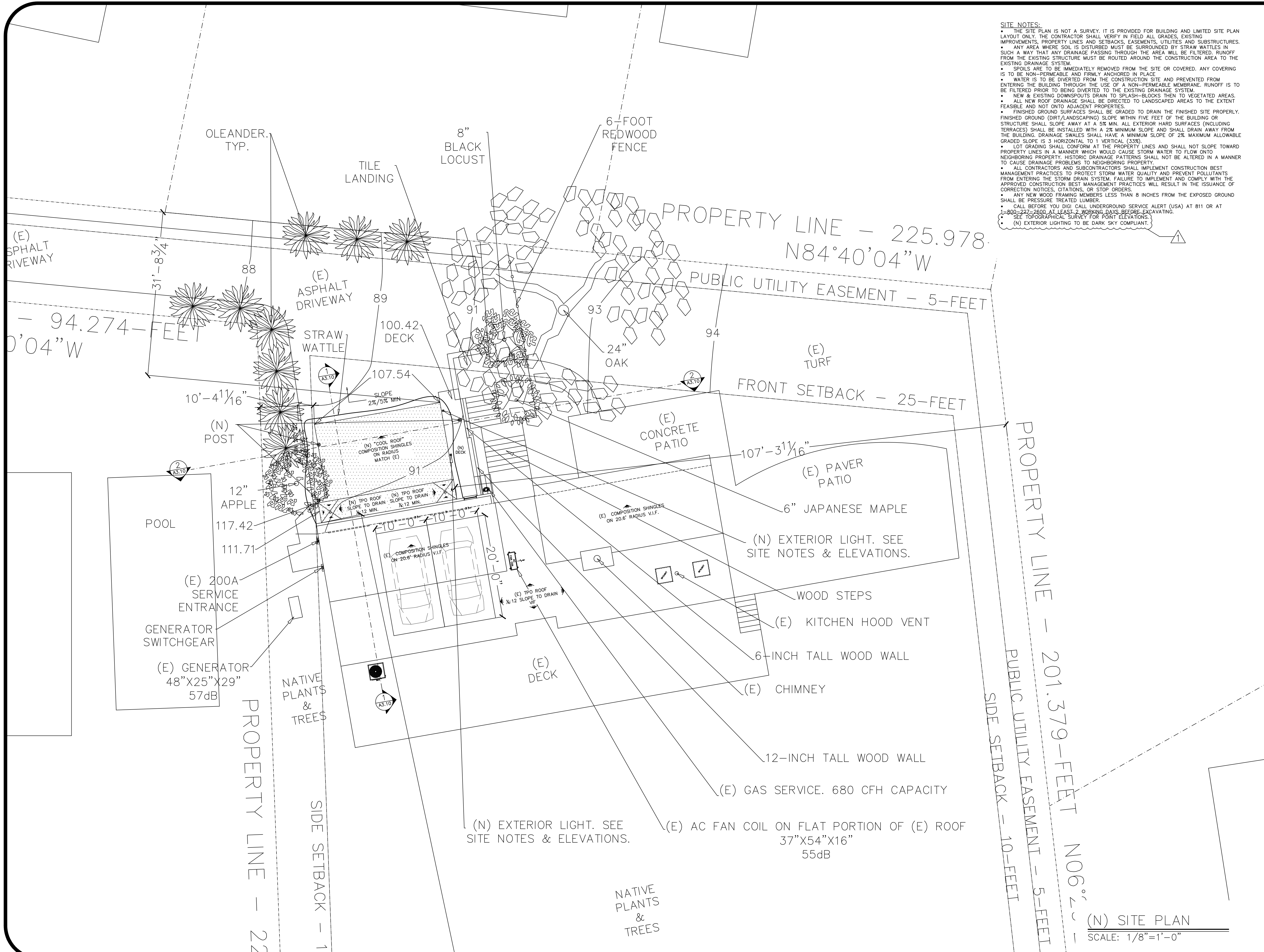
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ENLARGED EXISTING SITE PLAN

A1.02
 (E) SITE PLAN
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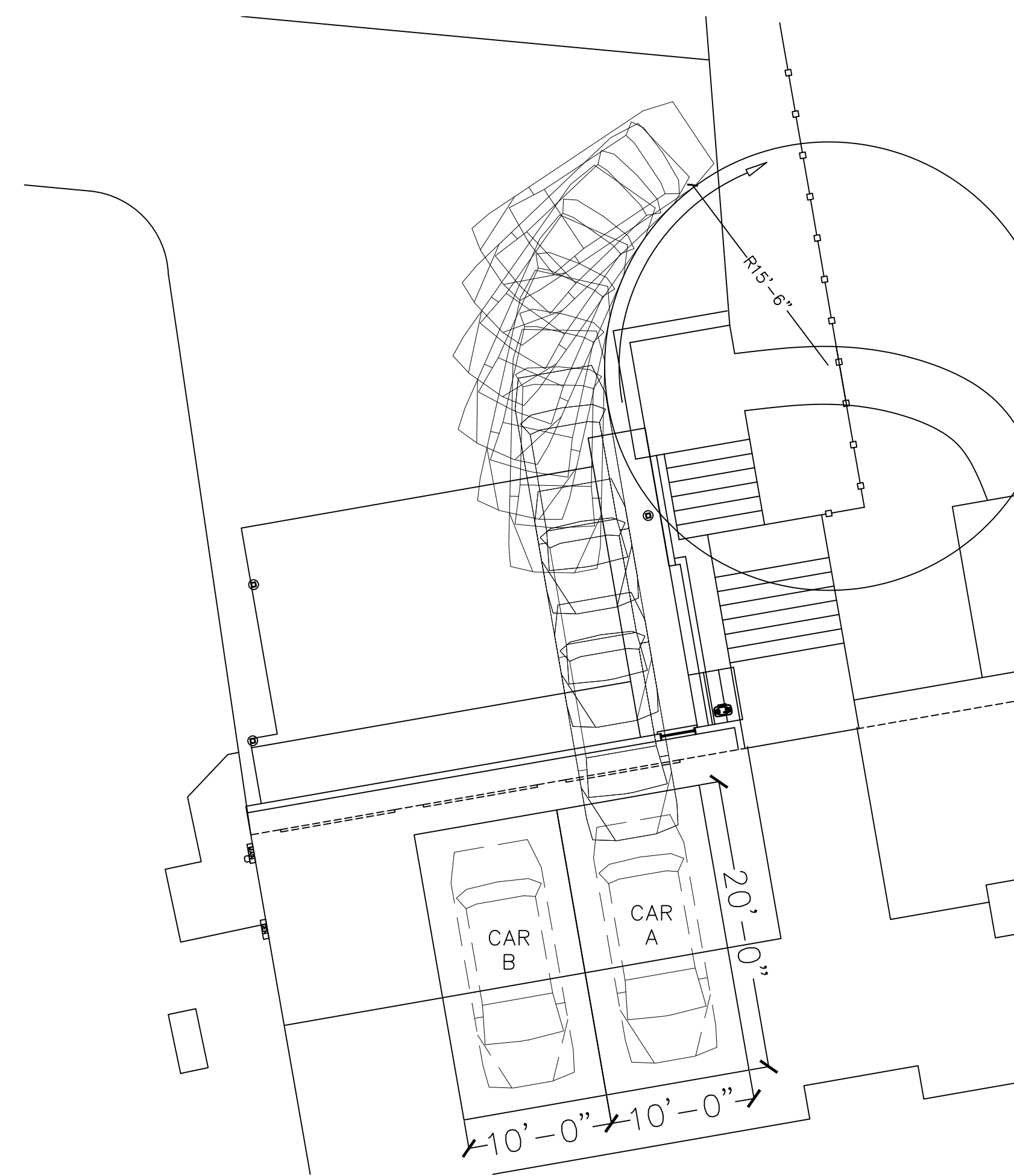
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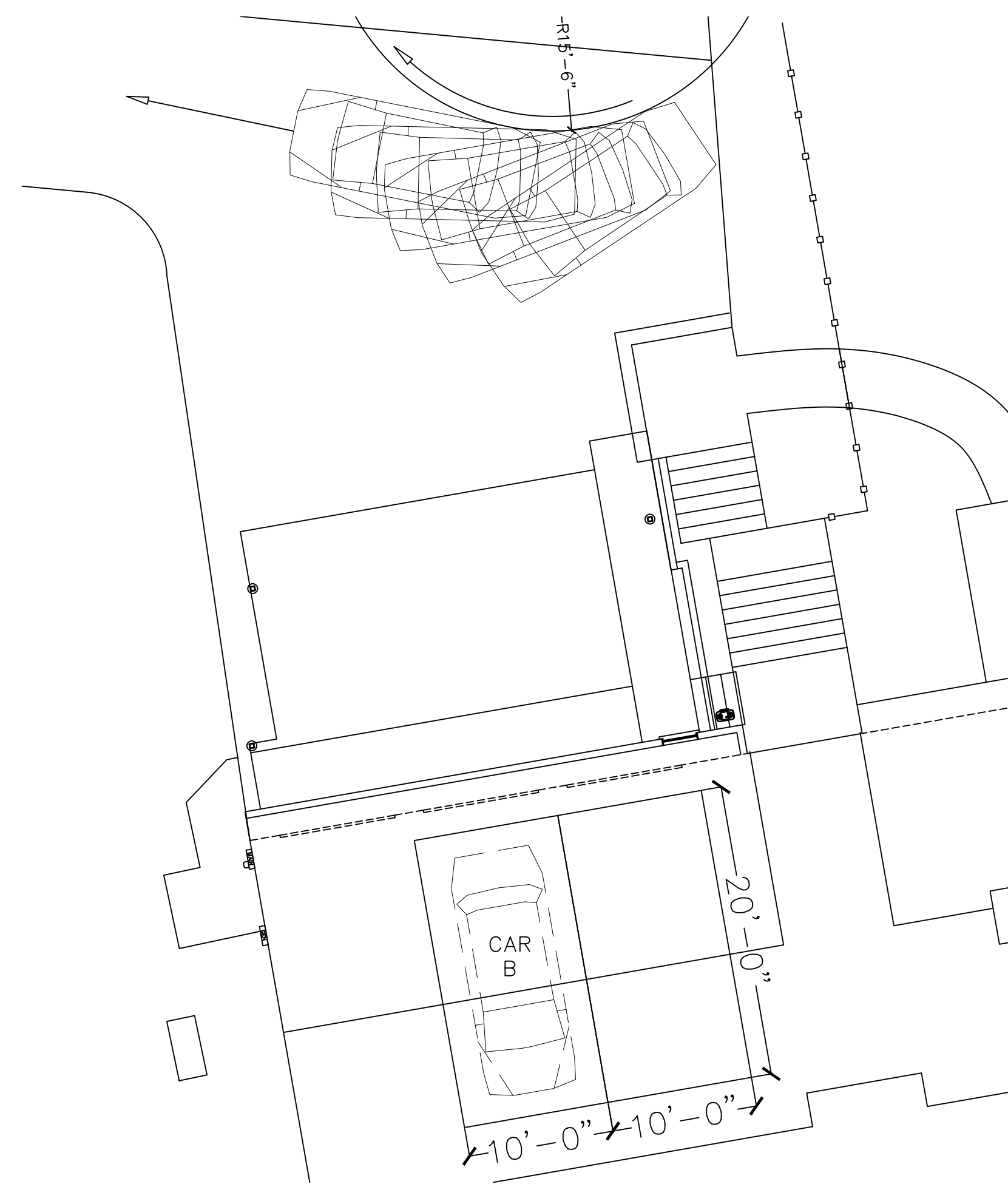
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ENLARGED PROPOSED SITE PLAN

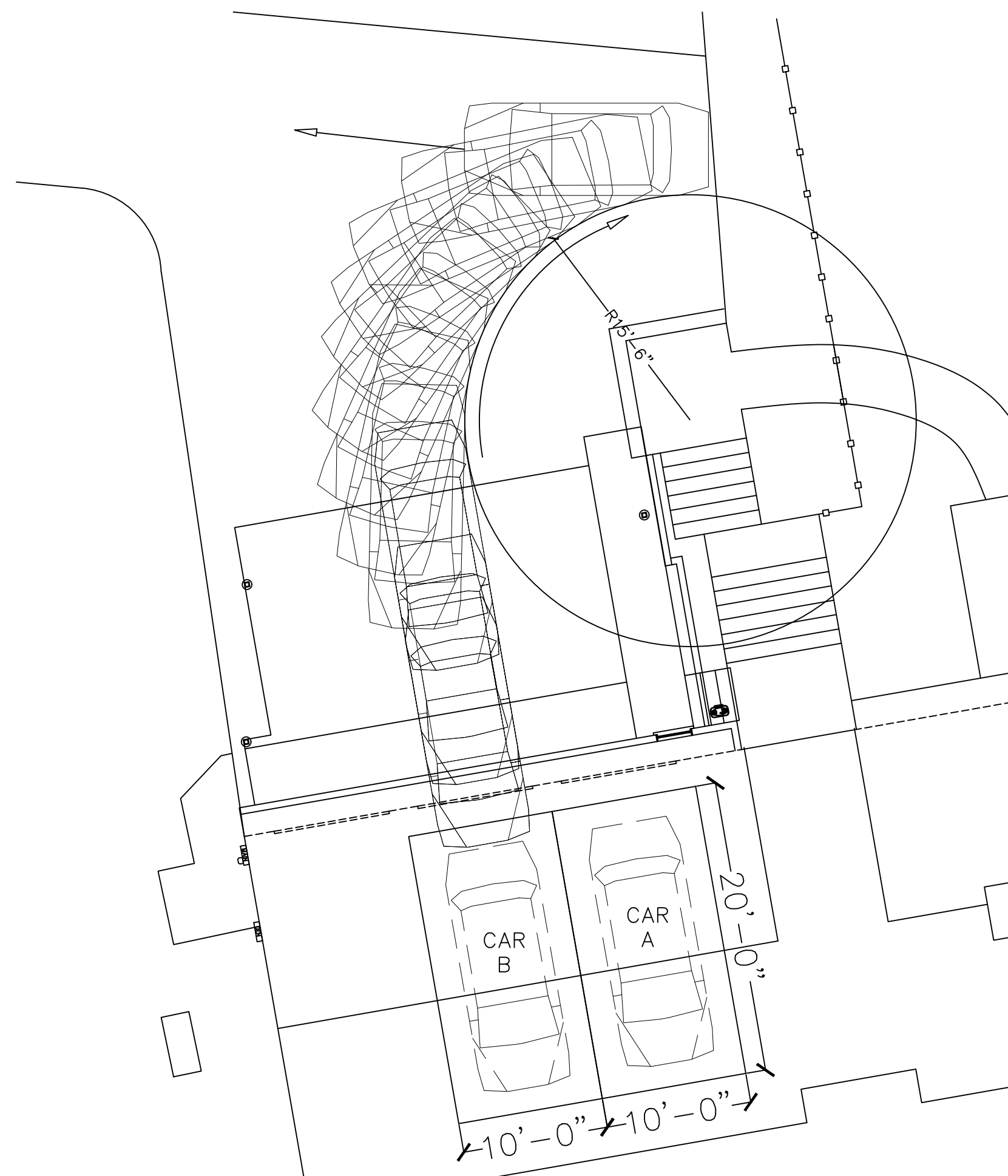
A1.03
 (N) SITE PLAN
 SCALE: 1/8"=1'-0"



MOVEMENT 1



MOVEMENT 2



MOVEMENT 1

TURNING MOVEMENT – CAR "B"

AIA ARCHITECTURAL GRAPHIC STANDARDS, 10TH EDITION
SCALE: 1/8"=1'-0"

TURNING MOVEMENT – CAR "A"

AIA ARCHITECTURAL GRAPHIC STANDARDS, 10TH EDITION
SCALE: 1/8"=1'-0"

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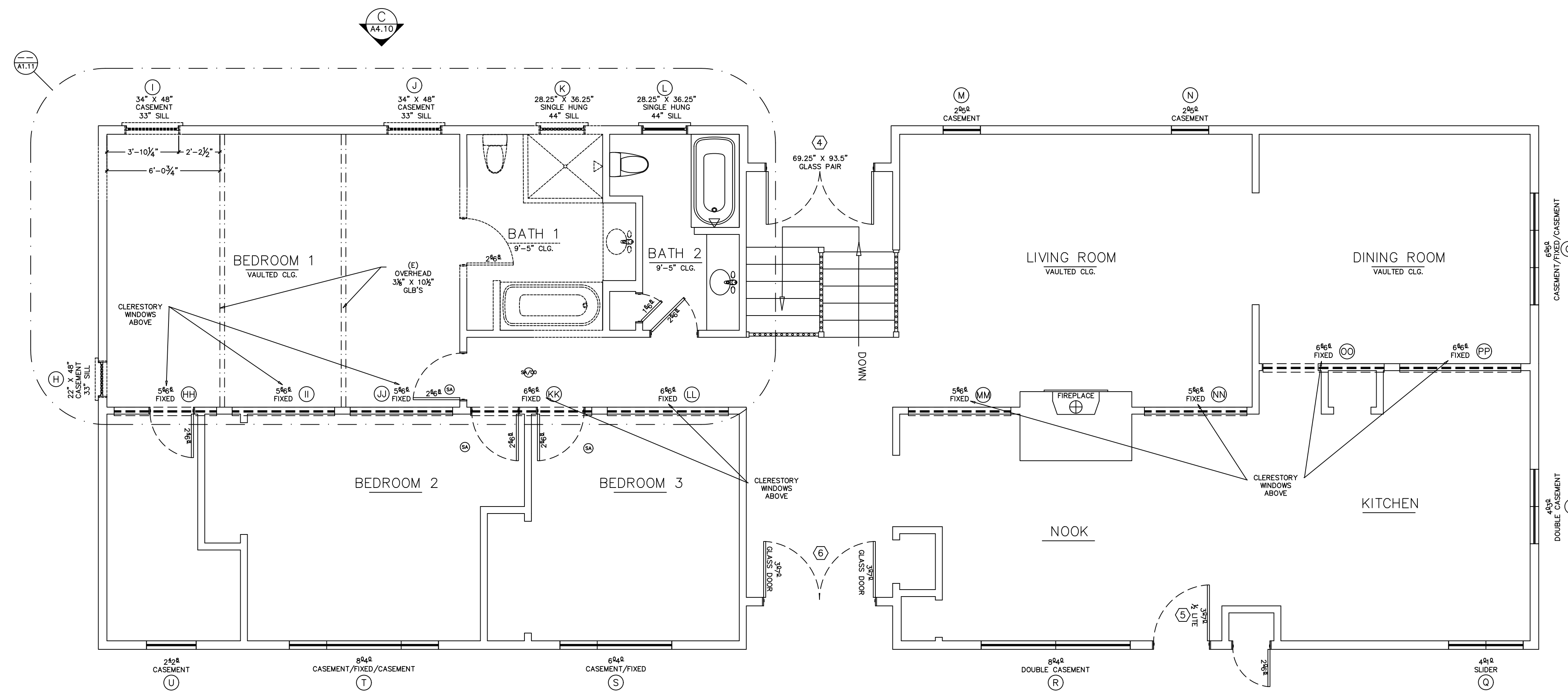
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Peter Christopher Klimen

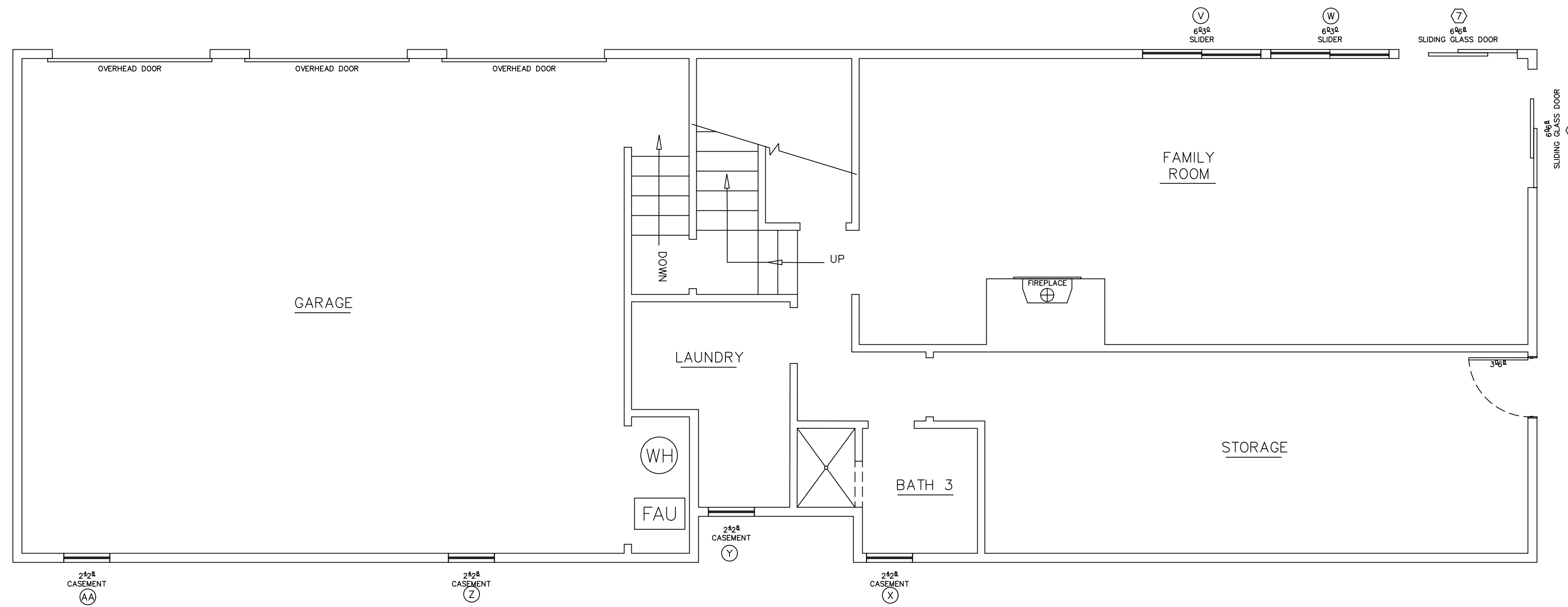
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EMAIL=KLIMEN@ATT.NET DATE: 05/24/24

DRIVEWAY
TURNAROUND
STUDY

A1.04



UPPER FLOOR



LOWER FLOOR

Revision History	
08/30/22	2ND PROGRESS SET
09/15/22	3RD PROGRESS SET
09/22/22	4TH PROGRESS SET
10/04/22	FLOOR PLAN PROGRESS & SET WINDOWS
12/27/22	DECEMBER PROGRESS SET
5/23/23	MAY PROGRESS SET
6/19/23 - 7/21/23	PLANNING SUBMISSION PREP
02/20/24 - 3/5/24	PLANNING SUBMISSION SET
05/01/24	▲ PLANNING COMMENTS



OFFICE & MASTER BATHROOM ADDITION
427 LOS CERROS DR
GREENBRAE, CA 94904-1124
APN: 070-071-14

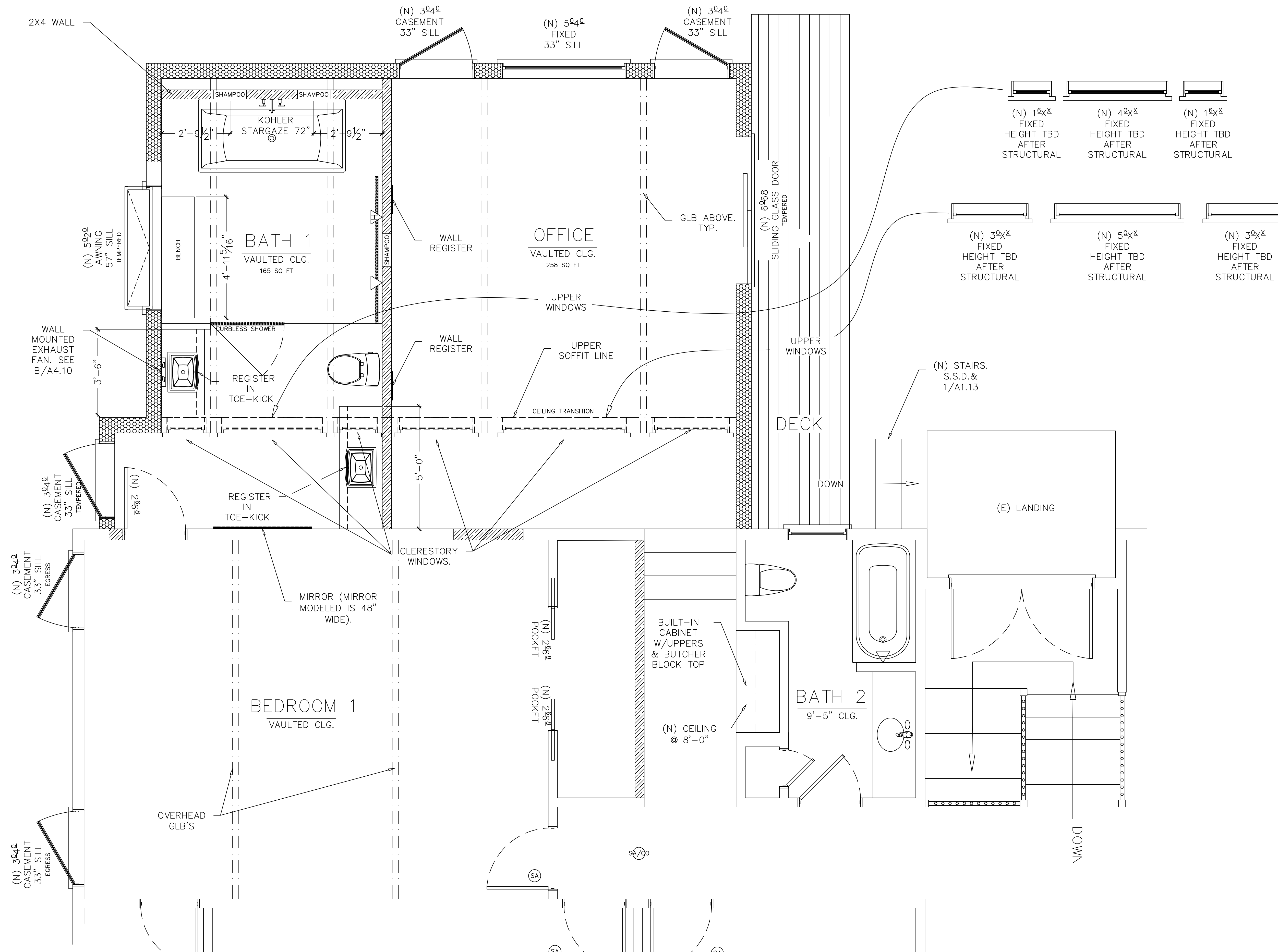
OWNER:
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427 LOS CERROS DR
GREENBRAE, CA 94904-1124

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EXISTING FLOOR PLAN & DEMOLITION PLAN

A1.10

SEE CONSTRUCTION NOTES FOR LEGEND & DETAILS



Revision History	
08/30/22	2ND PROGRESS SET
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05/01/24 - 05/02/24	▲ PLANNING COMMENTS



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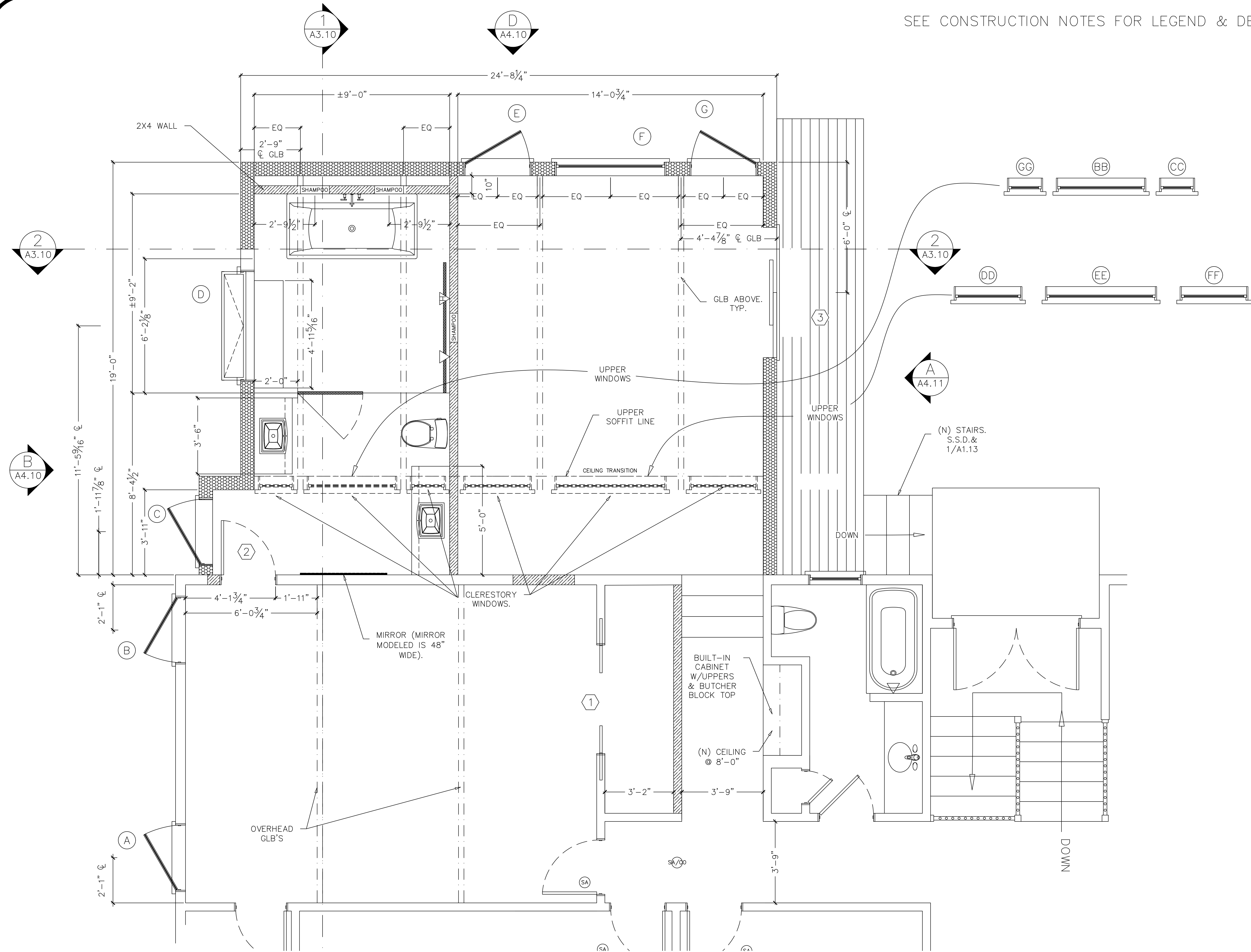
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NEW FLOOR PLAN

A1.11

(N) FLOOR PLAN
 SCALE: 1/2"=1'-0"

SEE CONSTRUCTION NOTES FOR LEGEND & DETAILS



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CONSTRUCTION PLAN

A1.12

(N) FLOOR PLAN
 SCALE: 1/2"=1'-0"

WINDOW SCHEDULE																
MARK	STATUS	ROOM	WIDTH	HEIGHT	GLZ AREA (FT²)	TYPE	R.O. WIDTH	R.O. HEIGHT	HEADER HEIGHT	COLOR - INTERIOR	COLOR - EXTERIOR	HARDWARE COLOR	MANUFACTURER	U-FACTOR	SHGC	NOTES
A	NEW	BEDROOM 1	3'-0"	4'-0"	12.0	CASEMENT										
B	NEW	BEDROOM 1	3'-0"	4'-0"	12.0	CASEMENT										
C	NEW	BATHROOM 1	3'-0"	4'-0"	12.0	CASEMENT										TEMPERED/SAFETY GLASS
D	NEW	BATHROOM 1	5'-0"	2'-0"	10.0	AWNING										TEMPERED/SAFETY GLASS. COMPOSITE OR VINYL ONLY - WOOD NOT PERMITTED.
E	NEW	OFFICE	3'-0"	4'-0"	12.0	CASEMENT										
F	NEW	OFFICE	5'-0"	4'-0"	20.0	FIXED										
G	NEW	OFFICE	3'-0"	4'-0"	12.0	CASEMENT										
H	EXISTING	BEDROOM 1	1'-10"	4'-0"	7.3	CASEMENT										
I	EXISTING	BEDROOM 1	2'-10"	4'-0"	11.3	CASEMENT										
J	EXISTING	BEDROOM 1	2'-10"	4'-0"	11.3	CASEMENT										
K	EXISTING	BATHROOM 1	2'-4 1/4"	3'-0 1/4"	7.1	SINGLE HUNG										
L	EXISTING	BATHROOM 2	2'-4 1/4"	3'-0 1/4"	7.1	SINGLE HUNG										
M	EXISTING	LIVING ROOM	2'-0"	5'-0"	10.0	CASEMENT										TEMPERED/SAFETY GLASS
N	EXISTING	LIVING ROOM	2'-0"	5'-0"	10.0	CASEMENT										TEMPERED/SAFETY GLASS
O	EXISTING	DINING ROOM	6'-0"	5'-0"	30.0	CASEMENT/FIXED /CASEMENT										
P	EXISTING	KITCHEN	4'-0"	3'-0"	12.0	SLIDER										
Q	EXISTING	KITCHEN	4'-0"	1'-0"	4.0	SLIDER										
R	EXISTING	NOOK	8'-0"	4'-0"	32.0	DOUBLE CASEMENT										
S	EXISTING	BEDROOM 3	6'-0"	4'-0"	24.0	CASEMENT/FIXED										
T	EXISTING	BEDROOM 2	8'-0"	4'-0"	32.0	CASEMENT/FIXED /CASEMENT										
U	EXISTING	BEDROOM 1 CLOSET	2'-4"	2'-8"	6.2	CASEMENT										
V	EXISTING	FAMILY ROOM	6'-0"	3'-0"	18.0	SLIDER										
W	EXISTING	FAMILY ROOM	6'-0"	3'-0"	18.0	SLIDER										
X	EXISTING	BATH 3	2'-4"	2'-8"	6.2	CASEMENT										
Y	EXISTING	LAUNDRY	2'-4"	2'-8"	6.2	CASEMENT										
Z	EXISTING	GARAGE	2'-4"	2'-8"	6.2	CASEMENT										
AA	EXISTING	GARAGE	2'-4"	2'-8"	6.2	CASEMENT										
BB	NEW	BATHROOM 1	4'-0"		###											
CC	NEW	BATHROOM 1	1'-6"		###											
DD	NEW	OFFICE	3'-0"		###											
EE	NEW	OFFICE	5'-0"		###											
FF	NEW	OFFICE	3'-0"		###											
GG	NEW	BATHROOM 1	1'-6"		###											
HH	EXISTING	BEDROOM 1	5'-6"	6'-6"	35.8	FIXED										
II	EXISTING	BEDROOM 1	5'-6"	6'-6"	35.8	FIXED										
JJ	EXISTING	BEDROOM 1	5'-6"	6'-6"	35.8	FIXED										
KK	EXISTING	HALL	6'-6"	6'-6"	42.3	FIXED										
LL	EXISTING	HALL	6'-6"	6'-6"	42.3	FIXED										
MM	EXISTING	LIVING ROOM	5'-6"	6'-6"	35.8	FIXED										
NN	EXISTING	LIVING ROOM	5'-6"	6'-6"	35.8	FIXED										
OO	EXISTING	DINING ROOM	6'-6"	6'-6"	42.3	FIXED										
PP	EXISTING	DINING ROOM	6'-6"	6'-6"	42.3	FIXED										

DOOR SCHEDULE																	
MARK	STATUS	ROOM	WIDTH	HEIGHT	GLZ AREA (FT²)	FINISH CODE	TYPE	R.O. WIDTH	R.O. HEIGHT	HEADER HEIGHT	COLOR - INTERIOR	COLOR - EXTERIOR	HARDWARE SEE SCHEDULE	MANUFACTURER	U-FACTOR	SHGC	NOTES
1	NEW	BEDROOM 1	5'-0"	6'-8"			BI-PASS										
2	NEW	BATHROOM 1	2'-6"	6'-8"			SWING										
3	NEW	OFFICE	6'-0"	6'-8"	40.0		SLIDING GLASS DOOR										TEMPERED/SAFETY GLASS
4	EXISTING	ENTRY	5'-9 1/4"	7'-9 1/2"	45.0		SWING PAIR										GLAZED DOOR PAIR
5	EXISTING	KITCHEN	3'-0"	7'-0"	10.5		SWING										1/2" LITE
6	EXISTING	BACK PATIO	6'-0"	7'-0"	42.0		SWING PAIR										GLAZED DOOR PAIR
7	EXISTING	FAMILY ROOM	6'-0"	6'-8"	40.0		SLIDING GLASS DOOR										
8	EXISTING	FAMILY ROOM	6'-0"	6'-8"	40.0		SLIDING GLASS DOOR										

KEY: VERIFY DOOR & WINDOW SIZES BEFORE PLACING ORDER. FOLLOW MANUFACTURERS R.O. DIMENSIONS FOR ALL DOOR & WINDOW OPENINGS
VERIFY U FACTOR & SHGC REQUIREMENTS IN T-24 REPORT

BP	BI-PASS	T	TEMPERED/SAFETY GLASS	SL	SLIDER
BF	BI-FOLD	OS	OVERHEAD SECTIONAL	SGD	SLIDING GLASS DOOR
SC	SOLID CORE	O	OBSCURE	SH	SINGLE HUNG
HC	HOLLOW CORE	E	EXISTING TO REMAIN	DBLH	DOUBLE HUNG
1HR	1HR RATED FIRE DOOR	FR	FRENCH DOOR	AW	AWNING
	W/SELF CLOSING HINGES	SW	SWING	BISL	BIDIRECTIONAL SLIDER

SAFETY GLAZING IS REQUIRED FOR AN INDIVIDUAL FIXED OR OPERABLE WINDOW PANEL ADJACENT TO A DOOR WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE AND IT MEETS EITHER OF THE FOLLOWING CONDITIONS:

- WHERE THE GLAZING IS WITHIN 24 INCHES OF EITHER SIDE OF THE DOOR IN THE PLANE OF THE DOOR IN A CLOSED POSITION.
- WHERE THE GLAZING IS ON A WALL LESS THAN 180 DEGREES FROM THE PLANE OF THE DOOR IN A CLOSED POSITION AND WITHIN 24 INCHES OF THE HINGE SIDE OF AN IN-SWINGING DOOR.

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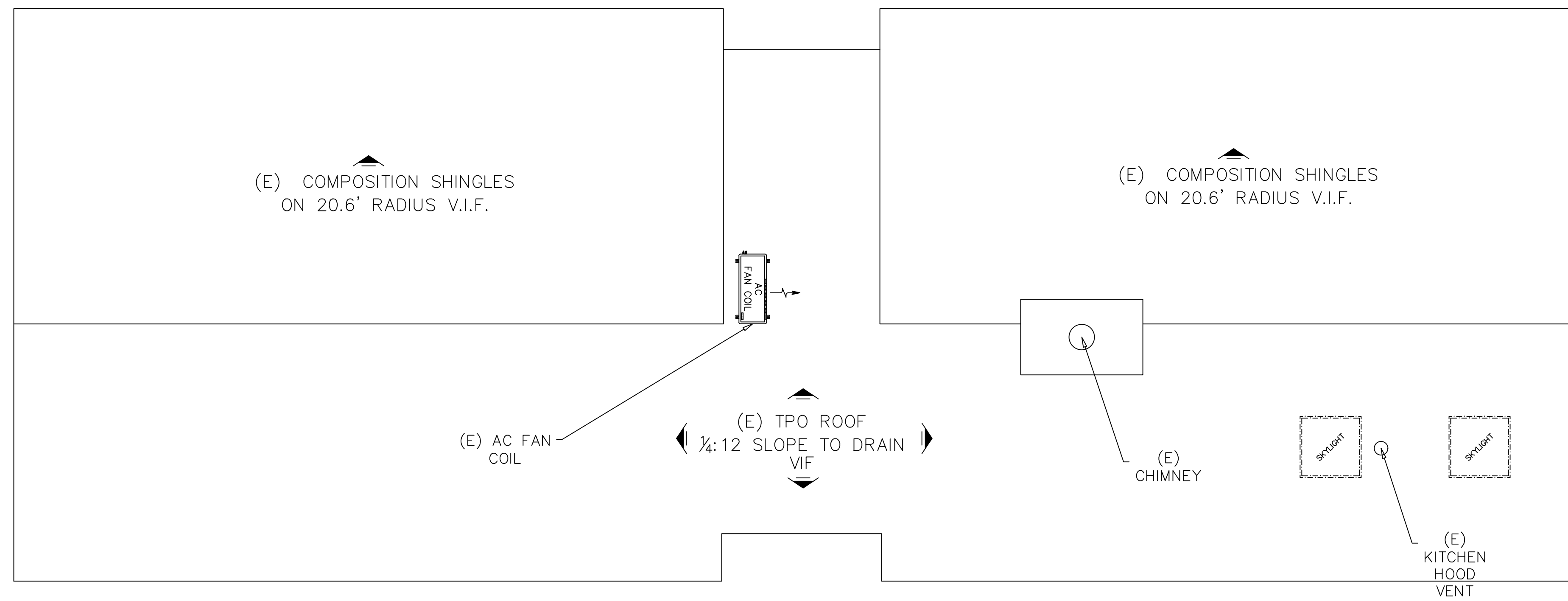
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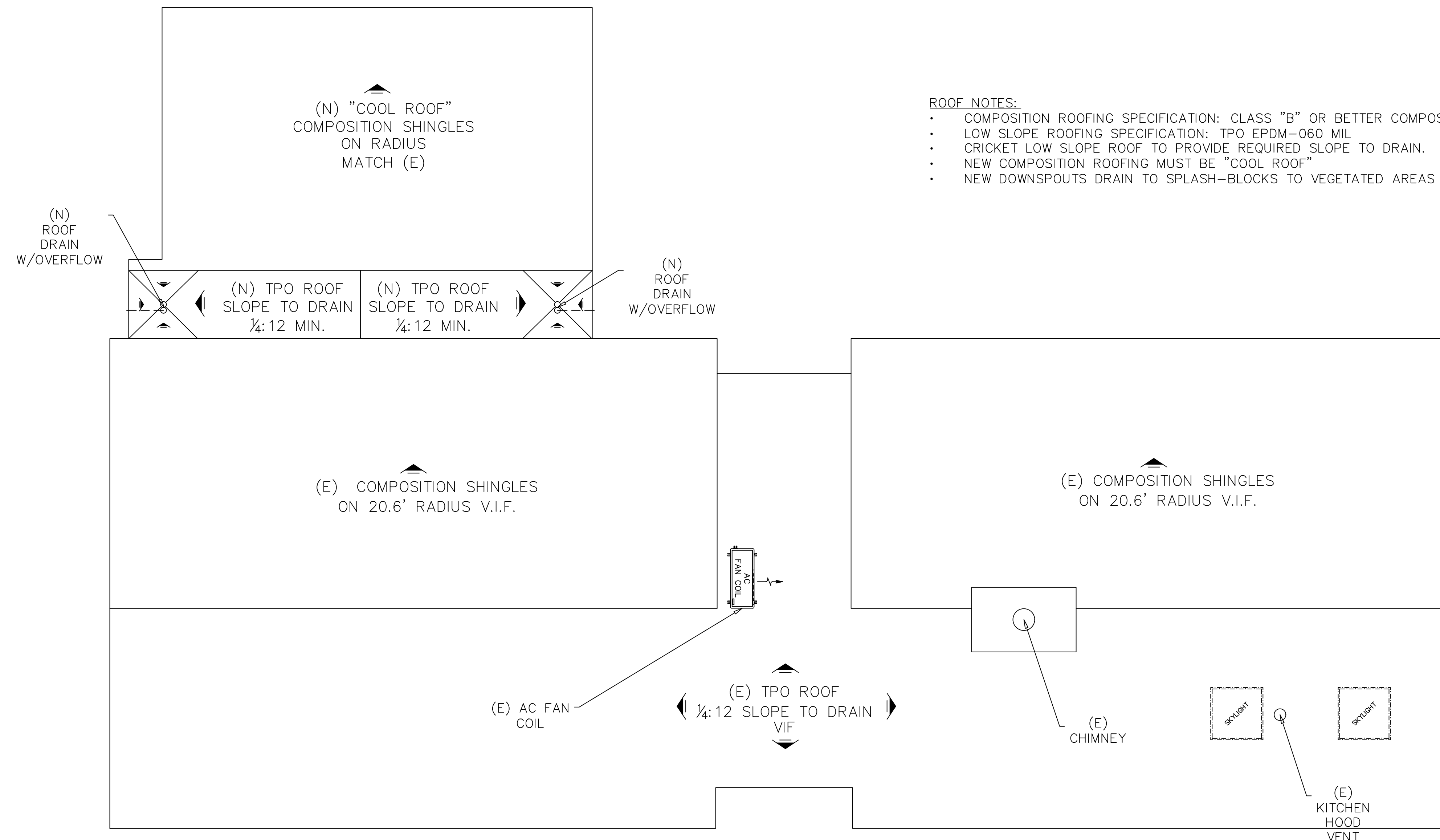
DOOR & WINDOW SCHEDULE

A1.14

SEE CONSTRUCTION NOTES FOR LEGEND & DETAILS



(E) ROOF PLAN
SCALE: 1/4"=1'-0"



(N) ROOF PLAN
SCALE: 1/4"=1'-0"

- ROOF NOTES:**
- COMPOSITION ROOFING SPECIFICATION: CLASS "B" OR BETTER COMPOSITION ROOFING SHINGLES
 - LOW SLOPE ROOFING SPECIFICATION: TPO EPDM-060 MIL
 - CRICKET LOW SLOPE ROOF TO PROVIDE REQUIRED SLOPE TO DRAIN.
 - NEW COMPOSITION ROOFING MUST BE "COOL ROOF"
 - NEW DOWNSPOUTS DRAIN TO SPLASH-BLOCKS TO VEGETATED AREAS

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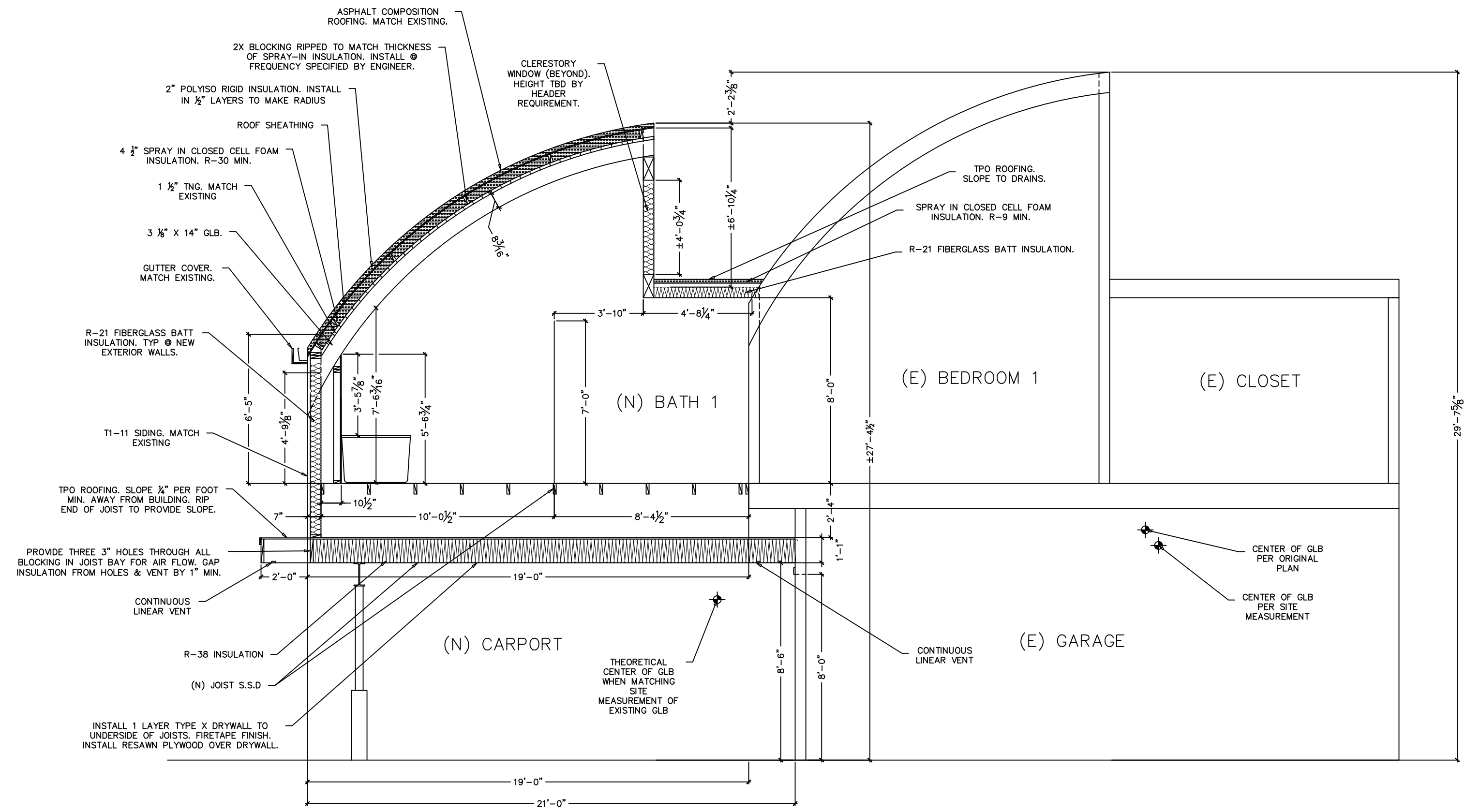
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GREENBRAE, CA 94904-1124
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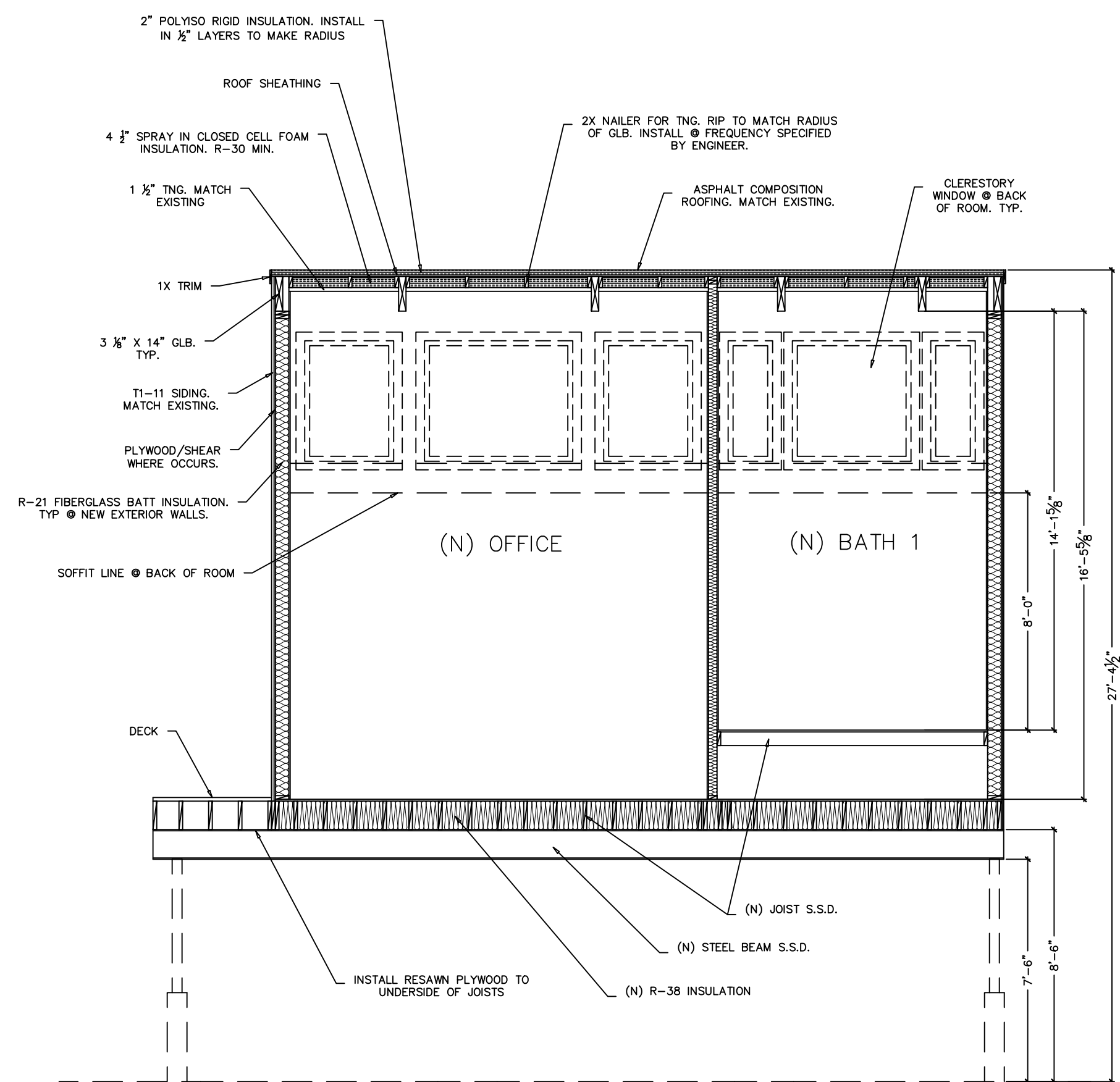
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ROOF PLANS

A2.10



SECTION VIEW & CONSTRUCTION DETAILS 1
SCALE: 1/4" = 1'-0" A3.10



SECTION VIEW & CONSTRUCTION DETAILS 2
SCALE: 1/4" = 1'-0" A3.10

- CONSTRUCTION DETAILS:**
- NEW ROOF ASSEMBLY MEETS REQUIREMENTS UNDER SECTION R806.5 AS AN UNVENTED ROOF FRAMING ASSEMBLY; THE AMOUNTS OF PREFORMED RIGID OR SPRAY-IN INSULATION SPECIFIED READILY EXCEED THE REQUIRED AMOUNTS FOR CONDENSATION CONTROL. (R-5 FOR CLIMATE ZONE 2).
 - DETAILS SHOWN ARE TYPICAL TO ALL NEW CONSTRUCTION LOCATIONS.
 - (N) EXTERIOR WALL INSULATION TO BE R-21 MIN @ 2X6 WALLS & R-15 MIN @ 2X4 WALLS.
 - (N) CEILING INSULATION @ CURVED AREAS TO BE COMBINATION OF CLOSED CELL SPRAY FOAM (UNDER ROOF DECKING) & RIGID POLYISOCYANURATE SHEET INSULATION (ABOVE ROOF DECKING), R-42 MIN.
 - (N) CEILING INSULATION @ FLAT AREAS TO BE COMBINATION OF CLOSED CELL SPRAY FOAM (UNDER ROOF DECKING) & RIGID POLYISOCYANURATE SHEET INSULATION (ABOVE ROOF DECKING), R-30 MIN.
 - (N) UNDER-FLOOR INSULATION TO BE R-38 MIN. INSTALL WITH NETTING OR INSULATION HANGERS.
 - INSTALL LINEAR SOFFIT VENTS TO CARPORT SOFFIT WHERE INDICATED. DRILL HOLES THROUGH BLOCKING IN JOIST BAYS AS INDICATED.
 - WHERE SOFFIT VENTS ARE INSTALLED (OR JOIST BLOCKING), INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. NOT LESS THAN A 1-INCH SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE BLOCKING/VENT.
 - (N) ROOFING @ CURVED ROOF TO BE COMPOSITION OF CLASS "B" OR BETTER. COLOR TO MATCH EXISTING.
 - UNDERLAYMENT FOR ASPHALT SHINGLES SHALL COMPLY WITH ASTM D226 TYPE I; ASTM D4869 TYPE I, II, III OR IV; ASTM D6757; AND SHALL BEAR A LABEL INDICATING COMPLIANCE TO THE STANDARD DESIGNATION. UNDERLAYMENT SHALL BE APPLIED SHINGLE FASHION, PARALLEL TO AND STARTING FROM THE EAVE AND LAPPED 2 INCHES, DISTORTIONS IN THE UNDERLAYMENT SHALL NOT INTERFERE WITH THE ABILITY OF THE SHINGLES TO SEAL. END LAPS SHALL BE 4 INCHES AND SHALL BE OFFSET BY 6 FEET.
 - NEW ROOFING @ LOW SLOPE AREAS TO BE TPO EPDM-060 MIL. PROVIDE SLOPE AS SPECIFIED BY MANUFACTURER. SLOPE ROOF WITH RIGID INSULATION SUITABLE FOR ROOFING APPLICATION.
 - ANY NEW WOOD FRAMING MEMBERS LESS THAN 8 INCHES FROM THE EXPOSED GROUND (2" FROM CONCRETE) SHALL BE PRESSURE TREATED LUMBER.
 - LANDINGS @ EXTERIOR DOORS TO BE 36" MINIMUM IN THE DIRECTION OF TRAVEL, EQUAL OR GREATER IN WIDTH THAN THE DOOR OPENING, & NOT TO EXCEED 2% SLOPE AWAY FROM THE BUILDING.
 - LANDINGS FOR EGRESS DOORS SHALL BE NOT MORE THAN 7-3/4 INCHES LOWER THAN THE THRESHOLD FOR IN-SWINGING DOORS AND NOT MORE THAN 1-1/2 INCHES LOWER THAN THE THRESHOLD FOR OUT-SWINGING DOORS.
 - LANDINGS FOR OTHER EXTERIOR DOORS SHALL BE NOT MORE THAN 7-3/4 INCHES LOWER THAN THE THRESHOLD.

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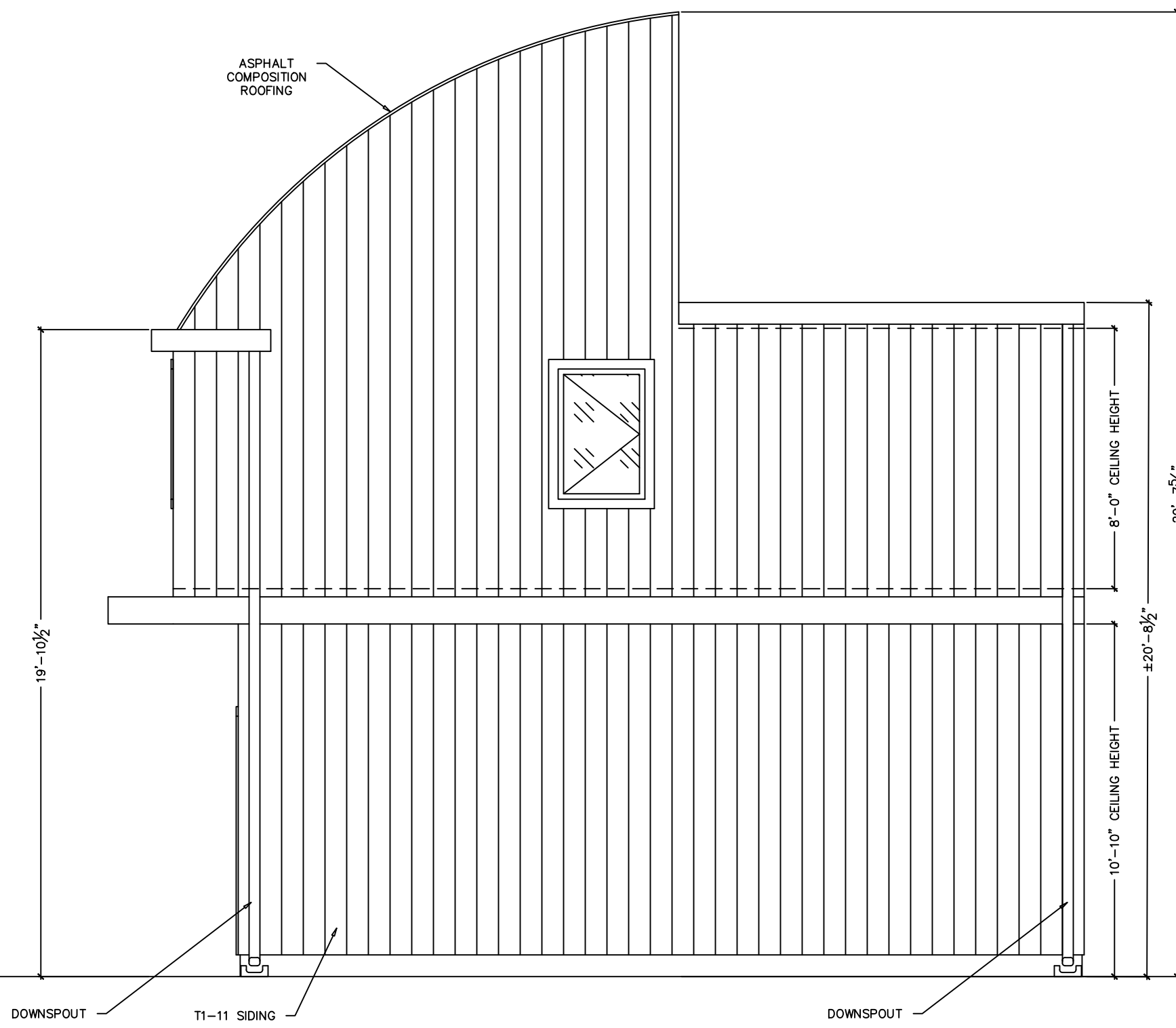
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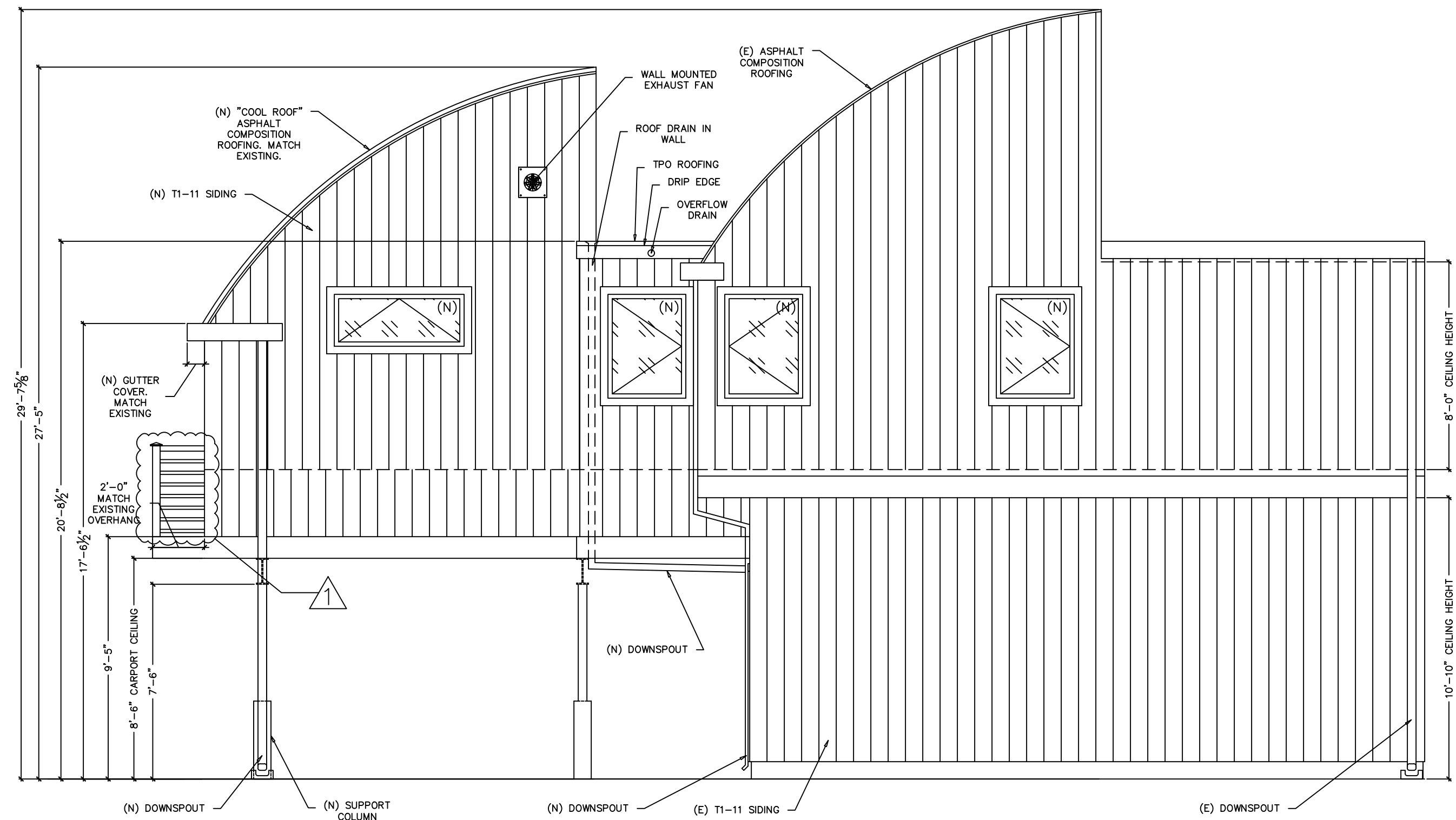
SECTION VIEWS & CONSTRUCTION DETAILS

A3.10



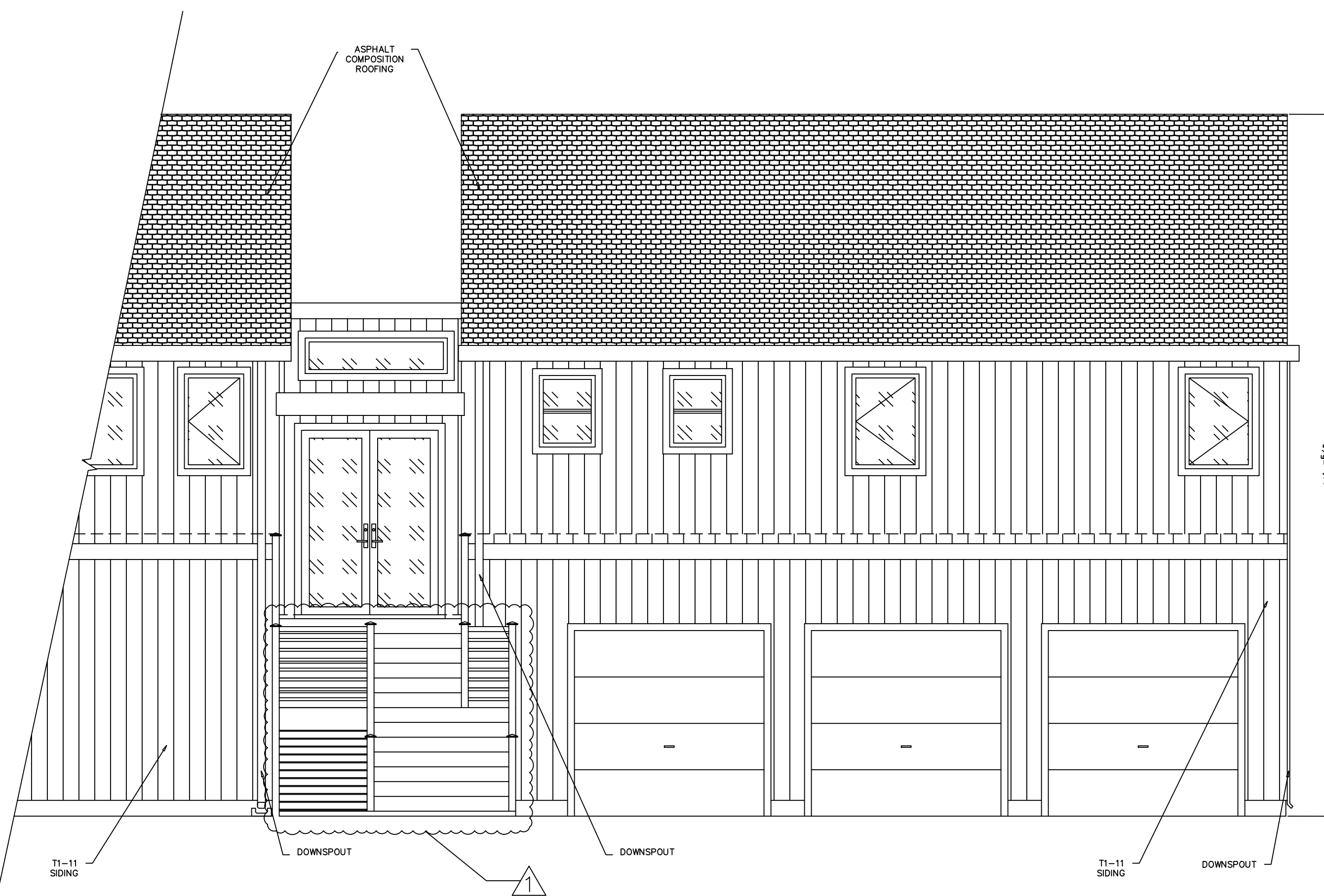
(E) ELEVATION FROM PLAN WEST
SCALE: 1/4"=1'-0"

A
A4.10



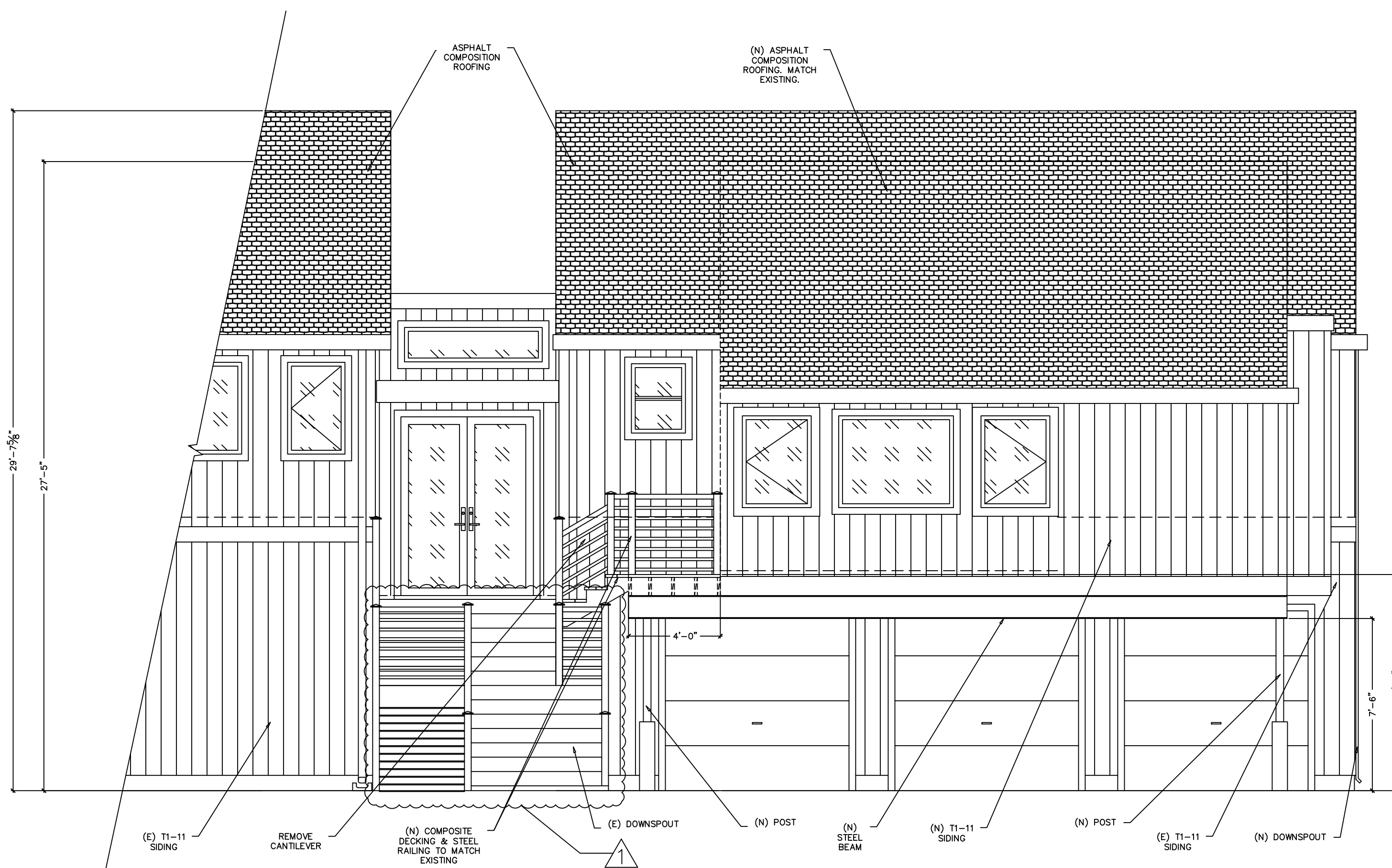
(N) ELEVATION FROM PLAN WEST
SCALE: 1/4"=1'-0"

B
A4.10



(E) ELEVATION FROM PLAN NORTH
SCALE: 1/4"=1'-0"

C
A4.10



(N) ELEVATION FROM PLAN NORTH
SCALE: 1/4"=1'-0"

D
A4.10

Revision History

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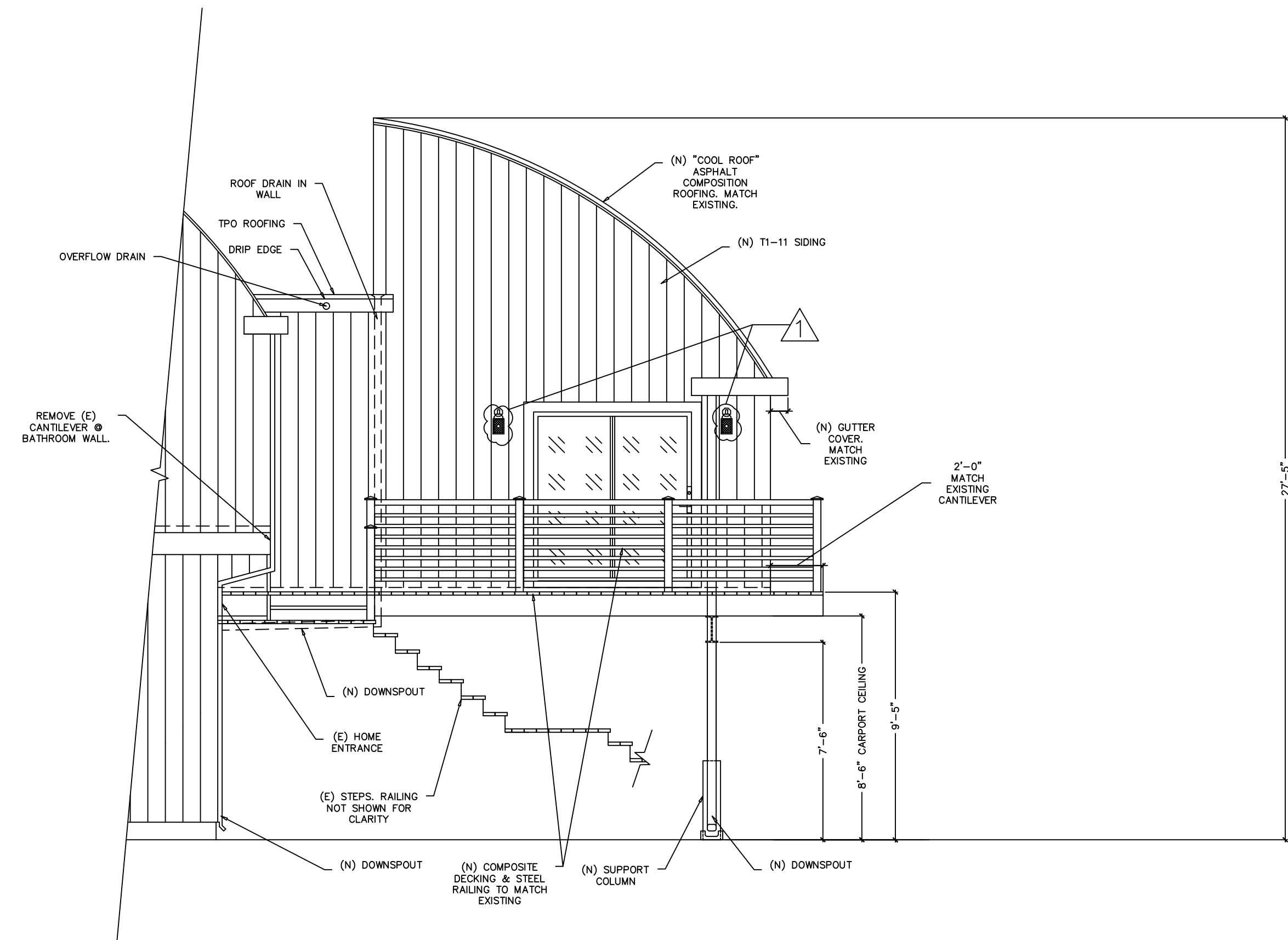
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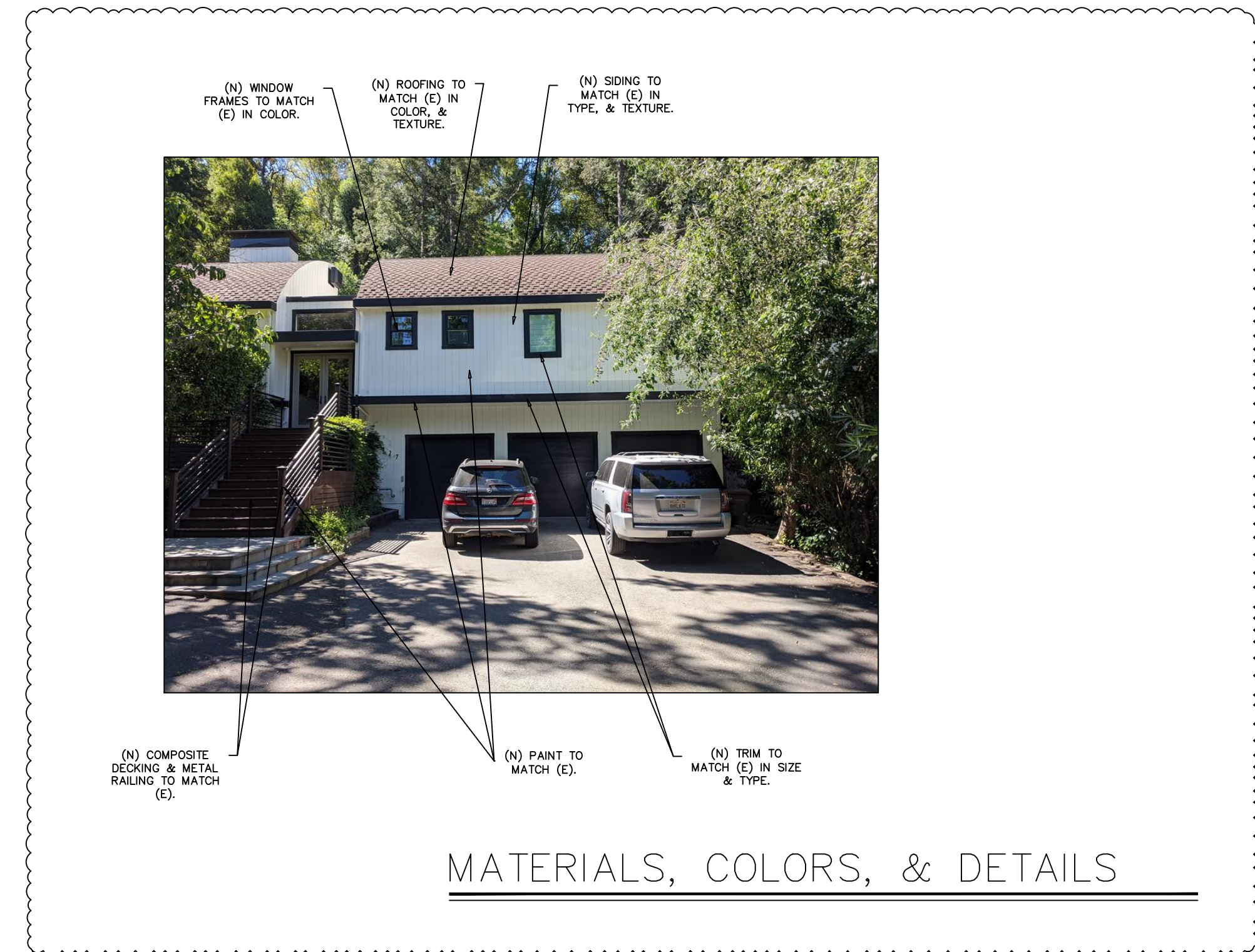
ELEVATIONS

A4.10



(N) ELEVATION FROM PLAN EAST
SCALE: 1/4" = 1'-0"

A
A4.11



MATERIALS, COLORS, & DETAILS

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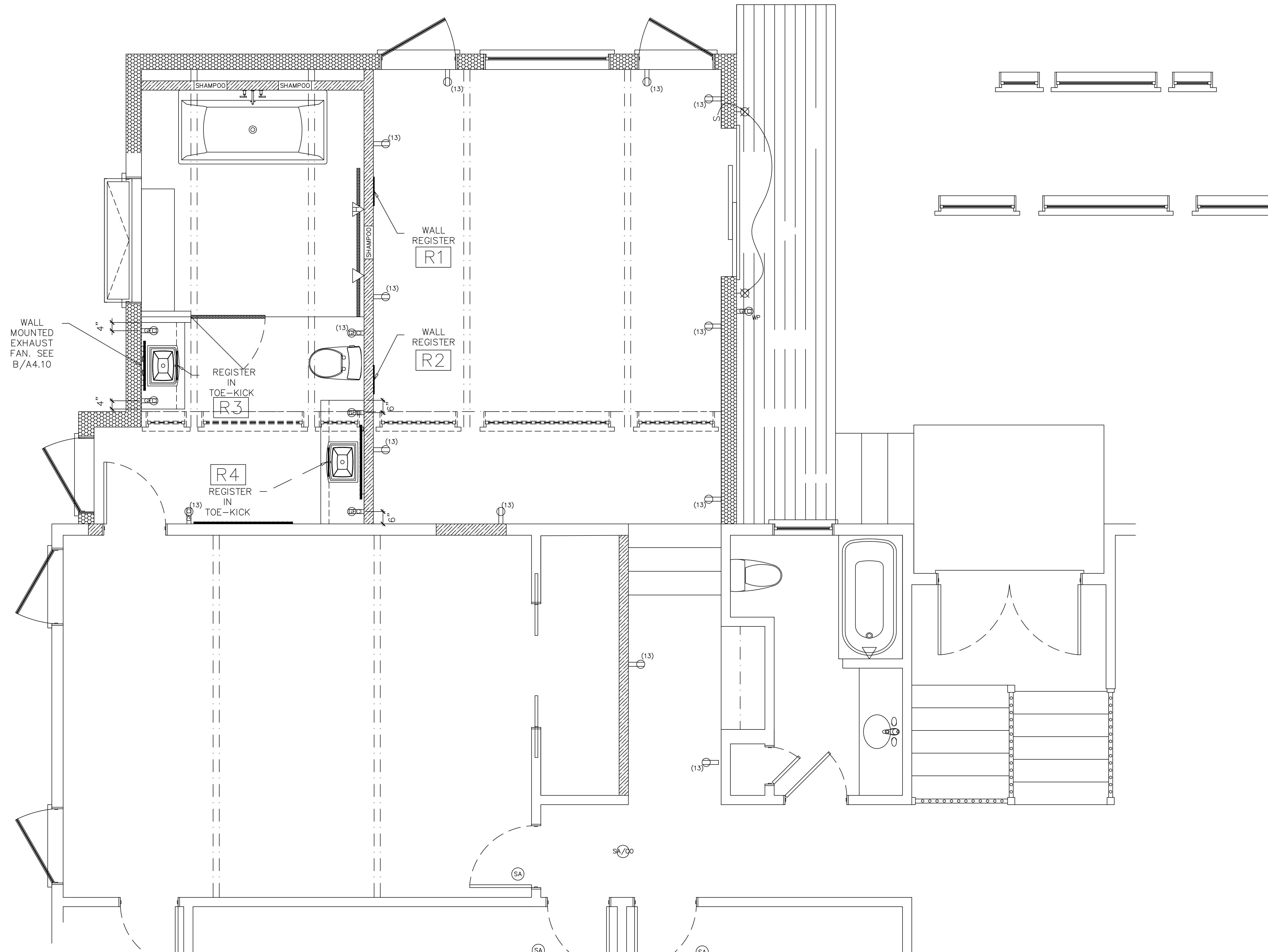
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**ELEVATIONS,
MATERIALS,
COLORS, &
DETAILS**

A4.11

SEE CONSTRUCTION NOTES FOR LEGEND & DETAILS



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 427 LOS CERROS DR
 GREENBRAE, CA 94904-1124

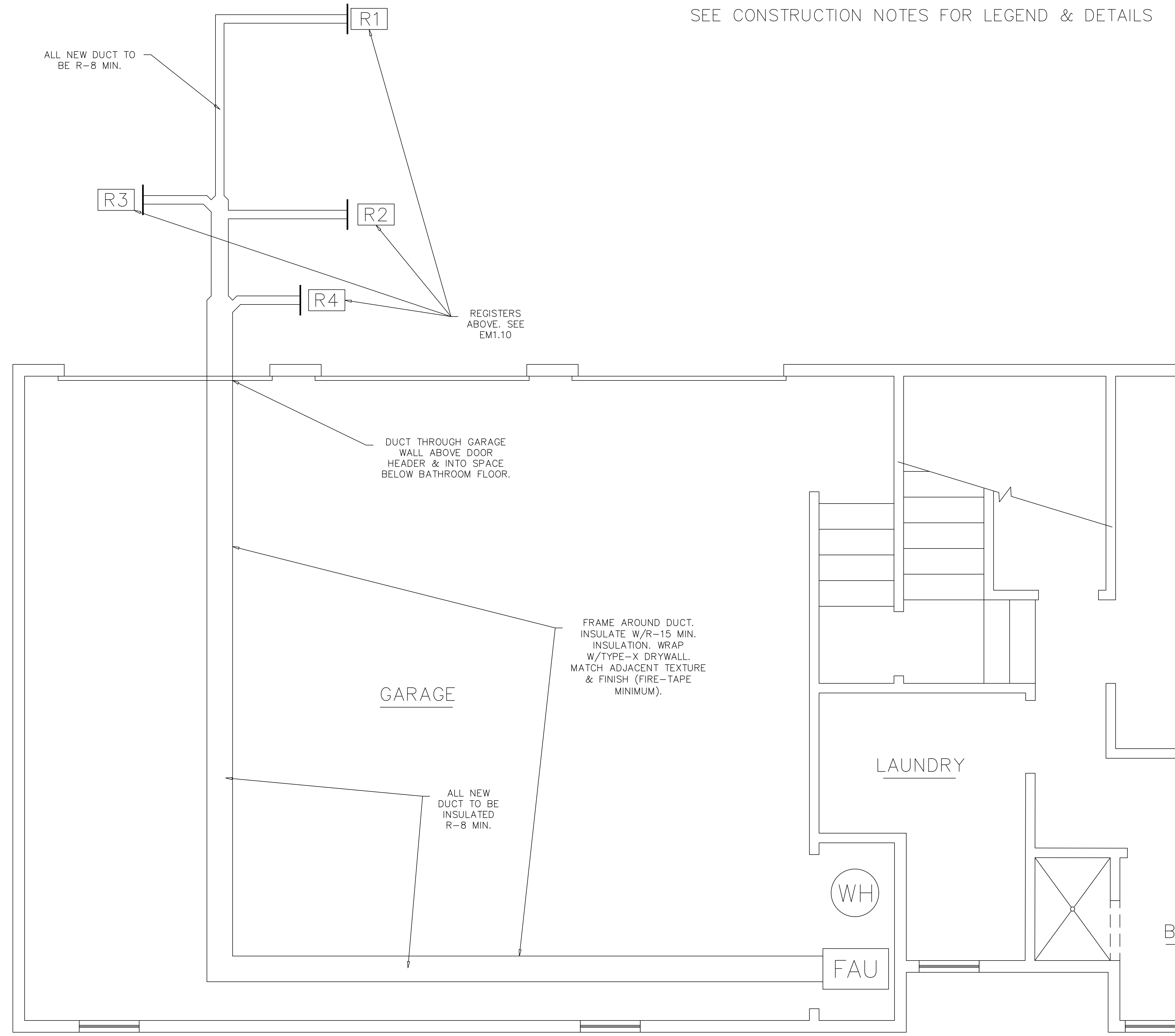
Drawing By:
 Chris Klimen
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 Date: JULY 05, 2022
 Project / Job #:
 Peter Christopher Klimen
DIGITALLY SIGNED BY PETER CHRISTOPHER KLIMEN
 EMAIL=KLIMEN@ATT.NET DATE: 05/24/24

ELECTRICAL & MECHANICAL PLAN

EM1.10

ELECTRICAL & MECHANICAL PLAN
 SCALE: 1/2"=1'-0"

SEE CONSTRUCTION NOTES FOR LEGEND & DETAILS



Revision History	
08/30/22	2ND PROGRESS SET
09/15/22	3RD PROGRESS SET
09/22/22	4TH PROGRESS SET
10/04/22	FLOOR PLAN PROGRESS & SET WINDOWS
12/27/22	DECEMBER PROGRESS SET
5/23/23	MAY PROGRESS SET
6/19/23 - 7/21/23	PLANNING SUBMISSION PREP
02/20/24 - 3/5/24	PLANNING SUBMISSION SET
05/01/24	▲ PLANNING COMMENTS



OFFICE & MASTER BATHROOM ADDITION
427 LOS CERROS DR
GREENBRAE, CA 94904-1124
APN: 070-071-14

OWNER:
DAVID & HEATHER HEWLETT
PH - (650) 380-4967
427 LOS CERROS DR
GREENBRAE, CA 94904-1124

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GARAGE DUCT PLAN

EM1.11

GARAGE MECHANICAL DUCT PLAN
SCALE: 1/2"=1'-0"