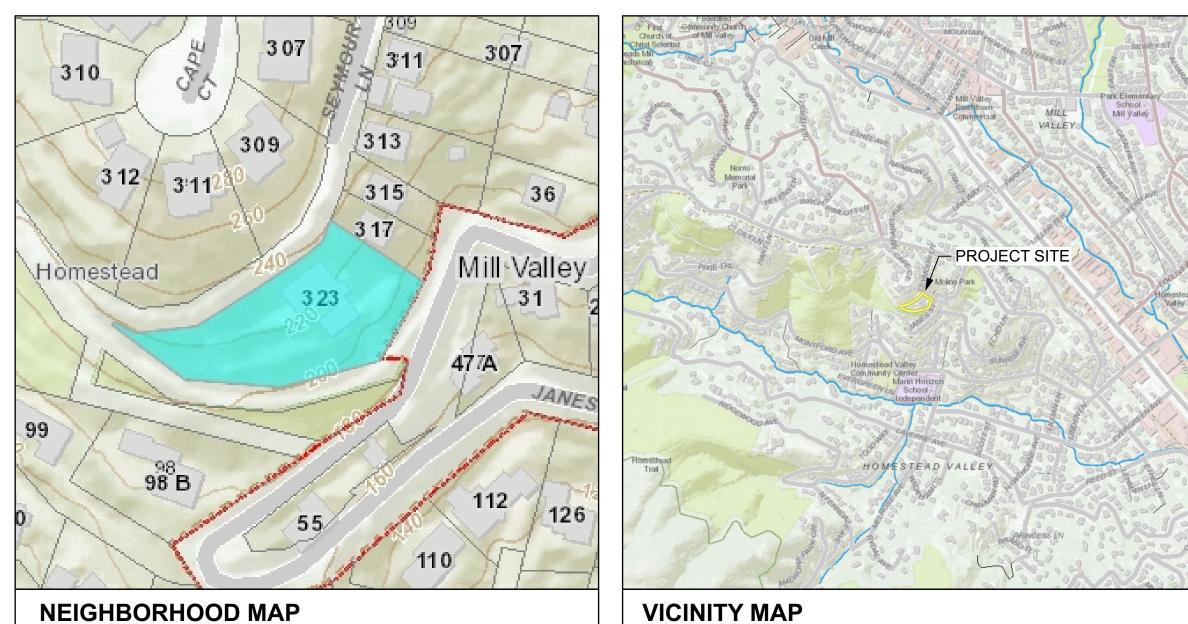
# FLOUM/O'DONNELL **323 SEYMOUR LANE** MILL VALLEY, CA 94941 **APN 047-125-19 PERMIT#**:

# DESIGN REVIEW PERMIT SET



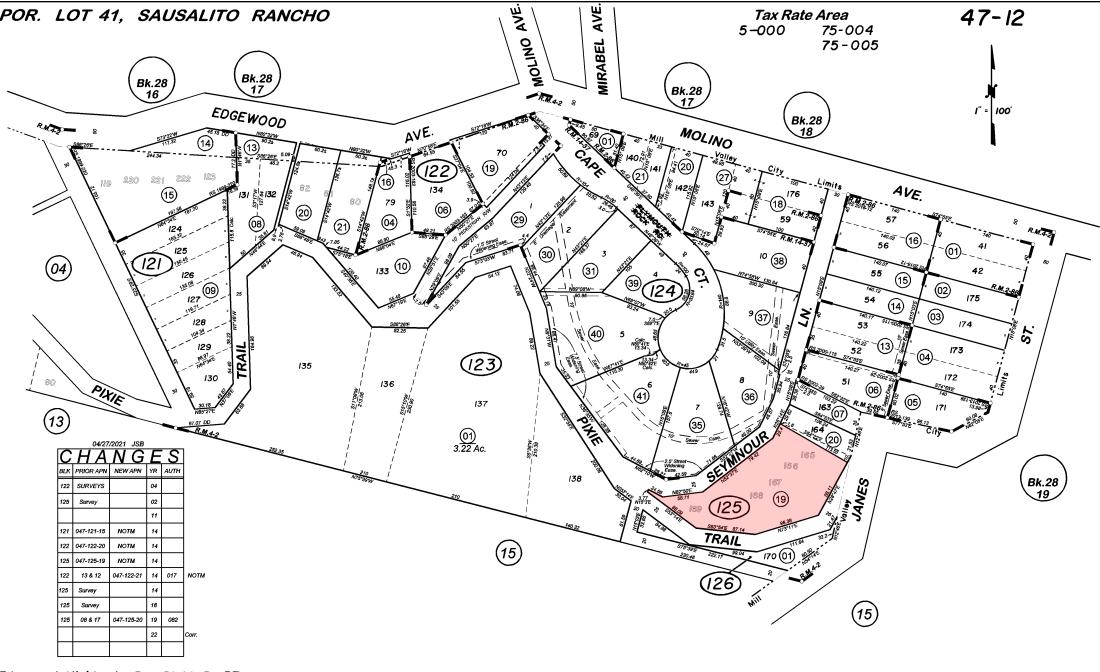
# SPECIAL INSTRUCTIONS

	ALIGN WALLS OR OBJECTS	
	LINE OVERHEAD OR HIDDEN	
¢	CENTERLINE	
P <sub>L</sub>	PROPERTY LINE	ОМРЕГУ WITH LOC
● <u>0</u> "	DATUM LINE	ELS MAY NOT CC
	SHEET NOTE MARKER	- Other Second
	FINISH NOTE MARKER	ATA SHOWN. AS
	WALL TYPE MARKER	URACY OF THE D
	WINDOW SYMBOL	D FOR THE ACC
	DOOR SYMBOL	ILLTY IS ASSUME
	SECTION MARKER	S ONLY. NO LIAE
	ELEVATION MARKER	MENT PURPOSE
	INTERIOR ELEVATION MARKER	ED FOR ASSESS
	PLAN DETAIL MARKER	Willy We have been as a construction of the second
	REVISION MARKER	Milh ⊮≋⊨ Ame
SYMBOLS		ASS

APN	047-125-19		
LOT SIZE	22,805.1 SF		
ZONING	R1-B1		
PROPERTY INFORMATION:	ALLOWED	PREVIOUS/DEMOLISHED	PROPOSED
LOT COVERAGE		6,879 SF	7,342 SF
FLOOR AREA: 0.30 MAX = 6,841.53 SF			
COVERED DECK		-	NO CHANGE
UNCOVERED DECKS		1,191 SF	1,184 SF
GARAGE		822*	NO CHANGE
UPPER LEVEL		1,230 SF	1,740 SF
LOWER LEVEL		2396 SF	2,735 SF
TOTAL		4,448 SF	5,297 SF
TOTAL ADJUSTED FLOOR AREA		3,908 SF	4,757 SF
SETBACKS:		· · · · · · · · · · · · · · · · · · ·	
FRONT	25'0"	29'2"	25'0"
SIDE: LEFT	5' (10' ON STREET)	161' 7"	NO CHANGE
SIDE: RIGHT	5' (10' ON STREET)	36'6"	20'7"
REAR	20% LOT DEPTH (25' MAX)	24'1"	NO CHANGE
ADD'L INFORMATION:		· · · · · · · · · · · · · · · · · · ·	
CUT	-	-	330 CUFT
FILL	-	-	-
IMPORT/OFF-HAUL	-	-	330 CUFT
STORIES	-	2	NO CHANGE
HEIGHT	30' (16' ADU)	25'0"	30'0"
ONSITE PARKING SPACES	-	4	NO CHANGE

\*NOTE: 540 SF OF GARAGE AREA EXEMPT FROM TOTAL FAR

## SITE DATA TABLE



gewood Highlands, R.M.Bk. 14-Pg.37 llwood Heights, R.M. Bk. 2, Pg. 86

nended Map of La Verne Heights, R.M. Bk. 4, Pg. 2

NOTE -- Assessor's Block Numbers Shown in Ellipses. Assessor's Parcel Numbers Shown in Circles.

Assessor's Map Bk. 47-Pg. 12 County of Marın, Calif.

# SCOPE OF WORK

A0.0 V1 A0.1 A0.2 A0.8 A1.0 A1.1 A1.2 A1.3 A1.4 A1.5 A1.6 A1.7 A2.0 A2.1 A2.2 A2.3 A3.0

A3.1

APN / LOT	
047-125-19	

LOT SIZE

22,805.1 SF

ZONING CODE R1-B1

VB

**CONSTRUCTION TYP** 

**OCCUPANCY TYPE** R1-B1

**WUI AREA** YES

# **PROJECT DATA**

2022 CALIFORNIA BUILDING CODE (CBC)

2022 CALIFORNIA RESIDENTIAL CODE (CRC)

2022 CALIFORNIA MECHANICAL CODE (CMC)

2022 CALIFORNIA PLUMBING CODE (CPC)

2022 CALIFORNIA ELECTRICAL CODE (CEC)

2022 CALIFORNIA BUILDING ENERGY STANDARDS -TITLE 24

2022 CALIFORNIA GREEN BUILDING STANDARDS

2022 CALIFORNIA FIRE CODE

# **APPLICABLE CODES**

REMODEL EXISTING UPPER AND LOWER LEVELS 849 SF TOTAL ADDITION

(N) UPPER ROOF & REROOF LOWER ROOF

(N) SIDING THROUGHOUT

(N) ENTRY & SIDE DECKS

EXPAND EXISTING ROOF DECK

(N) DOORS AND WINDOWS THROUGHOUT

ARCHITECTURAL

COVER SHEET SURVEY **GENERAL NOTES** FAR PROPOSED MATERIALS EXISTING SITE PLAN PROPOSED SITE PLAN ROOF PLANS EXISTING UPPER FLOOR PLAN PROPOSED UPPER FLOOR PLAN EXISTING LOWER FLOOR PLAN PROPOSED LOWER FLOOR PLAN GARAGE FLOOR PLANS NORTH ELEVATIONS EAST ELEVATIONS SOUTH ELEVATIONS WEST ELEVATIONS SECTION A SECTION B

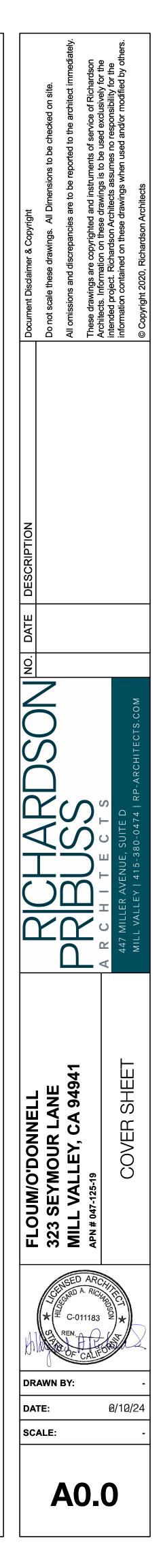
**OWNERS**: MAGGIE O'DONNELL & JOSH FLOUM 323 SEYMOUR LANE MILL VALLEY, CA 94941 TEL:(415) 250-2567

ARCHITECT: **RICHARDSON PRIBUSS ARCHITECTS** 447 MILLER AVE., MILL VALLEY, CA 94941 TEL:(415) 380-0474 FAX:(415) 380-0470

STRUCTURAL ENGINEER: MARTIN/MARTIN CONSULTING ENGINEERS 900 LARKSPUR LANDING CIRCLE, SUITE 201 LARKSPUR, CA 94939 TEL: (415) 814-0030

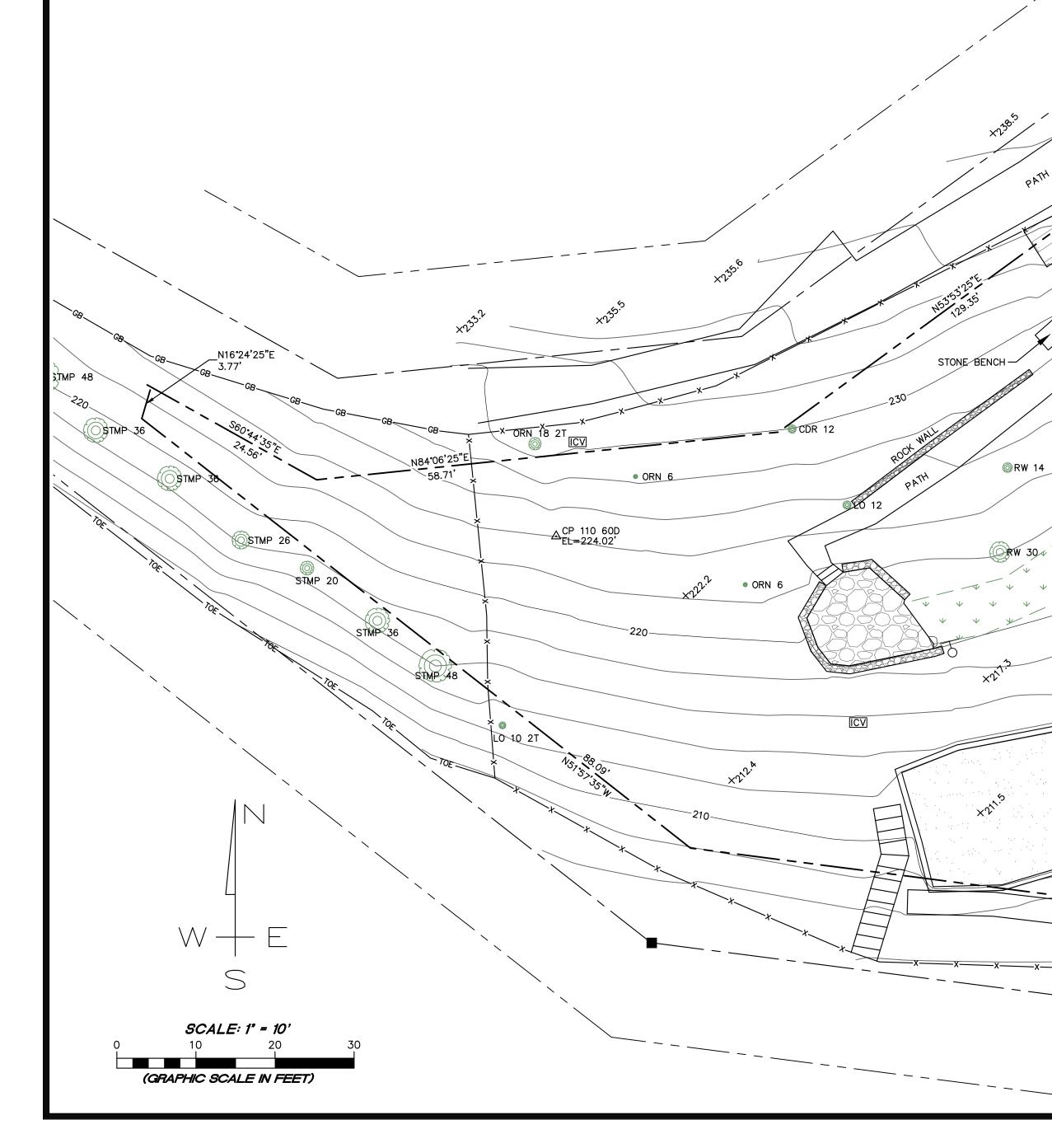
> LANDSCAPE: TBD

**CONTRACTOR:** TBD



## **PROJECT TEAM**

				GENE
	- RECORD BOUNDARY LINE	W.	WATER METER	
	- RECORD ADJOINING BOUNDARY LINE	E	ELECTRIC METER	BOUNDARY LI MONUMENTS
	RECORD EASEMENT LINE	EU	ELECTRIC PULL BOX	RECORDED IN DOES NOT CO
	RECORD CENTERLINE	G	GAS METER	BEEN ROTATE ZONE 3 GRID
	- EDGE OF CONCRETE	©	SEWER CLEAN OUT	RESOLUTION
	- GRADE BREAK - TOE OF SLOPE	△ CP 3 EL=100	SURVEY CONTROL POINT	UTILITIES SHO AT THE TIME
xx	WIRE FENCE		6"x6" CONCRETE MONUMENT	THE LOCATION STRUCTURES,
	ASPHALT CONCRETE SURFACE	×14 <sup>3.2</sup>	SPOT ELEVATION	UNDERGROUN LOCATING CO
	GRAVEL SURFACE	@BO 24"	TREE-TYPE & DIAMETER	BASIS OF BE
	CONCRETE SURFACE	STMP	TREE STUMP	SET CONTROL USER SERVICI
	DECKING	LO	LIVE OAK TREE	
	BRICK SURFACE	RW	REDWOOD TREE	ELEVATIONS S DATUM OF 19
	PAVER SURFACE	CYP	CYPRESS TREE	CONTROL POI ELEVATION =
	ROCK WALL	BAY	BAY TREE	ELEVATION -
REFERE		MPL	MAPLE TREE	
2000000	FLAGSTONE SURFACE	MAD	MADRONE TREE	
* * * * * * * * * * *	LAWN	FRT	FRUIT TREE	
*~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	FIRE HYDRANT	ORN	ORNAMENTAL TREE	
ICV	IRRIGATION VALVE	FF	FINISHED FLOOR	
চ	HOSE BIB	FS	FINISHED SLAB	



# ERAL NOTES

INES SHOWN HEREON ARE DELINEATED FROM FIELD TIES TO SHOWN ON THE AMENDED MAP OF LA VERNE HEIGHTS, I BOOK 4 OF MAPS AT PAGE 2, MARIN COUNTY RECORDS, AND ONSTITUTE A BOUNDARY SURVEY. THE BEARINGS SHOWN HAVE ED FROM RECORD TO NORTH AMERICAN DATUM OF 1983 (NAD83) NORTH. THIS MAP IS NOT INTENDED TO PROVIDE A BOUNDARY FOR THE SUBJECT PROPERTY.

OWN HEREON ARE BASED UPON PHYSICAL FEATURES OBSERVED OF THE SURVEY. THE SURVEYOR ACCEPTS NO LIABILITY FOR N, EXISTENCE OR NON-EXISTENCE OF THOSE UNDERGROUND , UTILITY LINES AND RELATED APPURTENANCES. LOCATION OF ND UTILITIES SHALL BE PERFORMED BY A SUBSURFACE UTILITY OMPANY (IF DESIRED).

ARINGS: GRID NORTH BASED ON GPS OBSERVATIONS BETWEEN POINTS POST PROCESSED USING OPUS (ONLINE POSITIONING Œ).

© CP 112 PKWF EL=249.30'∆

10 N

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∽FF EL:233.3'

<sup>V</sup>CP 104 60D EL<del>⇒</del>212.26' △

96.38' \$74°27'25"''

ORN

\_\_\_ORN

- FS: 247.8'

EXISTING GARAGE

ORN 6

WOOD WALLS

FF EL: 218.0

• MPL 6

FRT 4

CP 107 60D EL=229.73' △

EXISTING RESIDENCE

FF EL: 221.8

X240.

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NOUR

SETN

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@RW 20 27

() RW 30 2T

©RW 12

RO

ROCK WAL

@MPL 18 2T

WALL

- BASKETBALL HOOP

ROCK

• ORN

AAAAAAAAA

@ RW 11-

ROCK WALL

@RW 10

 $\checkmark$ △<sup>CP</sup> 108 60D EL=221.10'

RW 30

- WOOD WALL

©LO 20 2T N82'37'35"W PATH

@\0RN 12

ANH

/P 240

SHOWN HEREON ARE BASED THE NORTH AMERICAN VERTICAL 988 (NAVD 88). BENCHMARK CONTROL POINT #106 SET 60D NAIL NNT. 198.09' NAVD 88

XT

🍥 RW 10

→ • RW 6

🏷 🛯 BAY 8,⁄2T

@RW 12\_\_\_\_

@RW 18

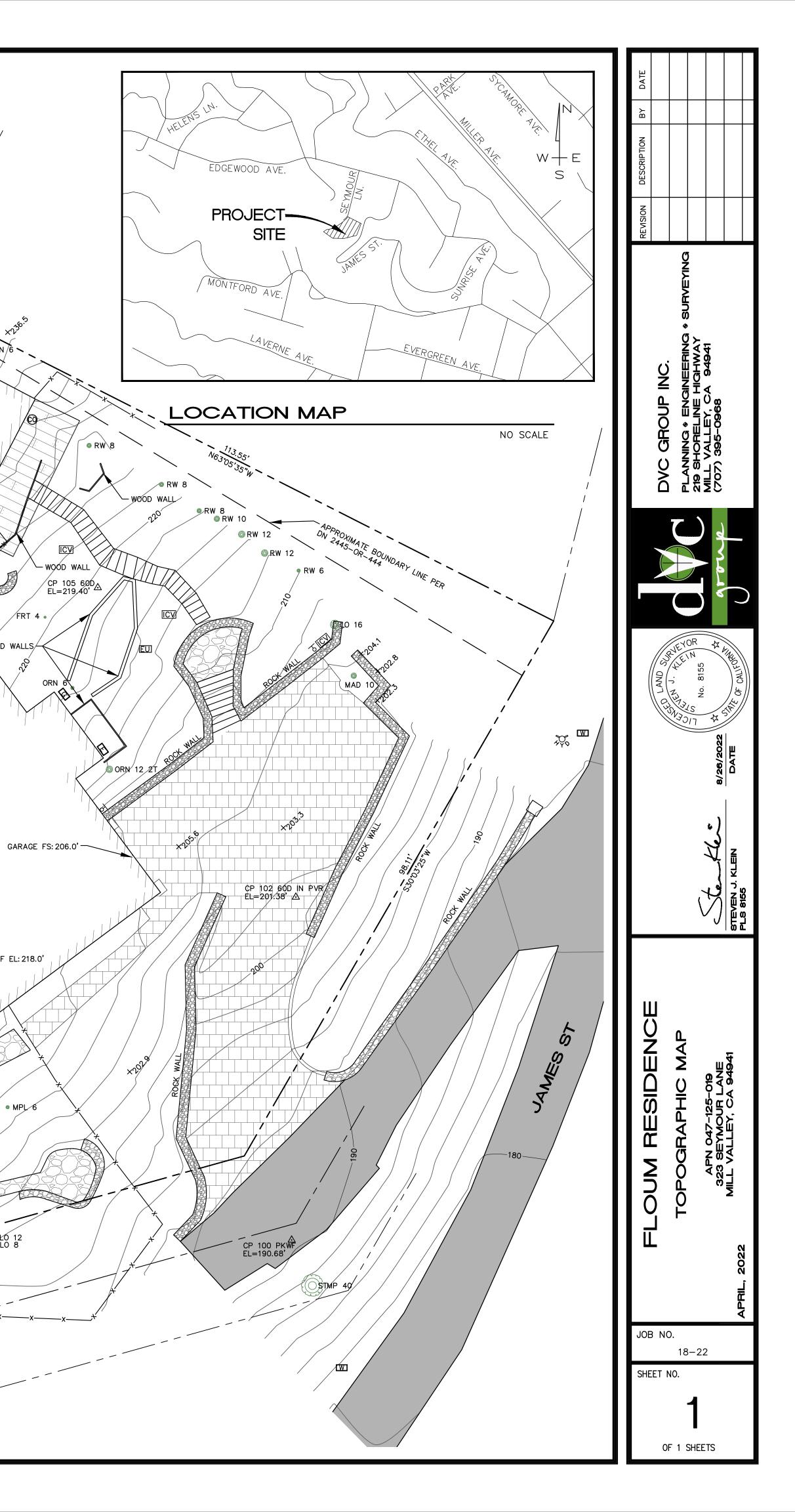
@RW 18

FLAGSTONE STEPS

×211.0

Xn44...

△<sup>CP</sup> 103 60D EL=196.81'



	GENERAE NOTES
,	
Ι.	The work included under this contract shall consist of all labor, materials, transportation, tools, and equipment necessary for the construction of the project leaving all work ready for use.
2.	All construction shall conform to the currently adopted edition of the building code and any other local governing codes and ordinances. In the event
	of conflict the most stringent shall apply. Code editions used for the design of this project:
	a. 2022 California Residential Code (CRC)
	b. 2022 California Mechanical Code (CMĆ)
	c. 2022 California Plumbing Code (CPC)
	d. 2022 California Electrical Code (CEC)
	e. 2022 California Fire Code (CFC)
	f. 2022 California Building Energy Standards – Title 24
	g. 2022 California Green Building Standards
3.	The plans indicate the general extent of new construction necessary for the work, but are not intended to be all-inclusive. All new work necessary to
	allow for a finished job in accordance with the intent of the construction documents is included, regardless of whether shown on the drawings
	or mentioned in the notes.
4.	Any errors, omissions, or conflicts found in various parts of the construction documents shall be brought to the attention of the architect and owner
	for clarification before proceeding with the work.
5.	The general contractor shall maintain a current and complete set of construction documents on the job site during all phases of construction for use
	by all trades and shall provide all subcontractors with current documents as required.
6.	The general contractor shall verify and assume full responsibility for all dimensions and site conditions. The general contractor shall inspect the existing
	premises and structures and take note of existing conditions prior to submitting prices. All discrepancies shall be brought to the attention of the
	architect prior to construction.
7.	The general contractor is responsible for the following: property must be surveyed with string lines set for first foundation inspection.
8.	See survey and soils report and all other related documents that relate to this construction project.
9.	Coordinate all work with existing conditions, including but not limited to irrigation pipes, electrical conduit, water lines, drainage lines, gas lines, waste
	and septic systems, etc.
10.	Richardson Architects does not assume responsibility for existing conditions or any defects in existing construction, nor will the architect be
	responsible for construction means, methods or procedures of construction or safety, which shall remain the responsibility of the general contractor.
11.	Structural observation shall be required for structural compliance with the approved plans per CBC 1710A – see structural drawings.
12.	Special inspection or structural observation is not a substitute for inspection by the building official or building inspector. Specially inspected work that
	is installed or covered without the approval of the building official and the special inspector and the design engineer is subject to removal or exposure
13.	The general contractor shall remove all rubbish and waste materials from all subcontractors and trades, on a regular basis and shall exercise strict
	control over job cleaning to prevent dust and/or debris from affecting in any way the finished areas within or outside the job.
14.	All workmanship in all trades shall be of highest quality, by persons especially skilled at assigned tasks, and shall result in a neat and clean installation.
	All work shall be installed true, plumb, level, square and in proper alignment as required. Correct existing framing that is to remain.
15.	All dimensions shall be as indicated on the drawings or as clarified by the architect. Dimensions shall not be determined by scaling the drawings.
	Dimensions shown are to face of stud or concrete, centerline of columns, or centerline of windows, doors, or other openings. Where noted, clear
	finish dimensions critical for equipment, casework, or other requirements are required to be exact within 1/8" tolerance along the full height and full
	width of walls. The contractor shall verify all dimensions in the field before preparing shop drawings, fabrications or construction.
16.	Windows are noted in elevation for size only. Owner to select type and manufacturer. Contractor to confirm existing opening sizes where replacing
. –	window(s) in existing openings.
17.	Verify all architectural details with structural, mechanical, or electrical conditions before the ordering or installation of any item of work.
18.	All the providers of design/build systems shall submit required design drawings, diagrams, and documentation as required by the building department.
19.	Install all equipment and materials per manufacturer's instructions and recommendations.
20.	Verify all final equipment, appliance, material, cabinet finish, and lighting selections with owner/architect.
21.	Verify clearances for flues, vents, chases, soffits fixtures, etc. prior to ordering components or commencing work.
22.	Sealant flashing and caulking locations shown on the drawings are not intended to be all-inclusive. Follow manufacturer's recommendations and
	standard industry and building practices. Low V.O.C. required for Green building compliance.
23.	Submit cabinet shop drawings for all casework (pantry, kitchen, bathrooms, bedrooms, study, laundry) for architect review and approval prior to
24	fabrication.
24.	Special inspection is required for Concrete, Non-shrink Grout, Welding, High Strength Bolts, Excavations, Structural Wood, and Drilled Piers. See sheet
	S0.1 for all requirements.

**GENERAL NOTES** 

- SU. I for all requirements Truss layout plans and calculations must be approved by the architect or engineer of record and approved by the building official prior to requesting a 25. roof nailing or a framing inspection.
- All site drainage shall be dissipated in a manner that prevents erosion and conforms to current storm water discharge practices in Marin County. The 26. applicant is responsible for ensuring storm water runoff is maintained in its natural path.
- 27. Applicant is responsible using best management practices for the construction industry ("general construction and site supervision" brochure available at the department of public works) to prevent storm water pollution. Applicant shall be responsible for all environmental damage resulting from the construction of this project.
- All construction materials, debris, and equipment shall be stored on site. If that is not physically possible, an encroachment permit shall be obtained from the department of pubic works prior to placing any construction materials, debris, debris boxes, or unlicensed equipment in the right-of-way. A minimum 12' passable auto traffic clearance (paved travel way) shall be maintained at all times along roadway. The placing of portable toilet facilities in the city right-of-way will not be permitted.
- A surveyor must provide a letter certifying that placement of foundation forms are in compliance with the approved plans prior to the first foundation related inspection Temporary power pole inspection shall be first inspection requested. There shall be no further inspections until temporary power installation has been 30.
- approved by the city of Tiburon. Manufacturer's installation instructions shall be available on the job site at the time of inspection.
- 32. Builder is to provide the owner with all operating and maintenance information for all installed energy features, materials, components, and
- manufactured devices. All plumbing and mechanical work that is designated as "DESIGN BUILD" shall be subject to verification for compliance with Title 24. In addition, 33.
- assessment is the field by the building inspector may trigger submittal of plan revisions. Documentation of conformance for applicable green building measures shall be provided to the inspector during the course of construction. 34.
- Contractor required to provide documentation to verify compliance with this code.
- A certified HERS rater shall verify the installation of the Cooling system, Indoor Air Quality system, and Duct Sealing. All completed HERS forms must 35. be received prior to final inspection. Annular spaces around pipes, electric cables, conduits, or other openings in plates at exterior walls shall be protected against the passage of rodents by
- 36. closing such openings with cement mortar, concrete masonry or similar method acceptable to the enforcing agency.
- 37. Moisture content of building materials used in wall and floor framing is checked before enclosure.

## **FLOOR PLAN NOTES**

- See structural drawings for framing specifications, details, and shear wall locations. Use only CDX plywood sheathing at exterior per
- structural drawings; see exterior elevations for exterior finishes. Provide 5/8" type gypsum board at interior side with painted smooth wall finish, level 5, typical. Interior wall construction to be 2x4 (UON – Unless Otherwise Noted) wood studs at 16" OC. See structural drawings for specifications, shear 2.
- wall locations, hold down locations, etc. Provide 5/8" gypsum board each side, painted smooth wall finish, level 5 typical. Provide wood blocking as required for all cabinetry, trim, handrails, fixtures, etc. See interior elevations for locations of all backing required. Provide plywood furring as required maintaining straight wall surfaces at structural shear wall locations, coordinate with architect as necessary.
- All dimensions given to face of framing, UON. Center all doors and windows in walls/rooms as noted. Pay special attention to all symmetry desired by architect. The door opening adjacent to perpendicular wall shall be placed such that the full width of the door trim fits adjacent to the jamb. Door opening between a private garage and the dwelling shall be equipped with either solid woods doors, or solid or honeycomb core steel doors
- not less than 1-3/8" thick, or fire doors with minimum fire protection rating of 20 minutes. Doors shall be self-closing and self-latching (per CRC R302.5.1).
- Stairways: stairways shall not be less than 36" in clear width at all points. The maximum riser height shall be 7-3/4"; the maximum tread depth shall be 10". The minimum headroom in all parts of the stairway shall not be less than 6 feet 8 inches measure vertically from the sloped line adjoining the tread nosing (per CRC R311.7)
- Handrails shall be provided on at least one side of each continuous run or treads or flight with 4 or more risers. (Per CRCR311.7.7) Stairway handrails shall be 34" to 38" above tread nosing. Handrail ends shall be returned or shall terminate in newel posts or safety terminals.
- Handrails adjacent to a wall shall have a space of not less than 1-1/2" between the wall and the handrail. Handrails with a circular cross-section shall have an outside diameter of at least 1.25" and not greater than 2" or shall provide equivalent graspability. If 8. the handrail is not circular, it shall have a perimeter dimension of at least 4" and not greater than 6.25" with a maximum cross-section dimension of 2.25".
- Edges shall have a minimum radius of 0.01". Handrails shall be adequate in strength and attachment in accordance with CBC section 1707.1.1. Guardrails shall not be less than 42" in height, except stairways where they may be 34"-38" in height when used also as a handrail. Guardrails shall be provided on open sides of all stairs and landings more than 30" above the rails or an ornamental pattern such that a sphere 4" in diameter
- cannot pass through. Guardrails shall be adequate in strength and attachment in accordance with CBC section 3209. Floors and landings at exterior doors per CRC R311.3.
- 11. Factory-built fireplaces shall be listed and labeled and shall be installed in accordance with the conditions of the listing. Factory-built fireplaces shall be tested in accordance with UL 127 (Per CRC R1004).
- Gas fireplaces to comply with all relevant requirements of CMC, CPC, CRC, and CENC.
- Hearth material at fireplace is required to be 4" thick minimum. Extend non-combustible hearth material into floor area as shown for code REQ. 13. Minimum 2'-0" x 2'6" clear attic access hatch, finish to match ceiling. 30" minimum clear headroom in the attic space shall be provided above access 14.
- 15. Address posting – each building shall have address posted in a conspicuous place, clearly visible from the street. Numbers should be minimum of 4"
- in height contrasting in color to their background and either internally or externally illuminated. (CRC section R319) Crawl space access: opening through a perimeter wall shall be not less than 18 inches by 24 inches. Access shall be unobstructed by pipes, ducts, stud 16. walls and similar construction. (Per CRC section R408.4)
- Crawl space ventilation: All ventilation shall be located, sized, and meshed per CRC sections R408.1 and R408.2. See exterior elevations. 17.
- All changes of floor materials shall occur at centerline of door or framed opening unless otherwise indicated on the drawings 18. 19. Contractor to coordinate with owner on location and mounting details of all televisions and computers.
- 20. All bathroom accessories – recessed medicine cabinets and soap holders, toilet paper holders, towel rods, etc. – to be located by owner and blocked as required for secure mounting.
- 21. Exterior decks, balconies, patios, steps, and landings to have a slope of no less than 1/4" per foot. The triangular opening at the open side of stairs, formed by the riser, tread and bottom rail of a guard shall not allow passage of a sphere 6" in diameter. 22. CRC R312.1.3.

non-combustible materials.

7.

air infiltration.

10.

12.

13.

15.

9.

12.

13.

	SITEWORK NOTES		
١.	Install and flash all windows, doors, and skylights per manufacturer's recommendations and instructions.		Smoke detectors sl
2.	See window and door schedules for sizes and types.		a. In all slee
3.	Egress windows in bedrooms shall comply with CRC section R310. Minimum net clear opening of 5.7 sq. ft., minimum clear height of 24", minimum clear width		b. On each
	of 20" maximum height from floor to opening 44".	2.	Smoke detectors s
4. 5	Shower doors shall open so as to maintain a minimum twenty-two (22) inch unobstructed opening for egress. CPC section 411.6		sound an alarm auc
5.	Glazing in locations subject to human impact such as glass doors and glazing immediately adjacent to such doors; shower doors and tub enclosures; shall be of		specifications.
6.	safety glazing materials, such as laminated or tempered glass. See door and window schedule for complete extent of tempered glazing. Per CRC R308 Fixed panels of tempered glass shower enclosures must be attached to framing clips with chrome clips, tracks or channel on at least two sides.	3.	Carbon monoxide
0. 7.	All sliding, swing doors and windows opening to the exterior or to unconditioned areas shall be fully weather stripped, gasketed or otherwise treated to limit		a. Outside
1.	air infiltration.		b. On every
8.	Landings or finished floors at the required egress door shall not be more than 1 1/2" lower than the top of the threshold. CRC 311.3.1.	4.	Plans for fire sprink
			Marin fire departme esign and installation
	CARPENTRY NOTES	5.	Placement of a dry
	CARFENIRI NOTES	5.	Welch) to determine
1.	Exterior trim to be kiln dried hardwood. Countersink all fasteners.		
2.	Interior trim to be poplar.		
3.	Floor registers at wood floors to be wood, set flush with floor, finished to match wood floors.		
4.	Provide fire blocking per CRC 302.11. Fire blocking shall be provided to cut off all concealed draft openings (both vertical and horizontal) and to form an effective barrier between floors, between a top story and a roof or attic space, and shall subdivide attic spaces, concealed roof spaces and floor-ceiling	I.	Plumbing system sh

Provide continuous GSM valley flashing at all roof transitions – valley flashing to extend minimum 18" on either side of valley, typical. All flashing, counter flashing and coping when of metal shall be of not less than no. 26 U.S. gauge corrosion-resistant metal and conform to ASTM a 525. Flash and counter flash at all roof to wall conditions. G.I. flash and caulk wood beams and out lookers projected through exterior walls or roof surfaces. Flash all exterior door and window openings with approved method and materials that conforms to standards of local and applicable codes. Gutters / downspouts / metal flashing / roof and deck drains / scuppers: install all sheet metal in accordance with SMACNA sheet metal manual. All metal flashing, gutter, and downspout joints shall be lapped, joined, and sealed so that they are watertight and provide positive water flow. Roof gutters will be provided with the means to prevent the accumulation of leaves and debris in the gutter. Insulate all exterior walls (R-19); roof, ceilings/attics (R-30) and floor joists over crawl spaces (R-19) typical. Insulate to comply with Title 24 Report. 10. Provide acoustical BATT insulation at all interior walls and ceilings including around bathrooms, shower stalls, and floor joist between floors, typical. 11. All openings in the building envelope such as frame, framing and panel joints, shall be caulked and otherwise sealed to limit infiltration. 12. Water-resistant gypsum board shall be 5/8-inch if attached to ceiling framing at 16" o.c. May be 1/2 -inch board if attached to ceiling framing at 12" o.c. CRC R 702.3.8.

effective barrier between floors, between a top story and a roof or attic space, and shall subdivide attic spaces, concealed roof spaces and floor-ceiling

**THERMAL AND MOISTURE PROTECTION NOTES** 

b. In openings around vents, pipes, ducts, chimneys, fireplaces, and similar openings that afford a passage for fire at ceiling and floor levels, with

a. In concealed spaces of stud walls and partitions including furred spaces, at the ceiling and floor levels and at 10-foot-intervals both vertical and horizontal.

### **DOOR AND WINDOW NOTES**

Install and flash all windows, doors, and skylights per manufacturer's recommendations and instructions.

See window and door schedules for sizes and types. Egress windows in bedrooms shall comply with CRC section R310. Minimum net clear opening of 5.7 sq. ft., minimum clear height of 24", minimum clear width

of 20" maximum height from floor to opening 44".

assemblies. Fire blocking shall be provided in the following locations:

Roofing to be non-combustible, class "A" per UBC & CRC.

c. At openings between attic spaces and chimney chases for factory-built chimneys.

Shower doors shall open so as to maintain a minimum twenty-two (22) inch unobstructed opening for egress. CPC section 411.6

Glazing in locations subject to human impact such as glass doors and glazing immediately adjacent to such doors; shower doors and tub enclosures; shall be of safety glazing materials, such as laminated or tempered glass. See door and window schedule for complete extent of tempered glazing. Per CRC R308 Fixed panels of tempered glass shower enclosures must be attached to framing clips with chrome clips, tracks or channel on at least two sides. All sliding, swing doors and windows opening to the exterior or to unconditioned areas shall be fully weather stripped, gasketed or otherwise treated to limit

Landings or finished floors at the required egress door shall not be more than 1 1/2" lower than the top of the threshold. CRC 311.3.1.

### WILDLAND-URBAN INTERFACE NOTES

Exterior windows, window walls, glazed doors, and glazed openings in exterior doors shall be insulating glass units with a minimum of one tempered pane, or glass block units, or have a fire-resistance rating of not less than 20 minutes.

### **FINISH NOTES**

Provide 5/8" gypsum board at all walls and ceilings unless noted otherwise. All gypsum wallboard shall be installed in accordance with the provisions of the CBC, applicable edition, state and local codes.

Provide moisture resistant gypsum board at walls adjacent to plumbing fixtures. Side walls, ceilings, and soffits of closet and any other usable space beneath interior stairs shall be protected with one layer type "x" gypsum board taped and

finished. Gypsum wallboard shall not be installed until weather protection for the installation is provided.

All edges and ends of gypsum wallboard shall occur on the framing members, except those edges and ends that are perpendicular to the framing members. All edges and ends of gypsum wallboard shall be in moderate contact except in concealed spaces where fire-resistive construction or diaphragm action is not required.

Cement-fiber or glass mat gypsum backer board shall be used as a base for wall tile in tub and shower area and wall and ceiling panels in shower areas. Shower area walls shall be finished with a non-absorbent surface to a height not less than 6 feet above the floor. (Per CRC R307) Tub and shower enclosure: stone or glazed wall tile extending to ceiling, typical. Think set wall tile on cement backer board. Provide thickset floor tile over

40 mil. shower pan membrane. (Owner to select tile)

Ceramic and stone floor tiles to be thickset mortar bed (owner to select tile).

Exterior paint: two (2) coats vinyl acrylic paint over primer sealer recommended for painted surfaces. Brush-apply all paint. Assume two (2) paint colors, including trim color.

Interior paint: Low V.O.C., two (2) coats paint over primer sealer recommended for each surface. Assume four (4) paint colors, including trim color.

All interior wood / formaldehyde-free M.D.F. boards and trim to have final coat of paint applied with brush (verify with architect). Stucco finish shall be smooth and include three (3) coats of stucco over metal or wire fabric lath over two (2) layers of grade "D" paper.

Flooring material to be selected by owner.

14. All exterior wood trim, molding, and boards shall be back-primed.

Any areas where exterior or interior finishes are removed are subject to inspection by Building Division prior to new finishes being applied or replaced. 16. Finish specifications to comply with Green Building requirements.

### **MECHANICAL NOTES**

Mechanical systems are design/build by the subcontractor and his/her mechanical engineer. Contractor shall provide shop drawings to architect and owner prior to installation for review and approval. Contractor to be responsible for obtaining approval for scope of work from local building officials.

Verify all equipment sizes before beginning work. Install all equipment and materials per manufacturer's instructions and recommendations.

Mechanical equipment shall be fixed in position and securely fastened in place per CMC 304.4. 3"x3"x1/4" stl. angle welded to furnace frame and lagged down to framing with 5/8" diameter lag bolts on four sides, typical.

Verify gas, electrical, water stub-outs at all air handlers, furnaces, air conditioners and all appliances of similar equipment with manufacturer's recommendations and owner's requirements.

Center all registers horizontally under openings or in wall panels where they occur, U.O.N.

Install all thermostats at 64" AFF from centerline of plate to finish floor. All thermostats to be bright white finish, field verify locations with owner. Any appliances in a garage or compartment accessed from garage which generate a spark, glow, or flame shall be elevated a minimum of 18" above the floor

to point of ignition unless listed as Flammable vapor ignition resistant. (Per CMC 308.1 and CMC 508.14) Provide clothes dryer vent to outside with a maximum length of 14 feet equipped with a backdraft damper including two 90 degree elbows and a minimum diameter of 4" (Per CMC 504.3.2.2)

Bathroom fans shall be connected directly to the outside. Fans and other exhaust systems exhausting air from conditioned space to the outside shall be provided with backdraft dampers to prevent air leakage.

10. Exterior wall vents: unless otherwise prohibited by code, vent openings in exterior walls shall resist the intrusions of flame and embers into the structure or vents shall be screened with corrosion-resistant, non-combustible wire mesh with  $\frac{1}{4}$  openings or its equivalent.

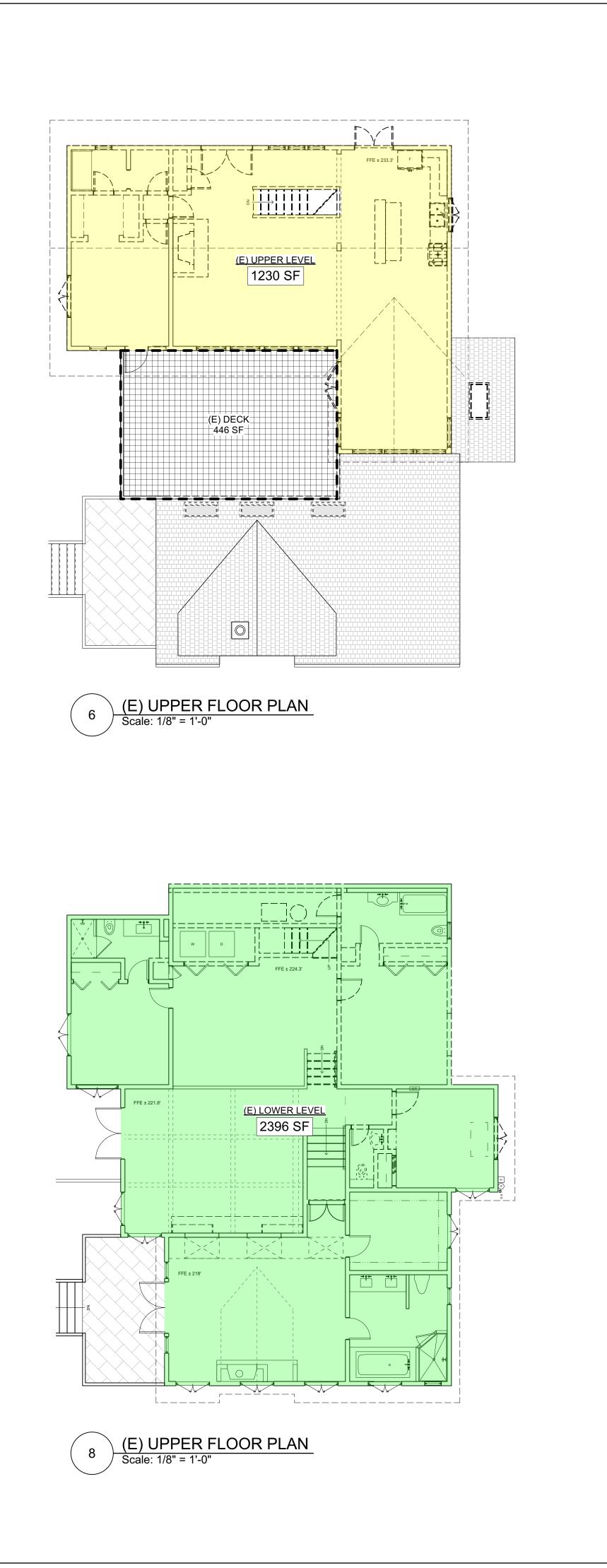
11. All mechanical installations will meet the notching and boring requirements of CRC R502.8, R802.7.1, R 602.6, & R602.6.1.

Underground plastic gas piping shall have a minimum of 18" of cover and shall have an electrically continuous corrosion-resistant tracer wire (min. 14 ga.) buried with it. One end of the tracer wire shall be brought above ground at a wall or a riser. CPC1211.1.2 & 1211.1.7(C) Duct systems are sized, designed, and equipment is selected using the following methods:

I. Establish heat loss and heat gain values according to ANSI/ACCA 2 Manual J-2016 or equivalent.

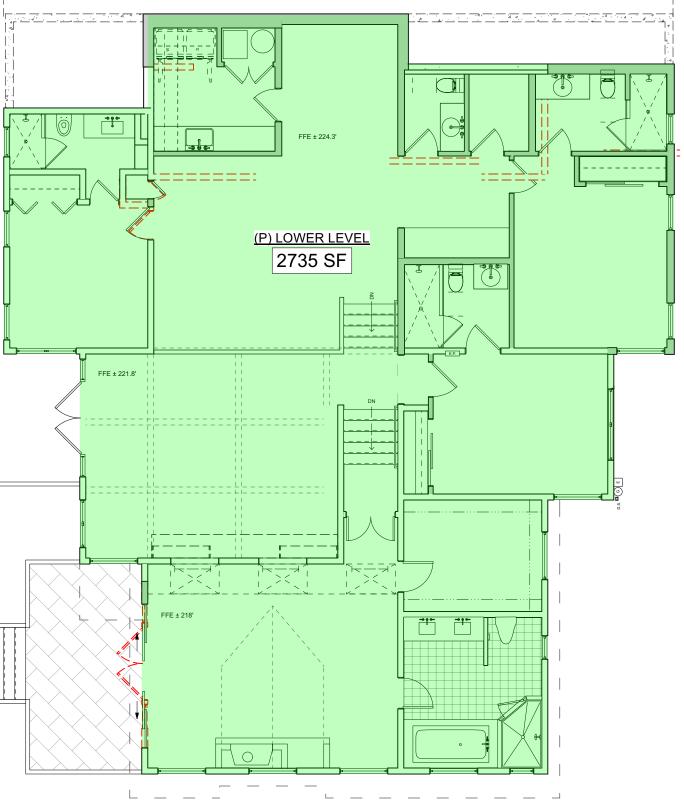
2. Size duct systems according to ANSI/ACCA | Manual D - 2016 or equivalent. 3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S-2014 or equivalent.

	SAFETY NOTES			liatel	é é others	
١.	Smoke detectors shall be located as follows:		aj	All omissions and discrepancies are to be reported to the architect immediately	These drawings are copyrighted and instruments of service of Richardson Architects. Information on these drawings is to be used exclusively for the intended project. Richardson Architects assumes no responsibility for the information contained on these drawings when used and/or modified by others	
_	a. In all sleeping rooms and at a point centrally located in the corridor or area giving access to each sleeping area. b. On each level and in the basement.		on site	chitect	of Rich usively sibility modifie	
2.	Smoke detectors shall be 110v and receive primary source of power from the building wiring with battery back-up, and shall be interconnected as to sound an alarm audible in all sleeping areas of the dwelling unity in which they are located. Smoke detectors must be installed per manufacturer's		lecked	the ar	ervice ed excl espon and/or	
3.	specifications. Carbon monoxide alarms shall be installed in the following locations: a. Outside of each dwelling unit sleeping area in the immediate vicinity of the bedroom(s).		o be ch	rted to	tts of s be use es no r used a	
4.	b. On every level of a dwelling unit including basements. Per CRC section R315 Plans for fire sprinkler system design and hydraulic calculations shall be completed by a licensed C-16 sprinkler contractor and submitted to the		sions to	e repo	trumer ls is to assum s when	
	Marin fire department for approval prior to installation. Sprinkler system design shall include a more robust 4 head calculation. Fire sprinkler system d esign and installation shall conform to the provisions of the Marin fire department and N.F.P.A standard 13D.		Dimen	ire to b	and instruction intects a awings	chitects
5.	Placement of a dry standpipe servicing the residence with locations / specifications to be determined by AHJ, please call Marin fire department (Tom Welch) to determine. Dry standpipe shall be fitted with Knox FDC covers to resist damage.	Document Disclaimer & Copyright	Do not scale these drawings. All Dimensions to be checked on site.	ncies a	ghted a hese d on Arch iese dr	Copyright 2020, Richardson Architects
	PLUMBING NOTES	er & Cc	drawing	screpa	copyrig on on t chards chards ad on th	Richard
١.	Plumbing system shall be design/build by plumbing subcontractor (including but limited to water distribution, drainage, and venting systems, and	sclaime	these (	and di	igs are formati ect. Rid ontaine	2020, F
2.	installation of plumbing fixtures and accessories). Drain systems within the building shall be hubless cast iron, including all fittings and traps. Vent systems shall be hubless cast iron. Drain and vent	ient Di	scale	ssions	drawir cts. In ed proj ation c	yright 2
3.	piping shall be isolated from the building structure. All water supply piping shall be metal.	Docum	Do not	All omi	These Archite intende	© Cop
4. 5.	Hot water distribution piping shall be insulated. Gas line schematic diagram and calculations and pipe size must be approved by the building official prior to requesting a rough plumbing inspection					<u> </u>
6.	(per CPC 1209.) Gas shut-off must be located within 6 feet of appliance and must be accessible and shall not be located behind appliance. (Per CPC 1212.3)					
7.	Newly installed fixtures shall have flow rates of 1.28 GPF for toilets with WaterSense certification, 1.8 GPM showerheads with WaterSense certification, 1.2 GPM for lavatory faucets @60 psi, and 1.8 GPM @ 60psi for kitchen faucets. Remaining fixtures from areas of the existing house					
8.	cannot have flow rates higher than 1.6 GPF for toilets, 2.5 GPM for showerheads, and 2.2 for lavatory and kitchen faucets. Site built showers – CPC 408:					
	a. The base for wall tile in tub and shower areas and wall and ceiling panels in shower areas shall be cement, fiber-cement or glass mat gypsum backers in compliance with ASTM C 1178, C 1288, C 1325. b. Showers are to be provided with a water dam a minimum of 2" above high point of shower drain to retain water to drain. CPC x408.5.					
	c. Finish floor in shower to have minimum 1/4" and 1/2" pitch to drain per foot. d. WP membrane to extend a minimum 3" above top of finish dam at back and sides CPC 408.7.					
9.	Shower control valves and showerheads shall be located so that the showerhead does not discharge directly at the entrance to the compartment and the bather can adjust the valve prior to stepping into the shower spray.					
10.	Water heaters shall be anchored or strapped to resist horizontal displacement due to earthquake motion. Strappings shall be at points within the upper one-third and lower one-third of its vertical dimensions. At the lower point, a minimum distance of four inches shall be maintained above the	Z				
11.	controls with the strapping. (Per CPC 510.5) Install a watertight pan of corrosion-resistant materials beneath all water heaters with a minimum ¾" drain, separate from relief valve drain to an	PTIO				
12.	approved location. Plumbing fixtures shall be in compliance with the most restrictive flow rate of; CGBSC table 4.303.1, CPC 402, or Green Point Rating.	SCRIPTION				
3.  4.	All sinks to have cleanouts and all faucets shall have air chambers. Install all hot water pipes with $\frac{1}{2}$ pipe insulation. The maximum hot water temperature discharging from the bathtub filler shall be limited to 120 degrees F (Per CPC 414.5)	DE				
5.  6.	Hand shower(s) shall be equipped with an approved backflow prevention device or assembly. Per CPC 602 and 603. All toilets to have 15" minimum clearance from the centerline of fixture to each side. Provide 24" minimum clearance from the front edge of fixture. Per CPC 407.5.	DATE				
7.  8.	If any tub in this project is a spa tub, access to motor and all serviceable parts will be shown and bonding will be detailed. (Per CPC 414) No domestic dishwashing machine shall be directed connected to a drainage system or food waste disposer without the use of an approved	DA				
19.	dishwasher air gap fitting on the discharge side of the dishwashing machine. (Per CPC 807.4) See plan for location of hose bibs (verify with owner and architect). Provide a listed non-removable backflow preventer or atmospheric vacuum	NO.				
20.	breaker installed at least 6" above the highest point of usage shall protect those bibs. CPC 603.4.6 and 603.4.7. Install approved type of cleanout fitting between the building drain and the building sewer. (Per CPC 707.4)		7		V	
21.	Prior to close in, the contractor shall perform air pressure and water pressure tests to ensure there are no leaks in plumbing and drainage systems. The owner shall be i nformed when such testing will occur so (s)he can plan to visit the site.	6	5			
22. 23.	Confirm that all plumbing fixtures will be able to drain to the public sewer by gravity. Control valves and showerheads shall be located so that the showerhead does not discharge directly at the entrance to the compartment and the		ろ		CECT.	
24.	bather can adjust the valves prior to stepping into the shower spray. CPC 408.9. Metering faucets in residential buildings shall not deliver more than 0.2 gallons per cycle.		ハ		RP-ARCHITECTS COM	
	ELECTRICAL NOTES	∣  L	Ľ	U,		
۱. ۲	Electrical system shall be design/build by electrical subcontractor. Electrical subcontractors shall submit schematic single-line diagram of panels, subpanels and other information as required by the building department.	<	I	$\mathcal{O}_{i}$		200
2. 3.	Contractor to determine optimum location of all electrical sub panels in coordination with architect and owner. Ground fault circuit interrupter (GFCI): GFCI protected receptacles or GFCI branch circuits shall be provided for all receptacles within 6 feet of any water source: at all bathrooms, in the garage, exterior spaces, equipment room, in the crawlspace, and at all non-dedicated outlets at kitchen and laundry room.				л ие, И ие,	
	(Per CEC 210-8 (A.). Provide GFCI receptacle outlets within 2 feet from edge of kitchen sink, appliances and edge of countertops as well as no more than 48 inches on center CEC 210.52. Receptacles in kitchens shall be placed no more than 20 inches above the counter top nor more than 12 inches below it.	(	)	M		
4.	Arc fault circuit interrupter (AFCI): All branch circuits that supply 120-volt, single phase, 15- and 20-ampere outlets installed in dwelling unit (except laundry room, and dedicated equipment) shall be protected by an arc-fault circuit interrupter listed to provide protection of the entire branch circuit. (					VAL
5.	CEC 210.12 B). Metal water piping and other interior metal piping shall be bonded to service equipment. The points of attachment to the bonding jumper shall be accessible.	╎╵┠		Ц С	<b>R</b> 447 M	
6. 7.	Provide at least one 20 amp circuit without other outlets on the circuit, for bathroom receptacles. CEC 210.11 (C)(3). Outlet spacing shall not exceed 12'-0' OC per CEC.All outlet plates to be bright white UON. Receptacles shall be placed such that no point along the f				_ <	
	loor line in any wall space is more than 6 feet and at all 2 foot lengths of wall. (CEC 210-52(A). Install outlets horizontal in baseboards. Center outlets on wall UON for bathrooms/kitchen, see interior elevations.					
8.	Provide at least two separate 20 amp circuits for small appliances in kitchen, dining, and similar areas with no other outlets on the circuit per CEC 210.11(C) and 210.52(B).					
9. 10.	Provide separate 120-volt circuit to laundry. CEC 210.11(C)(2) and provide 30 amp branch circuits to the laundry room per CEC 220.54. A permanent GFI protected electrical outlet and a lighting fixture controlled by a switch located at the passageway opening shall be provided near the					
.  2.	water heater per CMC909.5. Install UFER ground in new foundation per CEC 250.52 (A)(3) All exterior and garage outlets to have waterproof plate covers.					
3.  4.	Electrical contractor to coordinate audio/visual and computer network design with owner.			5		
15. 16.	All 15 and 20 amp receptacles installed in a wet location shall have an enclosure that is weatherproof whether or not an attachment plug cap is inserted.		ш	4941		
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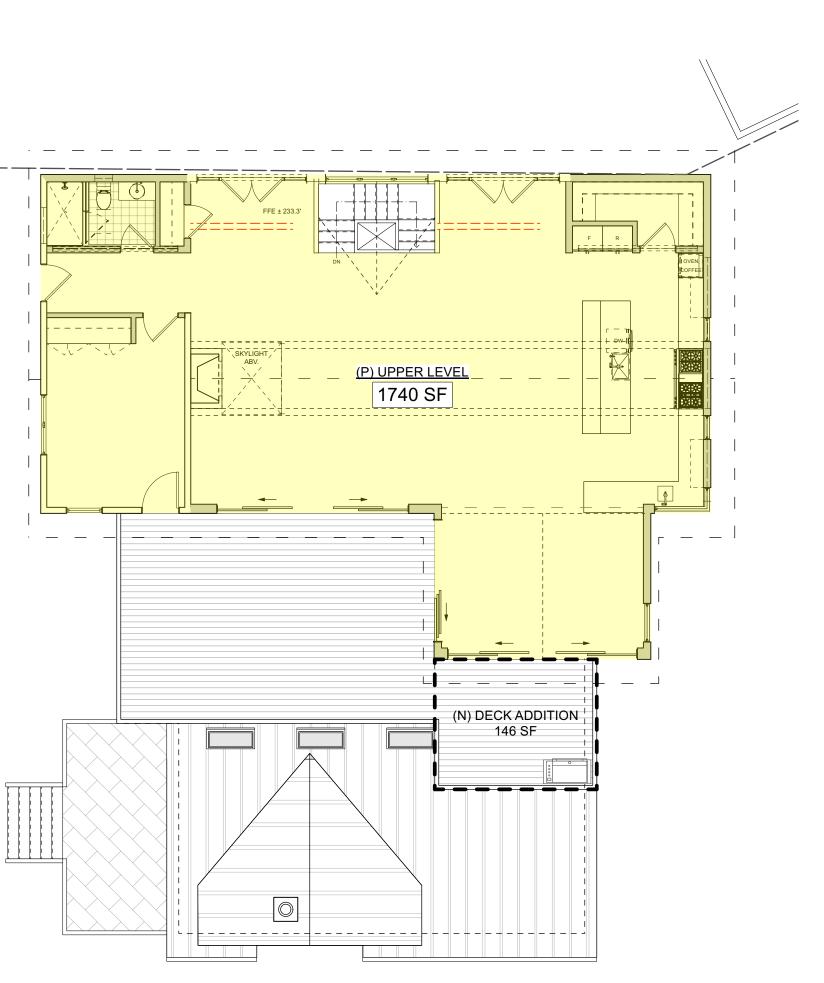


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## 7 (P) UPPER FLOOR PLAN Scale: 1/8" = 1'-0"



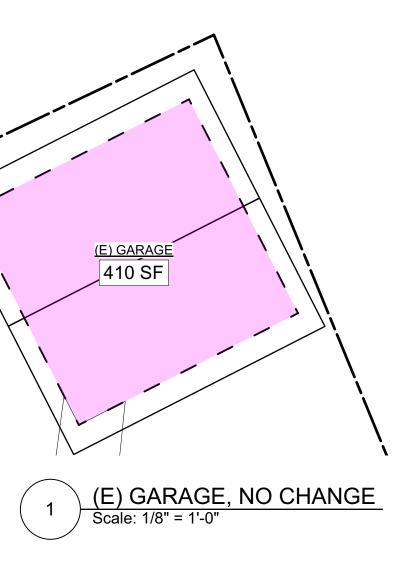
## 5 (P) UPPER FLOOR PLAN Scale: 1/8" = 1'-0"

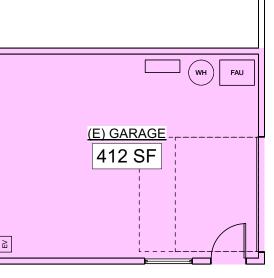


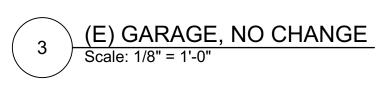
AREA CALCULATIO	DNS		
EXISTING LOT	22,805.1 sf		
MAX FAR (30%)	6,841.53 sf		
LOT COVERAGE	ALLOWED	EXISTING	PROPOSED
		6,879 sf	7,342 s
FLOOR AREA	EXISTING	ADDED	PROPOSED
	EXISTING 1,230 st		
UPPER LEVEL		f 510 sf	1,740 s
UPPER LEVEL LOWER LEVEL	1,230 st	f 510 sf 339 sf	1,740 s 2,735 s
FLOOR AREA UPPER LEVEL LOWER LEVEL GARAGE	1,230 st 2,396	f 510 sf 339 sf NO CHANGE	- 1,740 s - 2,735 s - 822

MARIN COUNTY CODE: 22.10.040 – Residential District Development Standards

22.14.050 - Minimum Lot Size "-B" Combining District Standards.







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					MILL VALLEY   415-380-0474   RP-ARCHITECTS.COM
		941			
FLOUM/O'DONNELL	<b>323 SEYMOUR LANE</b>	MILL VALLEY, CA 94941	APN # 047-125-19		FAK
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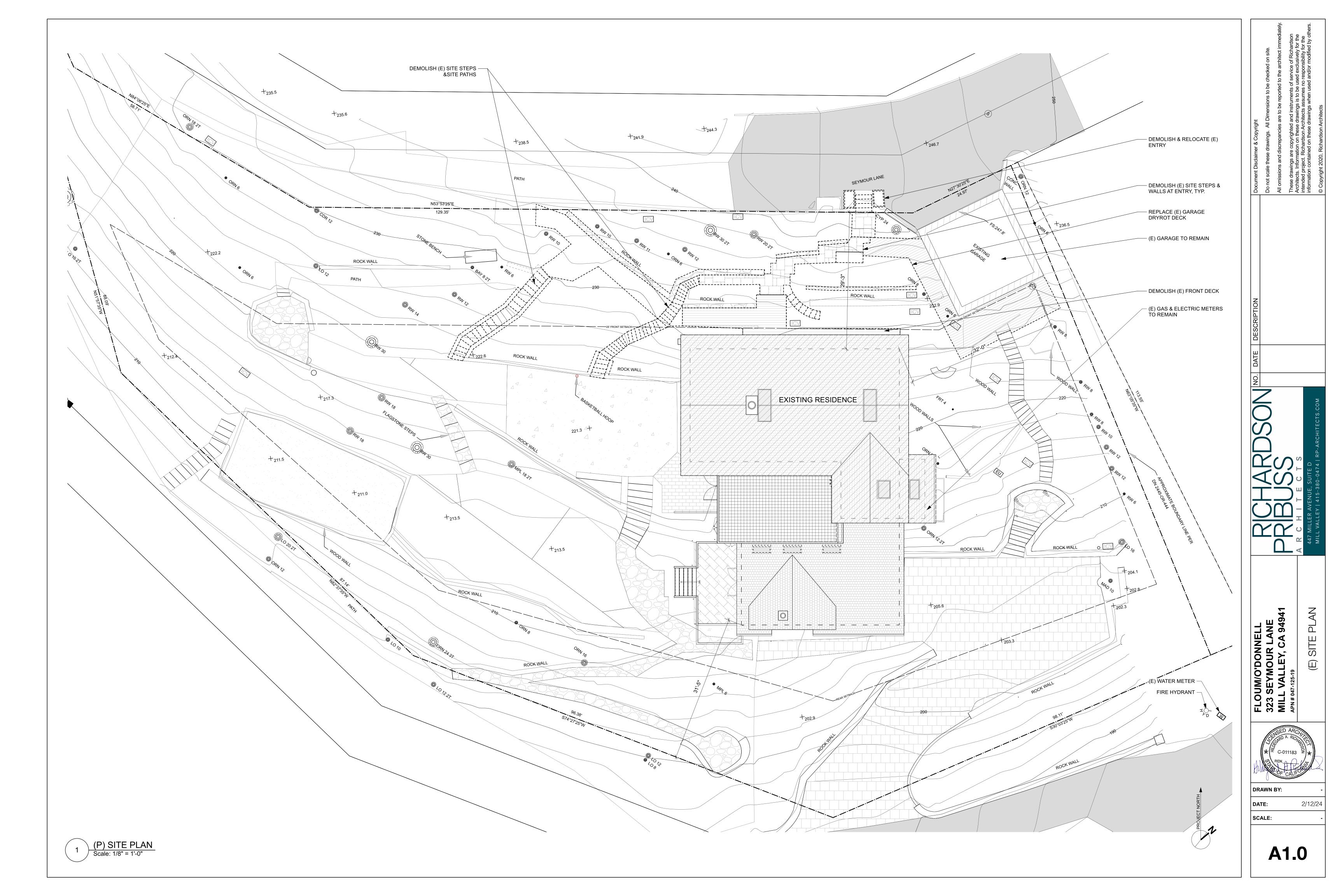


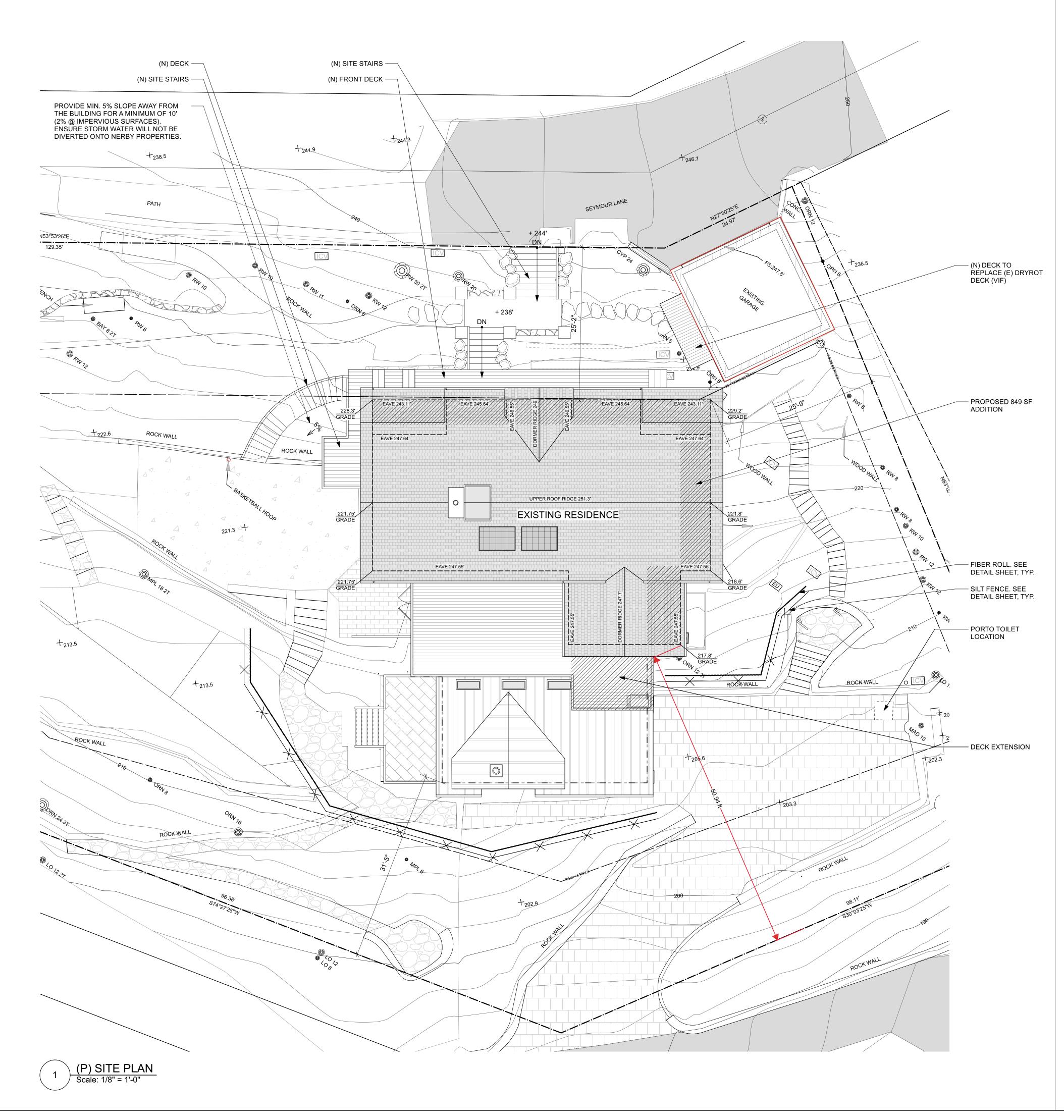












## **CONSTRUCTION MANAGEMENT NOTES**

CONSTRUCTION HOURS 7:00 AM TO 6:00 PM MONDAY THROUGH FRIDAY & 9:00 AM TO 5:00 PM SATURDAY PER ORDINANCE MARIN COUNTY ORDINANCE. POWER TOOLS AND EQUIPMENT IS LIMITED FROM 8:00 AM TO 5:00 PM MONDAY THROUGH FRIDAY. CONSTRUCTION WORK IS PROHIBITED ON SUNDAYS AND HOLIDAYS.

JOB SITE/FACILITIES & STORAGE JOBSITE DUMPSTERS WILL BE LOCATED OFF STREET PROJECT ON PROPERTY. PORTI-POTTY WILL BE LOCATED WITHIN PROPERTY LINES AND SCREENED FROM THE ROAD. TOOLS, JOB BOXES, SAWS, COMPRESSORS, ETC. WILL BE STORED AND OPERATED WITHIN THE BUILDING WHENEVER POSSIBLE TO MINIMIZE NEIGHBORHOOD INCONVENIENCE. AT THIS TIME THERE IS NO ANTICIPATION NEEDING STORAGE ON PUBLIC RIGHT of Way.

DELIVERIES/OFF HAUL ALL DELIVERIES WILL BE MADE NOT BEFORE 8:00 AM NOR AFTER 5:00 PM. ALL DRIVERS SHALL BE ADVISED OF THE DESIGNATED TRUCK ROUTE, INCLUDING APPROVED TURN AROUND LOCATIONS, PRIOR TO ANY DELIEVERIES OR MATERIAL REMOVAL. MATERIALS WILL BE MOVED AND STOCKPILED WITHIN PROPERTY LINES OR BEHIND BUILDING WITHIN 30 MINUTES OF DELIVERY. DELIVERES ARE LIMITED TO NON-HOLIDAYS AND WEEKDAYS FROM 10:00 AM TO 2:00 PM FOR TRUCKS EXCEEDING 26 FEET IN LENGTH. A TRANSPORATION PERMIT MUST BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS A MINIMUM OF 72 HOURS IN ADVANCE.

**ENCRAOCHMENT NOTES:** AN ENCROACHMENT PERMIT WILL BE REQUIRED IF ANY WORK OCCUPIES THE PUBLIC RIGHT OF WAY INCLUDING DEMOTION, PARKING, LOADING, DEBRIS BIN, EQUIPMENT OPERATION, ETC.

SEDIMENT CONTROL: STAKED IN SILT FENCE WITH STRAW WAFFLES AT BASE OF INTERIOR SIDE TO BE INSTALED PRIOR TO START OF CONSTRUCTION AND MAINTAINED DURING THE BUILD. FENCE AND WAFFLES TO BE LOCATED DOWNHILL OF ALL CONSTRUCTION ACTIVITY.

ROAD/LANE CLOSURES NONE ARE ANTICIPATED AT THIS TIME. CONCRETE PUMPERS WILL BE ABLE TO PARK IN DRIVEWAY AND REDI-MIX TRUCKS WILL BE AT THE CURB LINE, STILL ALLOWING TRAFFIC PASSAGE. PERMITS MUST BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS. ROAD CLOSURES REQUIRE POSTING SIGNS A MINIMUM OF 48 HOURS IN ADVANCE. COPIES OF THESE PERMITS MUST BE MAINTAINED AT THE JOB SITE FOR THE DURATION OF THE CLOSURE.

### PARKING

PROJECT VEHICLES SHALL PARK ON THE PROJECT SITE AND CARPOOL FROM AN ACCEPTABLE PUBLIC LOT SUCH AS THE MANZANITA P ARK AND RIDE. ANY PROJECT-RELATED WORKERS, CONTRACTORS, OR SUBCONTRACTORS UNABLE TO PARK ON-SITE WILL CARPOOL IN AN ACCEPTABLE VEHICLE OR SHUTTLE TO THE SITE, PARKING OF PROJECT VEHICLES IN THE PUBLIC RIGHT OF WAY SHALL BE BY APPROVAL OF THE DEPARTMENT OF PUBLIC WORKS ONLY. APPROVAL WILL BE GIVEN ONLY IF THE PROJECT DEMONSTRATES THAT NO ON-SITE PARKING IS FEASIBLE. CONTACT THE MILL VALLEY POLICE DEPARTMENT UP TO 3 PLACARDS ALLOWING

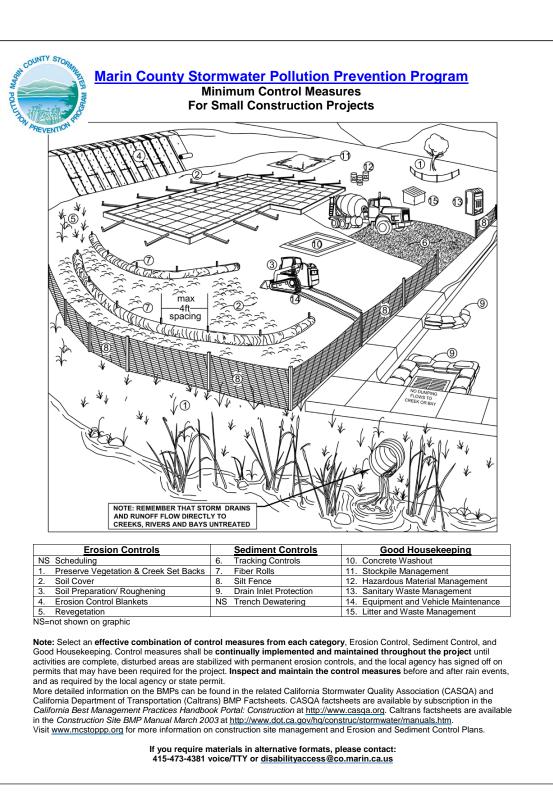
PARKING IN THE RIGHT OF WAY. REFERENCE BLITHEDALE HIGHLANDS HOA PARKING REQUIREMENTS FOR THIS PROJECT BELOW.

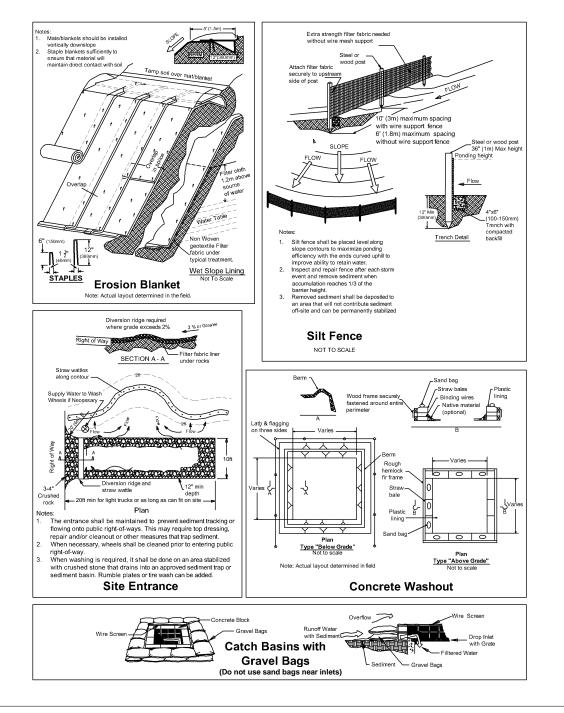
ENFORCEMENT FIRST OFFENCE VIOLATIONS OF ANY PORTION OF THE APPROVED CMP OR OTHER APPLICABLE CONSTRUCTION MANAGEMENT REQUIREMENTS WILL BE ADDRESSED BY A WRITTEN WARNING FROM THE CITY. ANY FURTHER OR SUBSEQUENT VIOLATIONS WILL BE ADDRESSED BY A 'STOP WORK

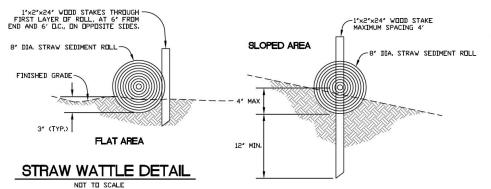
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CONTRACTOR: T.B.D.

EROSION CONTROL AND SEDIMENT MINIMIZE SOIL DISTURBANCE AND EROSION BY EVALUATING NATURAL DRAINAGE PATTERNS AND IMPLPEMENTING EROSION CONTROLS DURING CONSTRUCTION AND AFTER OCCUPANCY. DISPLACED TOPSOIL SHALL BE STOCKPILED FOR REUSE IN A DESIGNATED AREA AND COVERED OR PROTECTED FROM EROSION.

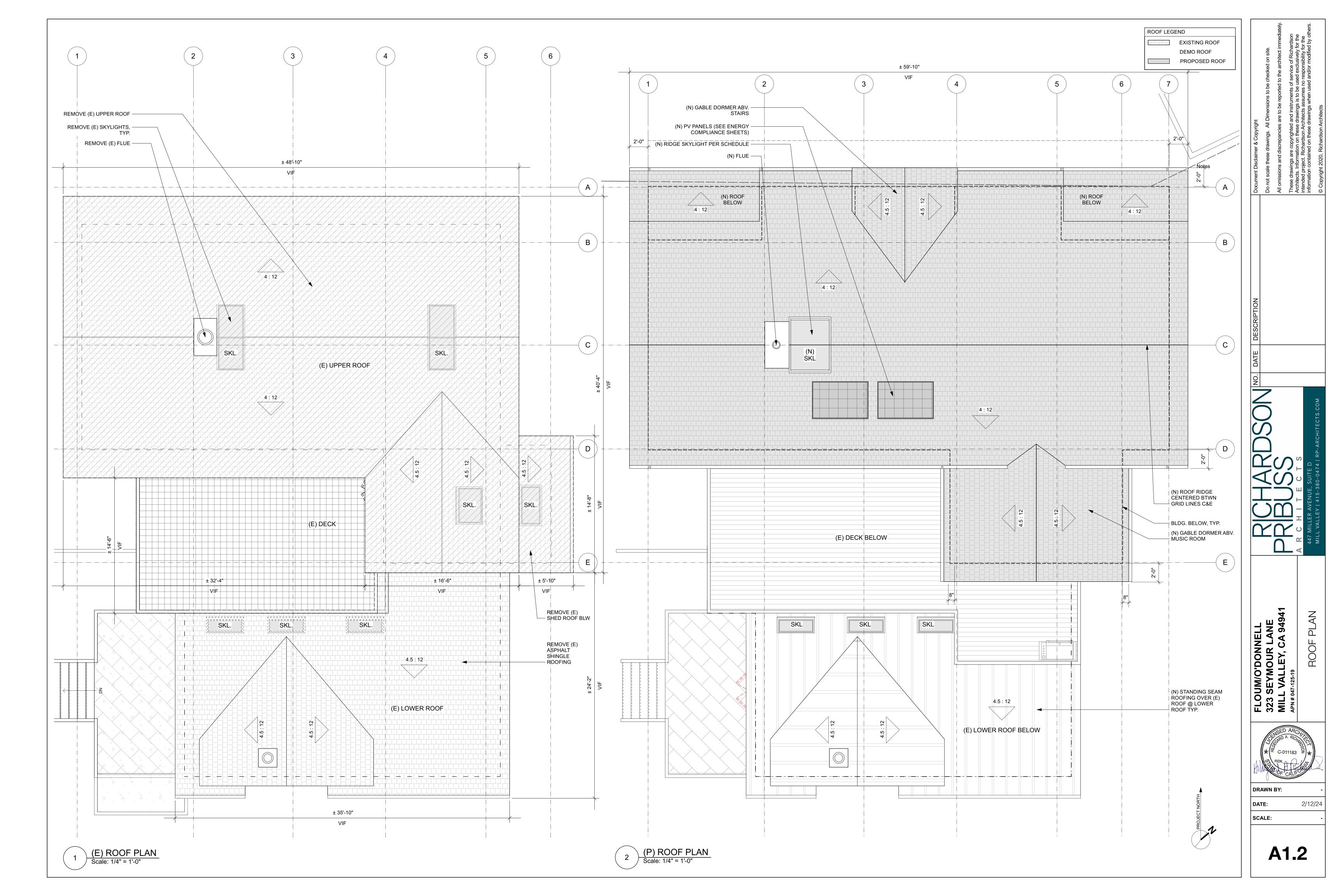


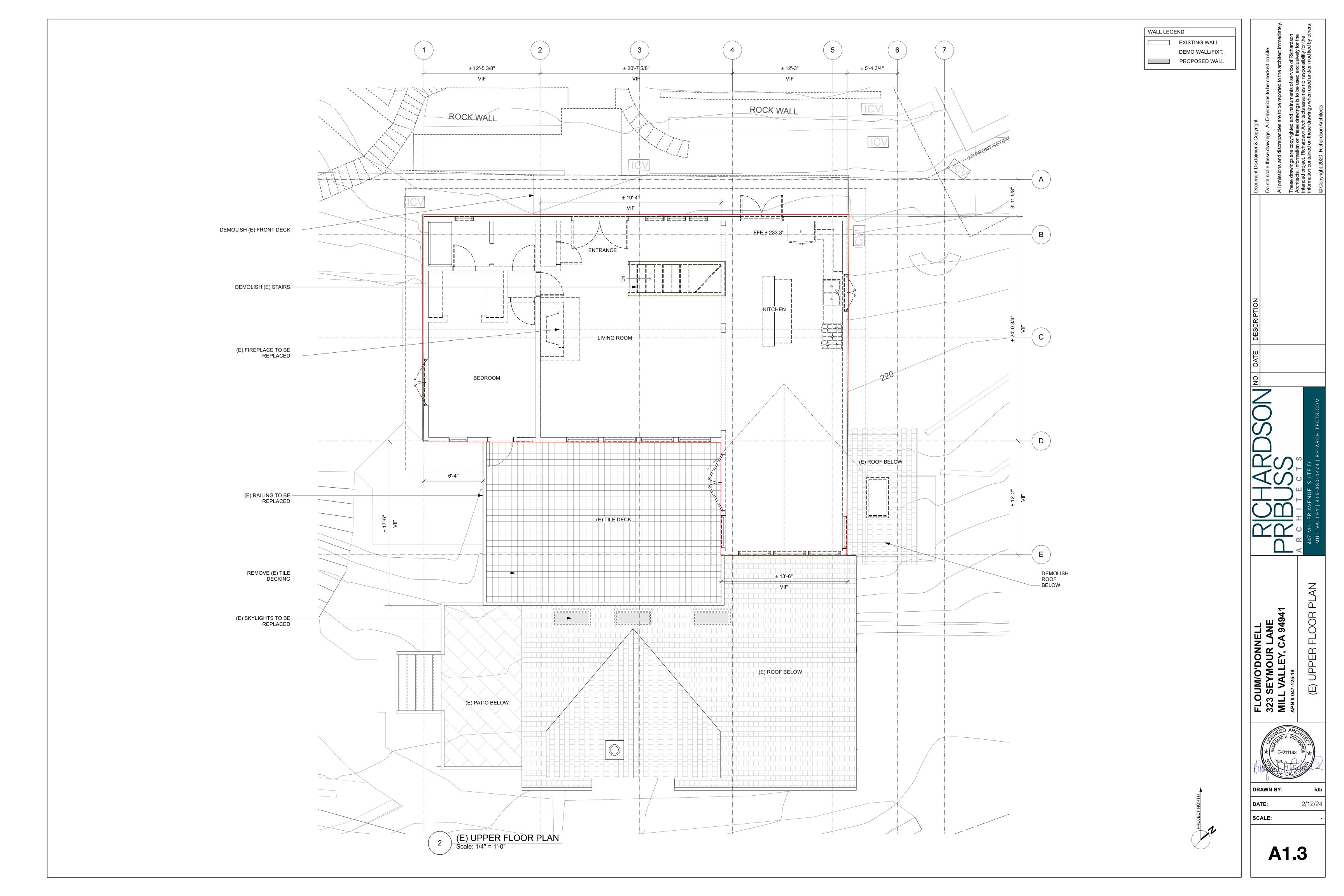


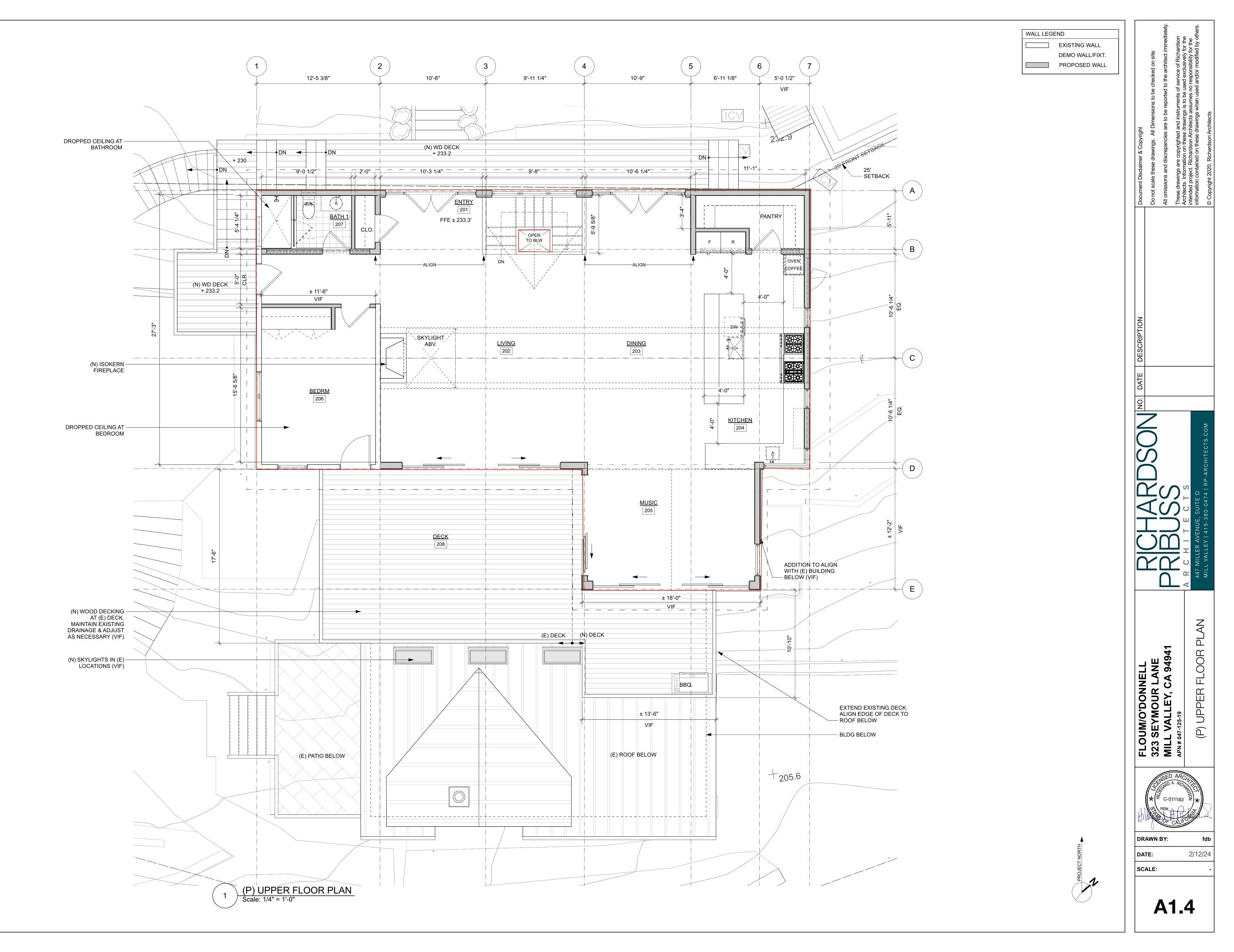


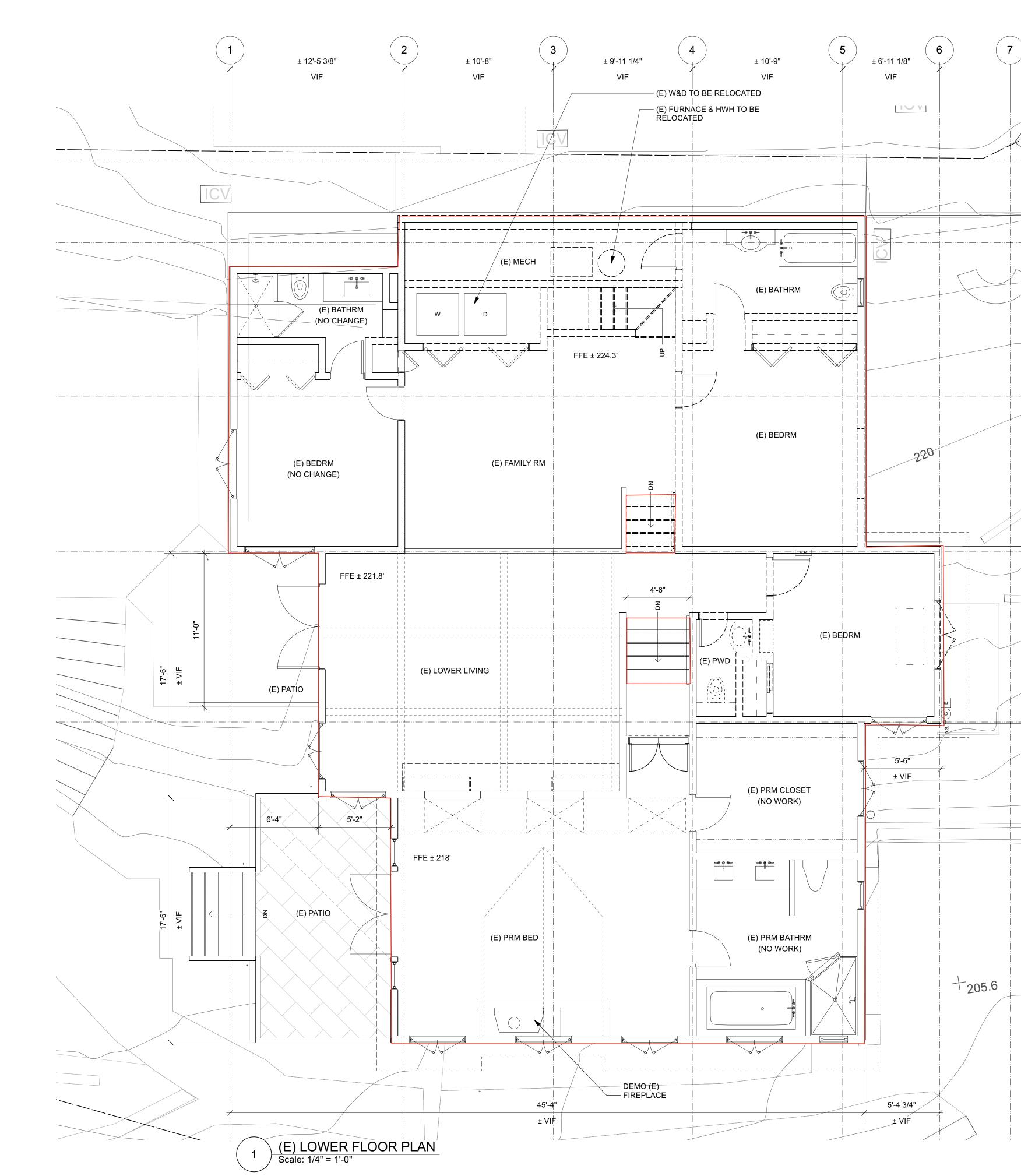


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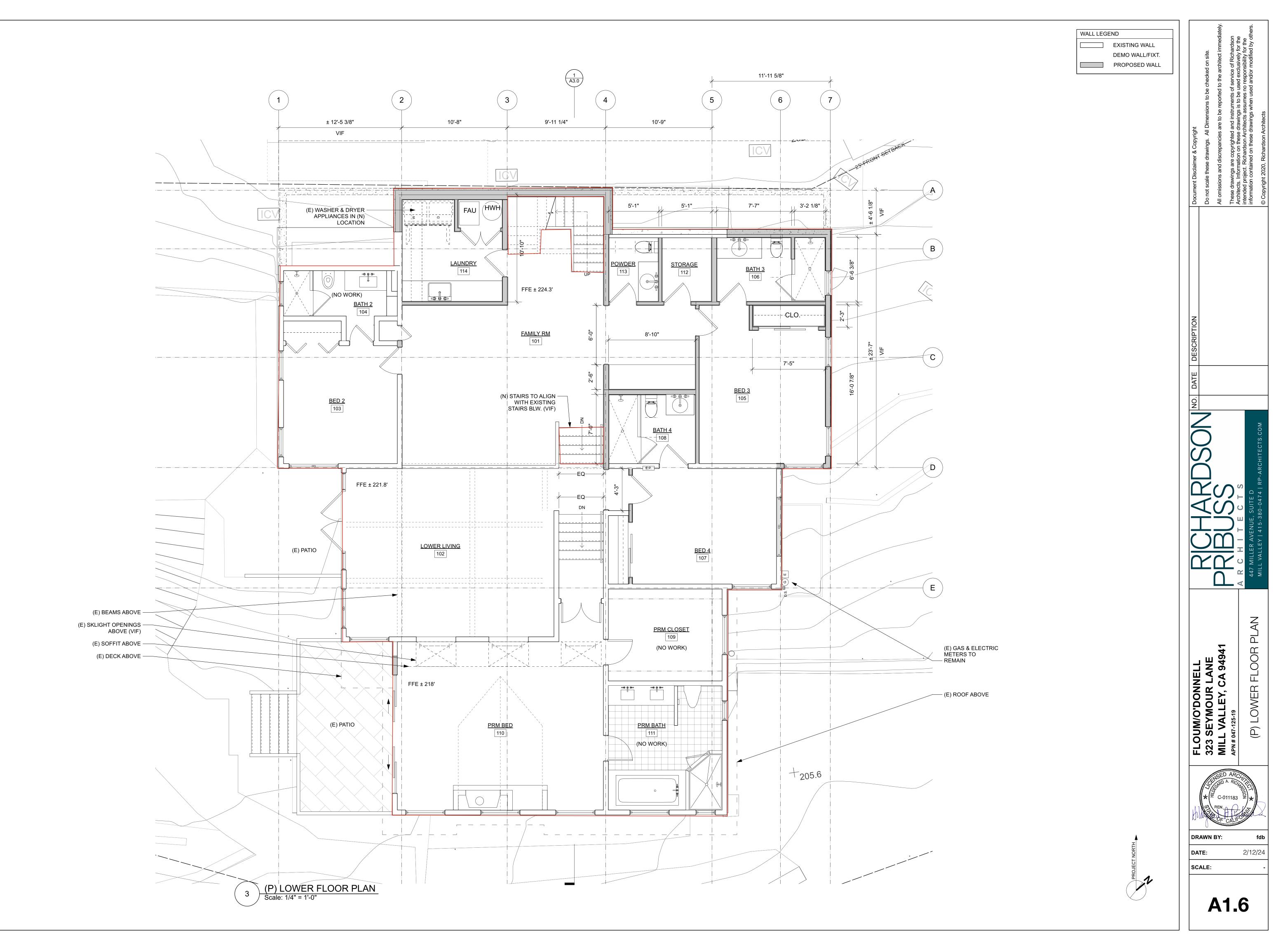


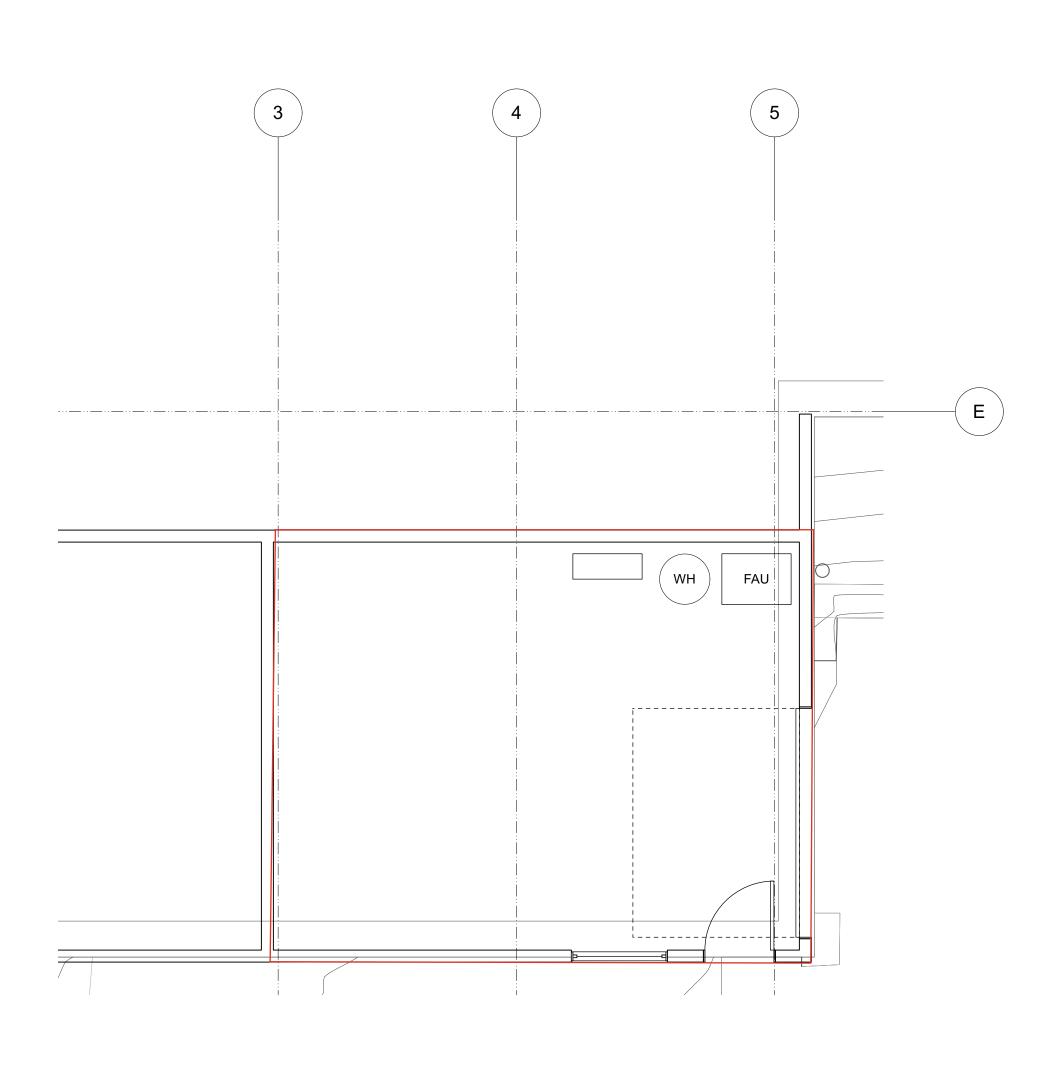




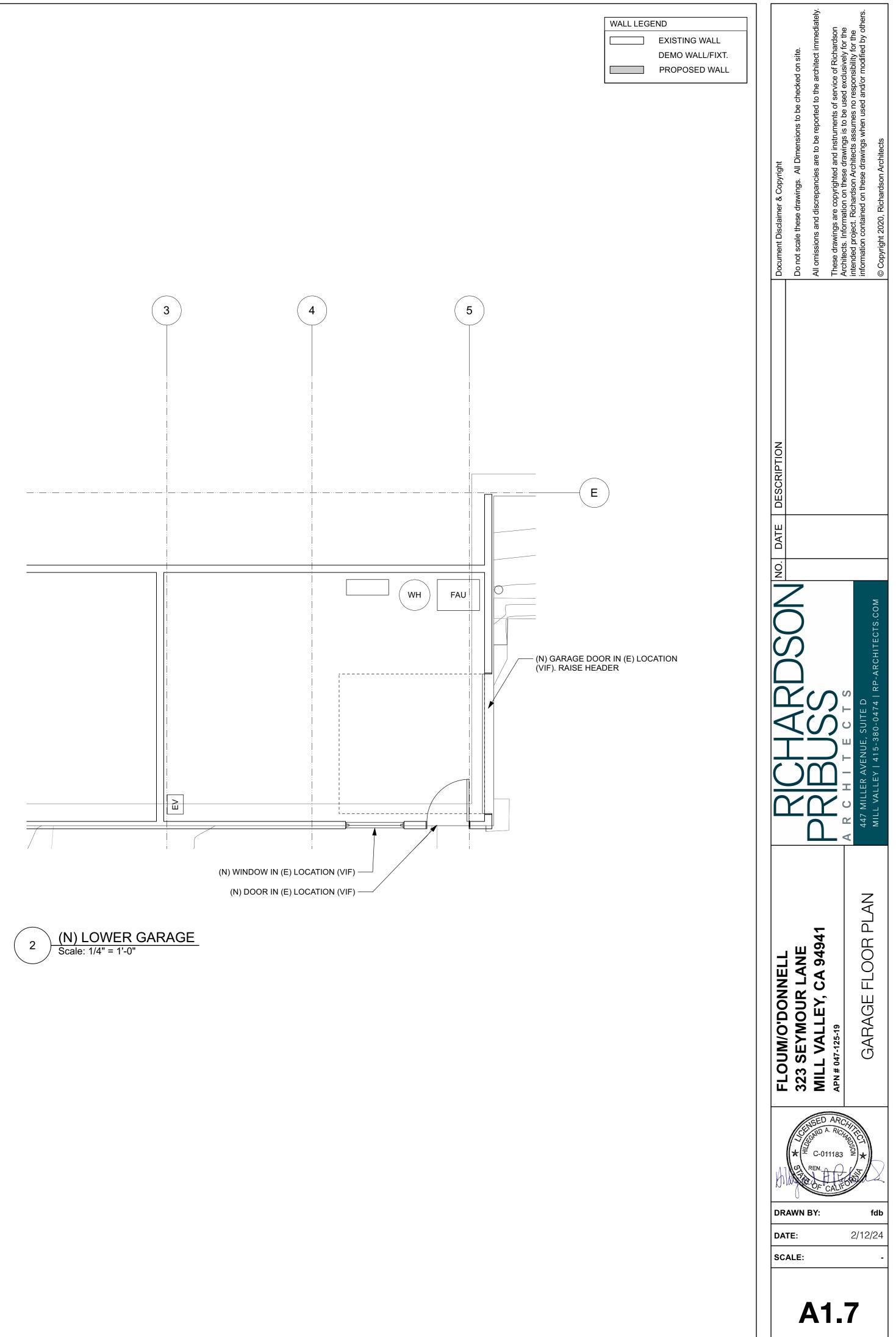


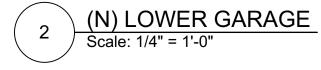
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		Document Disclaimer & Copyright Do not scale these drawings. All Dimensions to be checked on site. All omissions and discrepancies are to be reported to the architect immedi These drawings are copyrighted and instruments of service of Richardson Architects. Information on these drawings is to be used exclusively for the intended project. Richardson Architects assumes no responsibility for the information contained on these drawings when used and/or modified by ot © Copyright 2020, Richardson Architects
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		DRAWN BY: fdb
	PROJECT NORTH	DATE: 2/12/24 SCALE: -

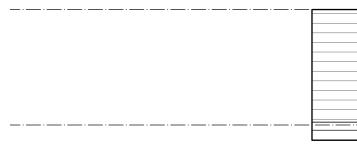


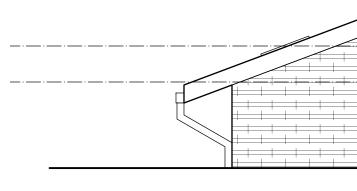




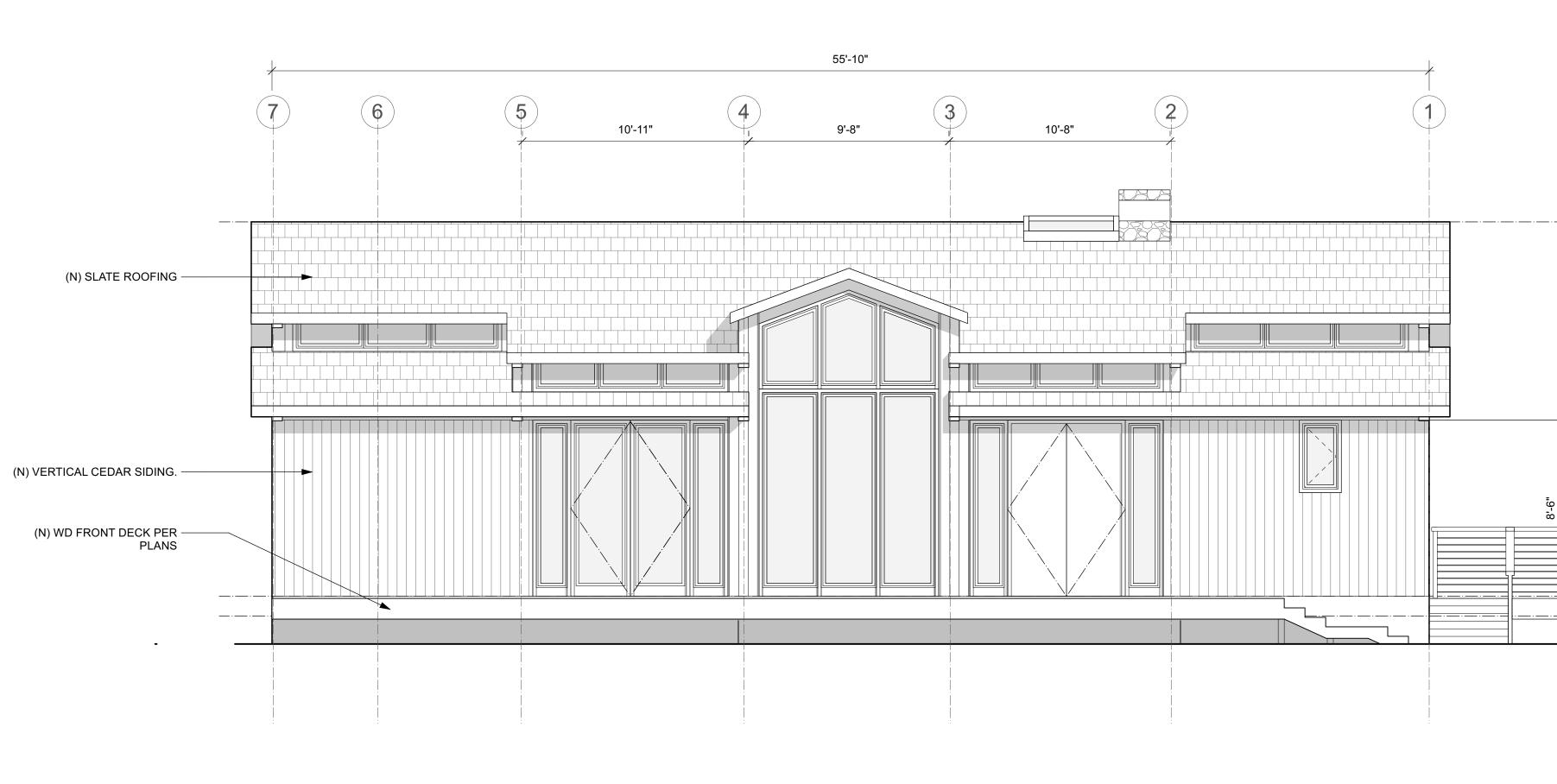












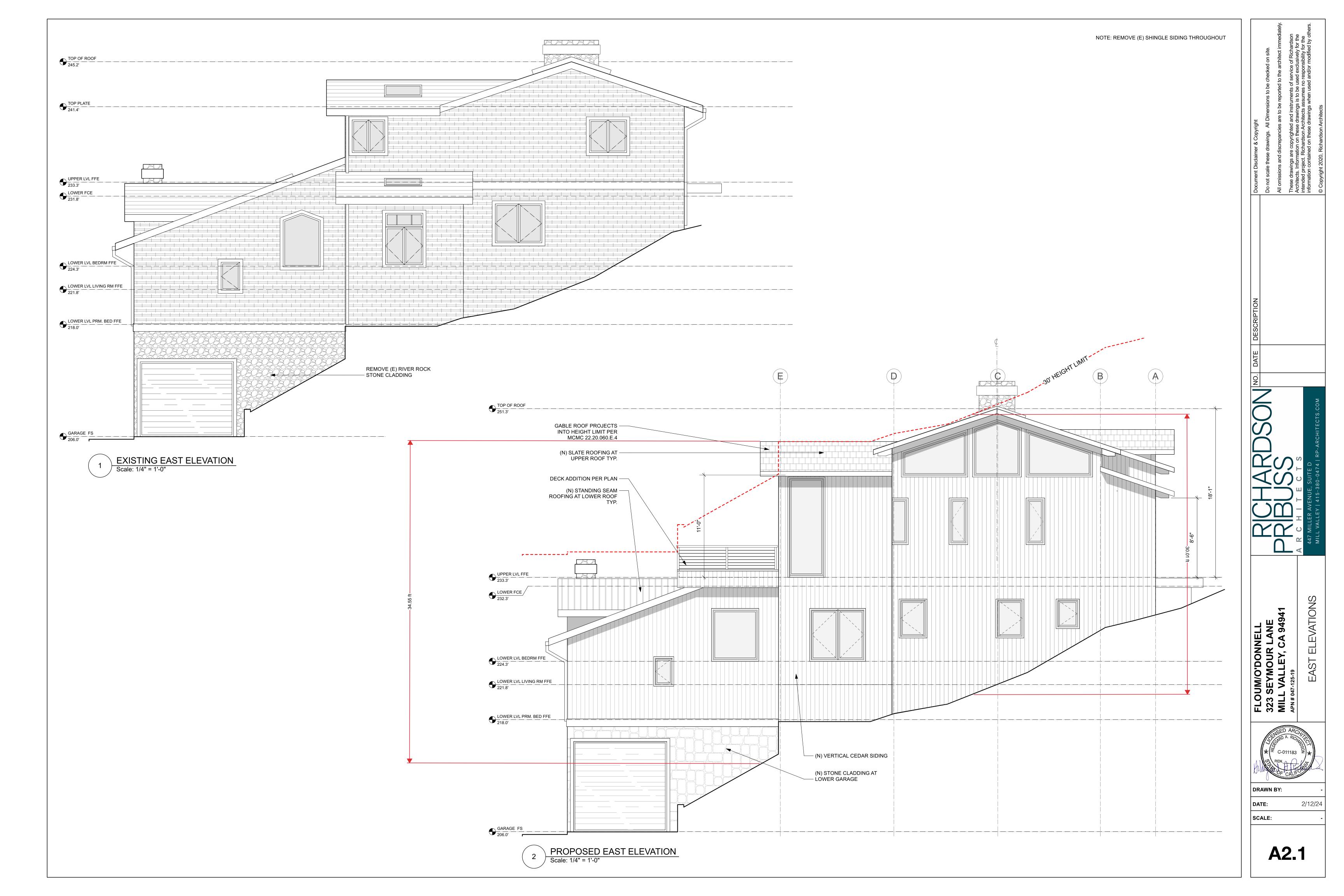


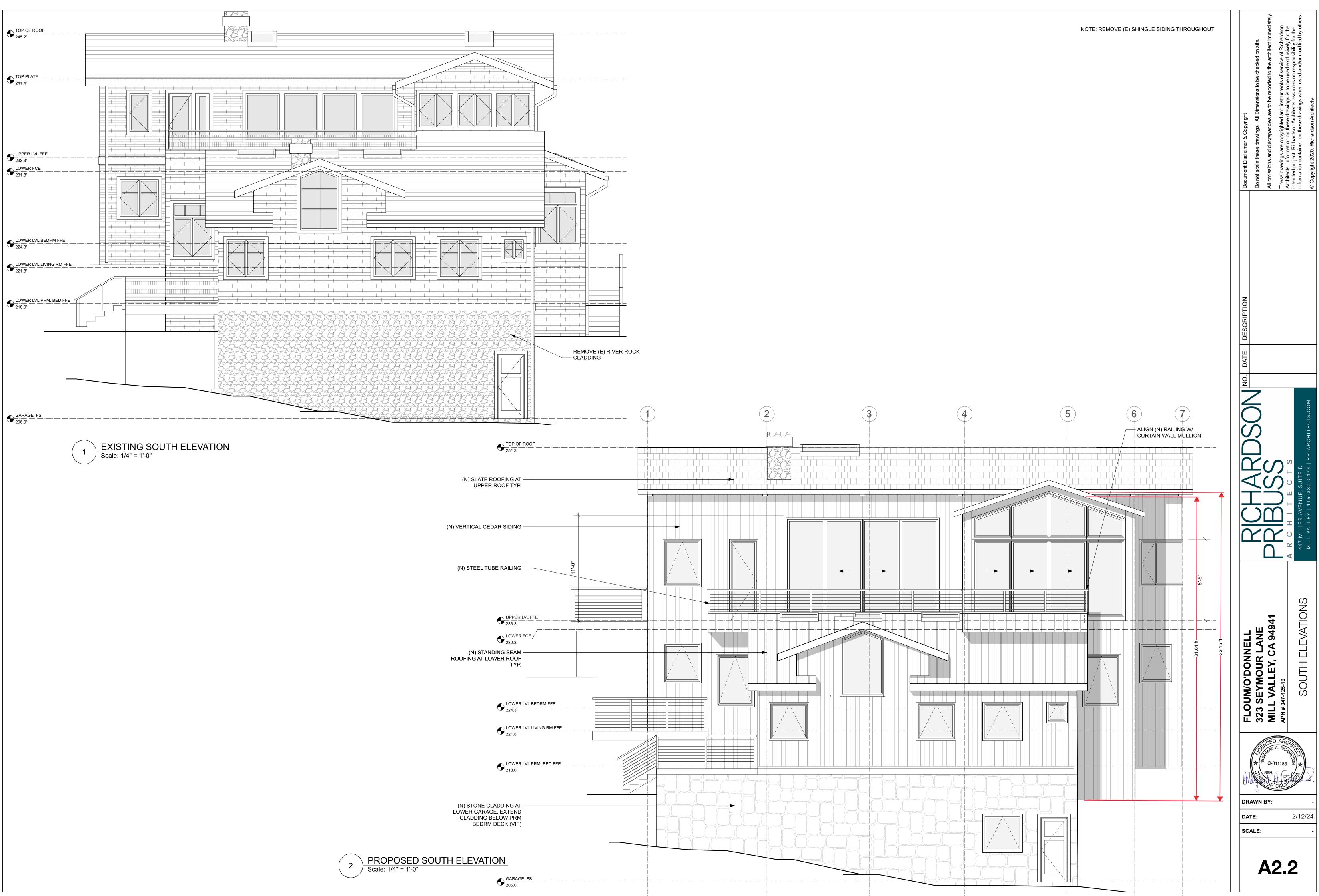
PROPOSED NORTH ELEVATION Scale: 1/4" = 1'-0"

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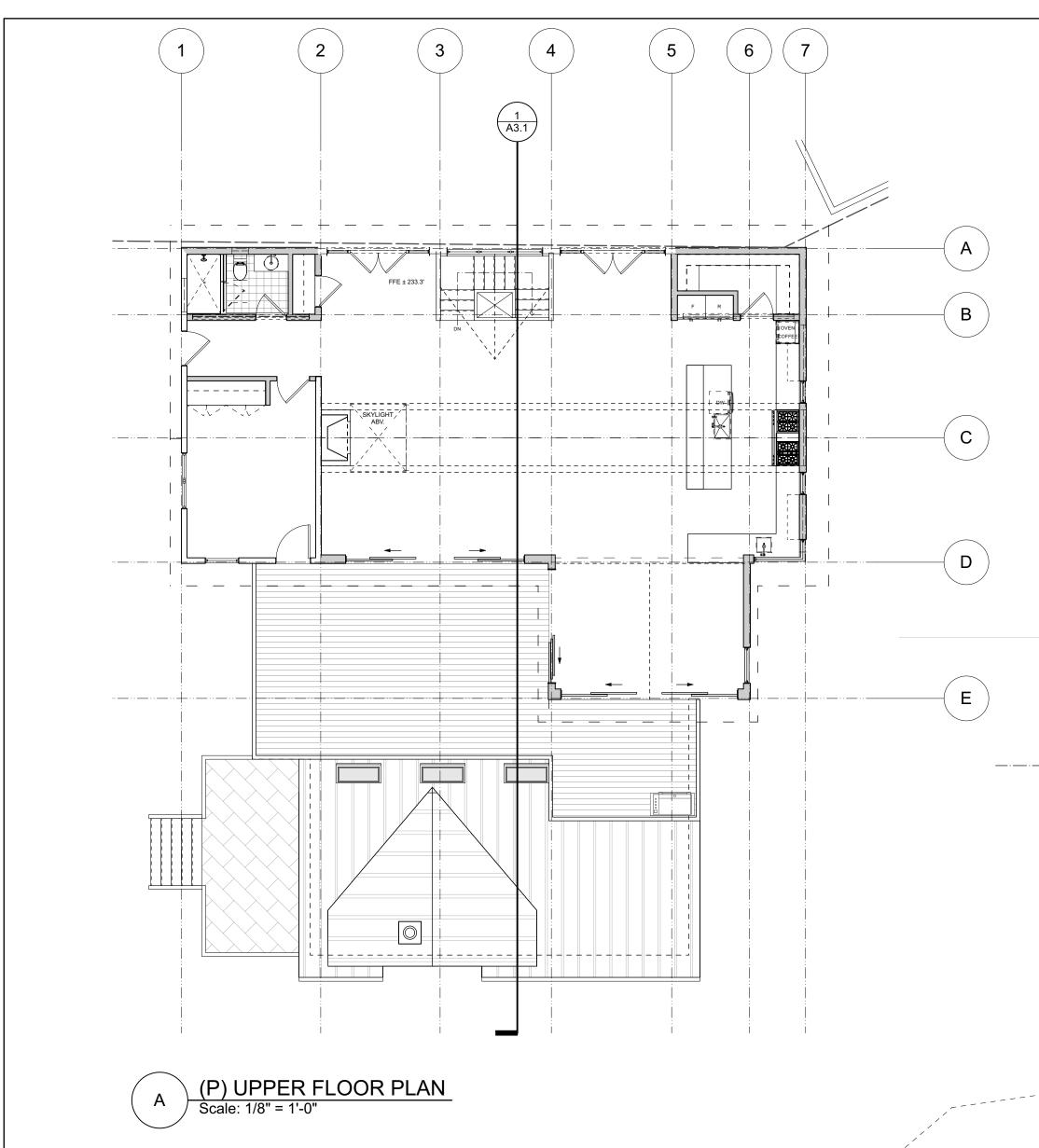




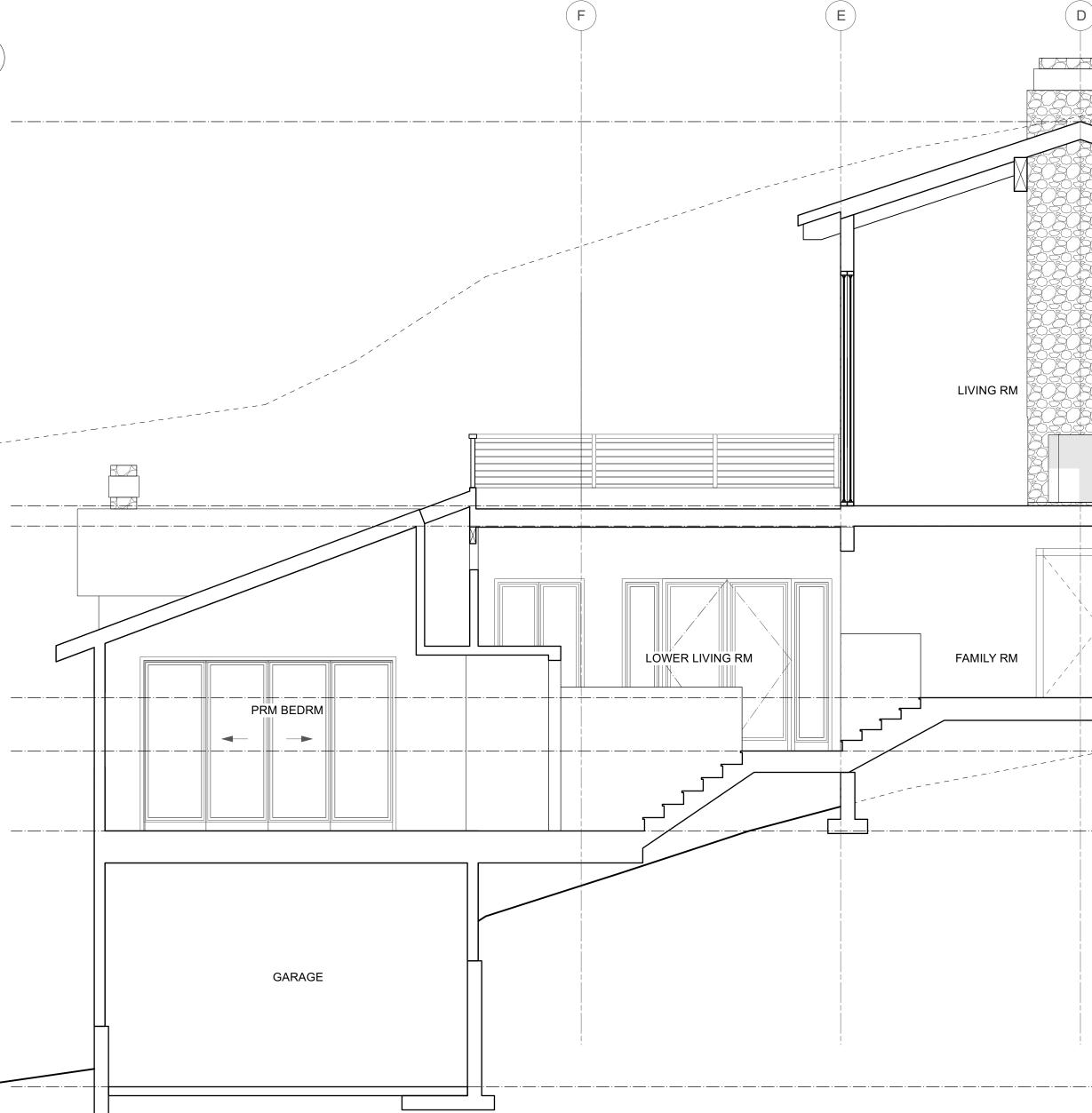




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TOP OF ROOF 245.2'		Do not scale these drawings. All Dimensions to be checked on site. All omissions and discrepancies are to be reported to the architect immediately.	Intese drawings are copyrighted and instruments of service of ruchardson Architects. Information on these drawings is to be used exclusively for the intended project. Richardson Architects assumes no responsibility for the information contained on these drawings when used and/or modified by others. © Copyright 2020, Richardson Architects
<u>TOP PLATE</u> 241.4'	Copyright	Do not scale these drawings. All Dimensions to be checked on site. All omissions and discrepancies are to be reported to the architect in	wrighted and instruments on these drawings is to be dson Architects assumes in these drawings when us ardson Architects
UPPER LVL FFE 233.3' LOWER FCE 231.8'	Document Disclaimer & Copyright	Do not scale these draw All omissions and discre	<ul> <li>Triese drawings are copyrighted and must Architects. Information on these drawings information contained on these drawings</li> <li>© Copyright 2020, Richardson Architects</li> </ul>
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LOWER LVL LIVING RM FFE			
LOWER LVL PRM. BED FFE 218.0'	DESCRIPTION		
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UPPER LVL FFE 233.3'		: LANE CA 94941	25-19 WEST ELEVATIONS
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PROPOSED SECTION A Scale: 1/4" = 1'-0"

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LOWER LVL BEDRM FFE 224.3' LOWER LVL LIVING RM FFE 221.8' LOWER LVL PRM. BED FFE 218.0'		PLOUM/O'DONNELL 323 SEYMOUR LANE MILL VALLEY, CA 94941		SECTION A
GARAGE FS 206.0'	k	THE C-01		

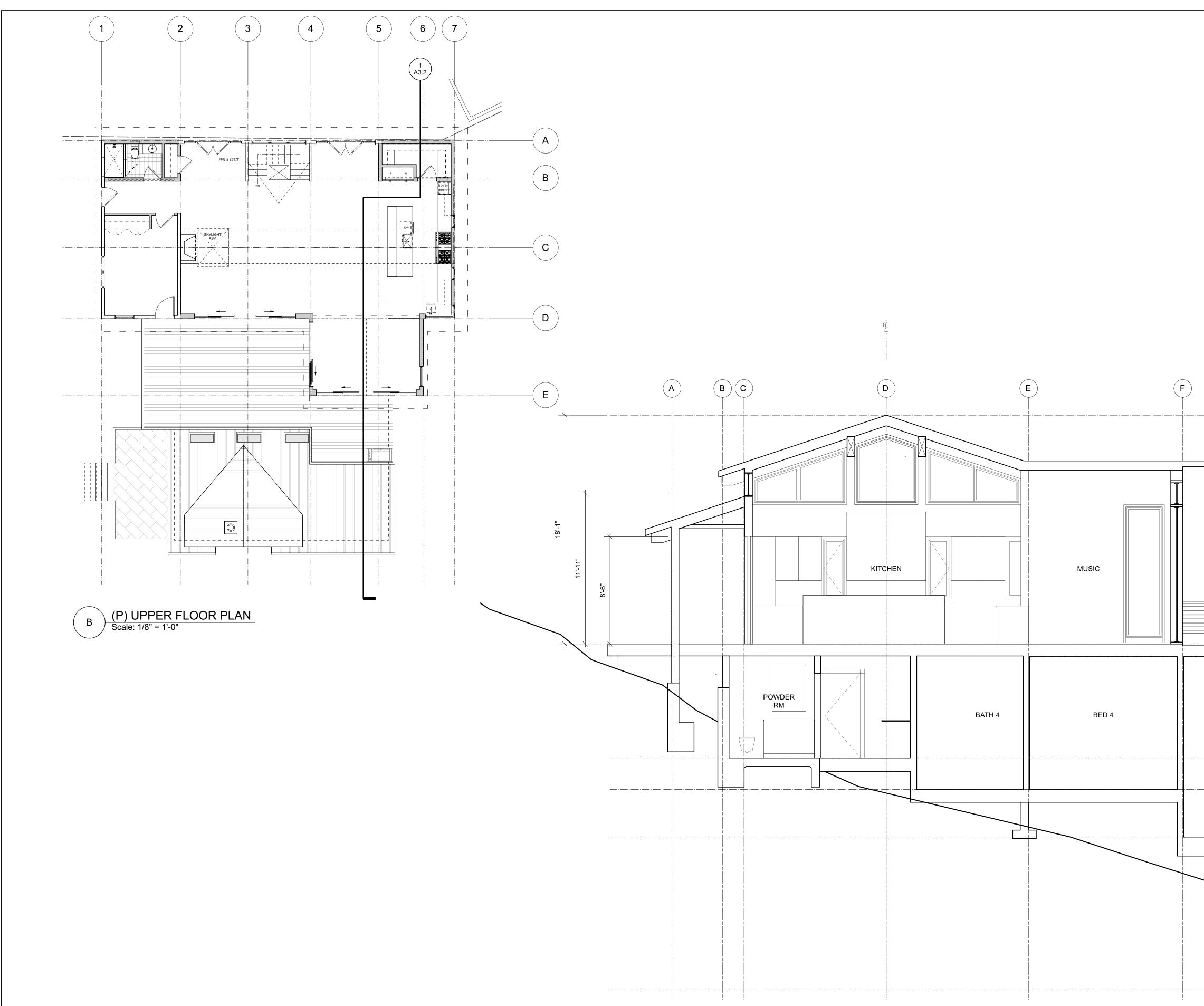
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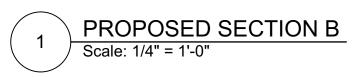
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GARAGE FS 206.0'	All	WN BY:	ARCA A. RICHURSON 111183 CALIFORD CALIFORD - 2/12/24 - 3.1