

# FLOUM/O'DONNELL

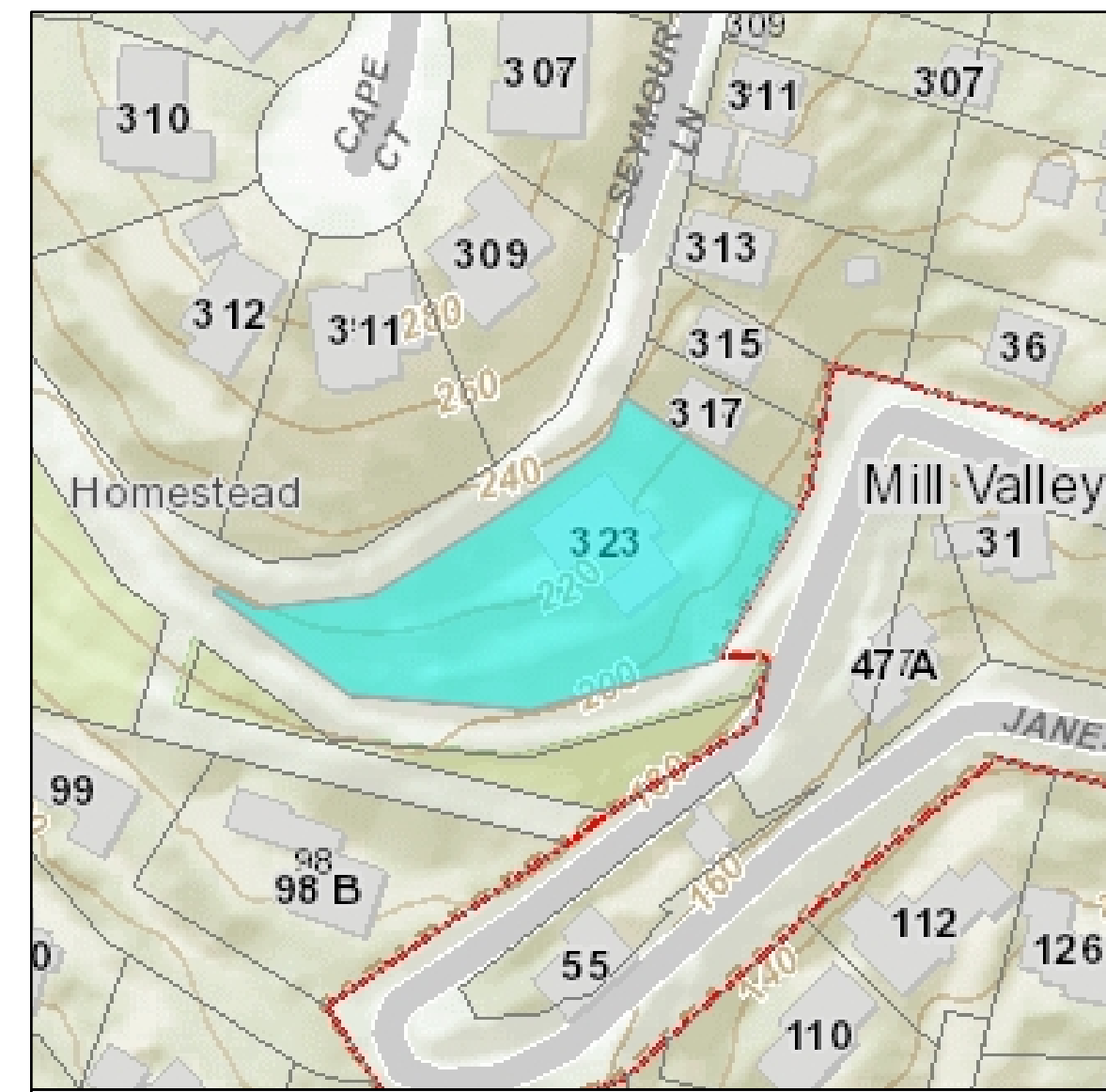
## 323 SEYMOUR LANE

### MILL VALLEY, CA 94941

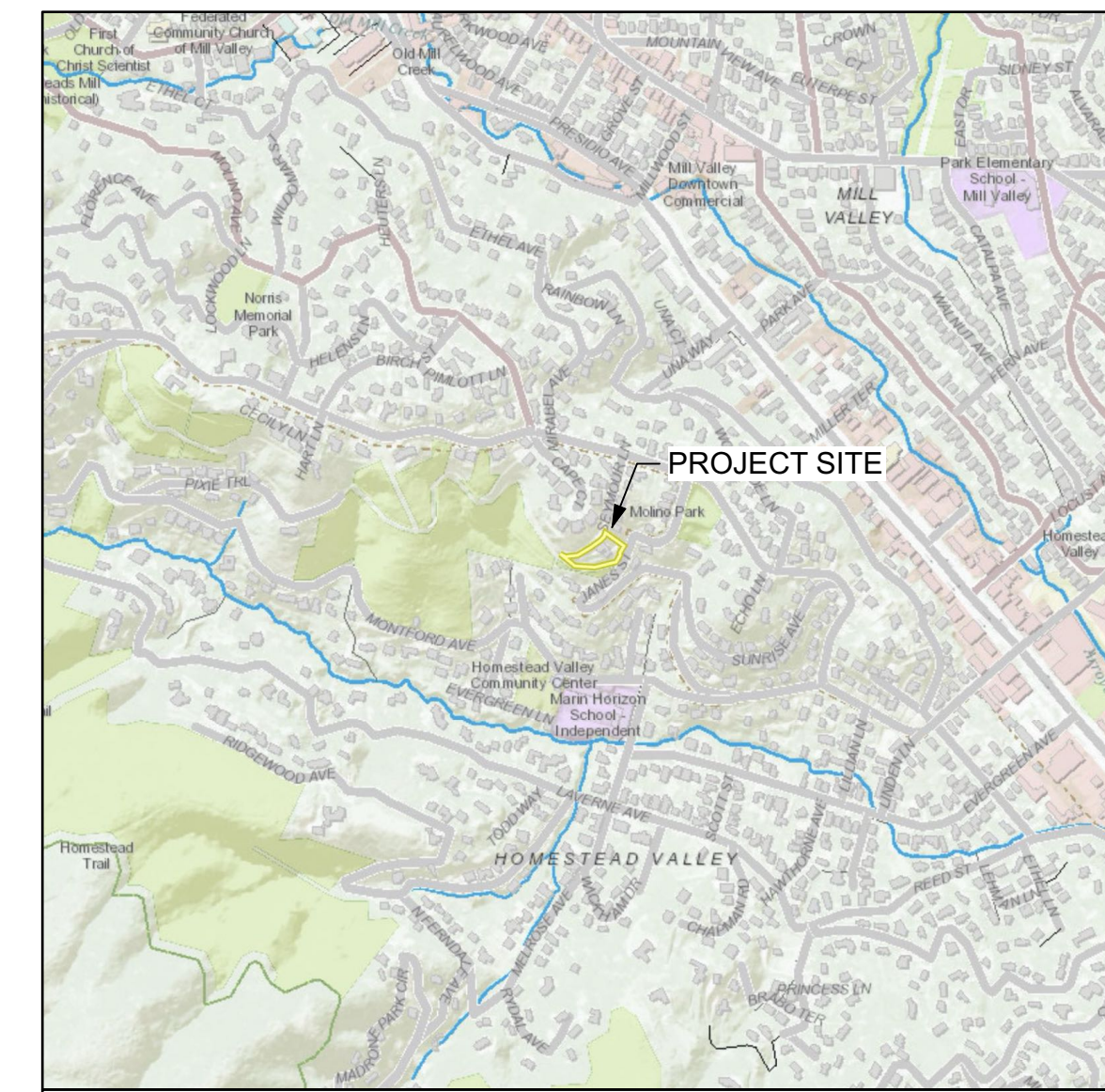
#### APN 047-125-19

PERMIT#:

### DESIGN REVIEW PERMIT SET



NEIGHBORHOOD MAP



VICINITY MAP

APN / LOT 047-125-19	ZONING CODE R1-B1	OCCUPANCY TYPE R1-B1
LOT SIZE 22,805.1 SF	CONSTRUCTION TYP VB	WUI AREA YES

#### PROJECT DATA

- 2022 CALIFORNIA BUILDING CODE (CBC)
- 2022 CALIFORNIA RESIDENTIAL CODE (CRC)
- 2022 CALIFORNIA MECHANICAL CODE (CMC)
- 2022 CALIFORNIA PLUMBING CODE (CPC)
- 2022 CALIFORNIA ELECTRICAL CODE (CEC)
- 2022 CALIFORNIA BUILDING ENERGY STANDARDS -TITLE 24
- 2022 CALIFORNIA GREEN BUILDING STANDARDS
- 2022 CALIFORNIA FIRE CODE

#### APPLICABLE CODES

- REMODEL EXISTING UPPER AND LOWER LEVELS
- 849 SF TOTAL ADDITION
- (N) UPPER ROOF & REROOF LOWER ROOF
- (N) SIDING THROUGHOUT
- (N) ENTRY & SIDE DECKS
- EXPAND EXISTING ROOF DECK
- (N) DOORS AND WINDOWS THROUGHOUT

#### SCOPE OF WORK

##### ARCHITECTURAL

- A0.0 COVER SHEET
- V1 SURVEY
- A0.1 GENERAL NOTES
- A0.2 FAR
- A0.8 PROPOSED MATERIALS
- A1.0 EXISTING SITE PLAN
- A1.1 PROPOSED SITE PLAN
- A1.2 ROOF PLANS
- A1.3 EXISTING UPPER FLOOR PLAN
- A1.4 PROPOSED UPPER FLOOR PLAN
- A1.5 EXISTING LOWER FLOOR PLAN
- A1.6 PROPOSED LOWER FLOOR PLAN
- A1.7 GARAGE FLOOR PLANS
- A2.0 NORTH ELEVATIONS
- A2.1 EAST ELEVATIONS
- A2.2 SOUTH ELEVATIONS
- A2.3 WEST ELEVATIONS
- A3.0 SECTION A
- A3.1 SECTION B

**OWNERS:**  
MAGGIE O'DONNELL & JOSH FLOUM  
323 SEYMOUR LANE  
MILL VALLEY, CA 94941  
TEL: (415) 250-2567

**ARCHITECT:**  
RICHARDSON PRIBUSS ARCHITECTS  
447 MILLER AVE.,  
MILL VALLEY, CA 94941  
TEL: (415) 380-0474  
FAX: (415) 380-0470

**STRUCTURAL ENGINEER:**  
MARTIN/MARTIN CONSULTING ENGINEERS  
900 LARKSPUR LANDING CIRCLE,  
SUITE 201  
LARKSPUR, CA 94939  
TEL: (415) 814-0030

**LANDSCAPE:**  
TBD

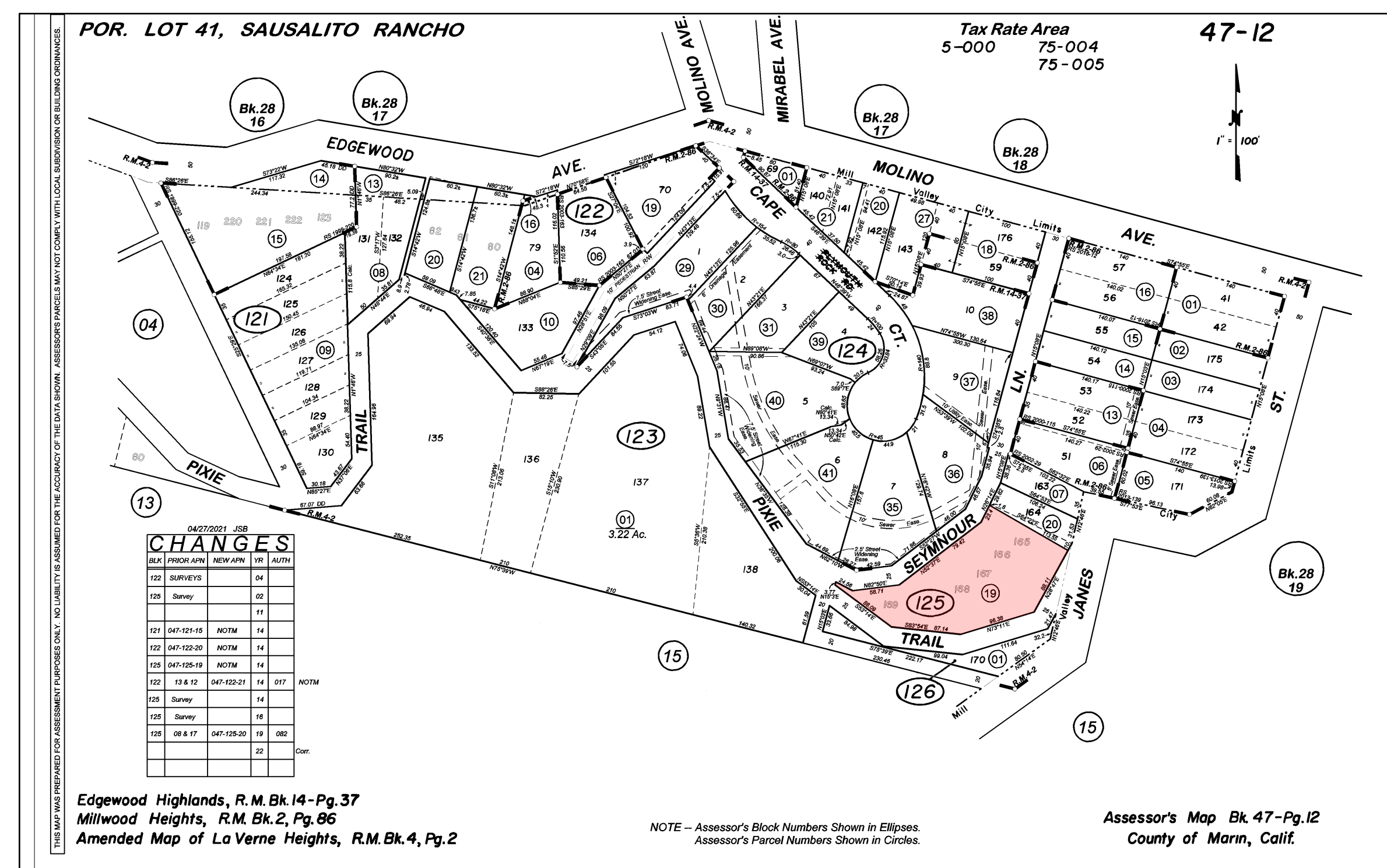
**CONTRACTOR:**  
TBD

APN	047-125-19		
LOT SIZE	22,805.1 SF		
ZONING	R1-B1		
<b>PROPERTY INFORMATION:</b>	<b>ALLOWED</b>	<b>PREVIOUS/DEMOLISHED</b>	<b>PROPOSED</b>
LOT COVERAGE		6,879 SF	7,342 SF
FLOOR AREA: 0.30 MAX = 6,841.53 SF			
COVERED DECK			NO CHANGE
UNCOVERED DECKS		1,191 SF	1,184 SF
GARAGE		822'	NO CHANGE
UPPER LEVEL		1,230 SF	1,740 SF
LOWER LEVEL		2,396 SF	2,735 SF
TOTAL		4,448 SF	5,297 SF
TOTAL ADJUSTED FLOOR AREA		3,908 SF	4,757 SF
<b>SETBACKS:</b>			
FRONT	25'0"	29'2"	25'0"
SIDE: LEFT	5' (10' ON STREET)	16'1" 7"	NO CHANGE
SIDE: RIGHT	5' (10' ON STREET)	36'6"	20'7"
REAR	20% LOT DEPTH (25' MAX)	24'1"	NO CHANGE
<b>ADD'L INFORMATION:</b>			
CUT	-	-	330 CUFT
FILL	-	-	-
IMPORT/OFF-HAUL	-	-	330 CUFT
STORIES	-	2	NO CHANGE
HEIGHT	30' (16' ADU)	25'0"	30'0"
ONSITE PARKING SPACES	-	4	NO CHANGE

\*NOTE: 540 SF OF GARAGE AREA EXEMPT FROM TOTAL FAR

#### SITE DATA TABLE

#### SPECIAL INSTRUCTIONS



ASSESSOR'S MAP

	ALIGN WALLS OR OBJECTS
	LINE OVERHEAD OR HIDDEN
	CENTERLINE
	PROPERTY LINE
	DATUM LINE
	SHEET NOTE MARKER
	FINISH NOTE MARKER
	WALL TYPE MARKER
	WINDOW SYMBOL
	DOOR SYMBOL
	SECTION MARKER
	ELEVATION MARKER
	INTERIOR ELEVATION MARKER
	PLAN DETAIL MARKER
	REVISION MARKER

SYMBOLS

SHEET INDEX

PROJECT TEAM

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447 MILLER AVENUE, SUITE D  
MILL VALLEY | 415-380-0474 | RP-ARCHITECTS.COM

**FLOUM/O'DONNELL**  
323 SEYMOUR LANE  
MILL VALLEY, CA 94941  
APN # 047-125-19



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DATE: 6/10/24  
SCALE: -

**A0.0**

COVER SHEET

**LEGEND**

- |  |                                |  |                         |
|--|--------------------------------|--|-------------------------|
|  | RECORD BOUNDARY LINE           |  | WATER METER             |
|  | RECORD ADJOINING BOUNDARY LINE |  | ELECTRIC METER          |
|  | RECORD EASEMENT LINE           |  | ELECTRIC PULL BOX       |
|  | RECORD CENTERLINE              |  | GAS METER               |
|  | EDGE OF CONCRETE               |  | SEWER CLEAN OUT         |
|  | GRADE BREAK                    |  | SURVEY CONTROL POINT    |
|  | TOE OF SLOPE                   |  | 6"x6" CONCRETE MONUMENT |
|  | WIRE FENCE                     |  | SPOT ELEVATION          |
|  | ASPHALT CONCRETE SURFACE       |  | TREE-TYPE & DIAMETER    |
|  | GRAVEL SURFACE                 |  | TREE STUMP              |
|  | CONCRETE SURFACE               |  | LIVE OAK TREE           |
|  | DECKING                        |  | REDWOOD TREE            |
|  | BRICK SURFACE                  |  | CYPRESS TREE            |
|  | PAVER SURFACE                  |  | BAY TREE                |
|  | ROCK WALL                      |  | MAPLE TREE              |
|  | FLAGSTONE SURFACE              |  | MADRONE TREE            |
|  | LAWN                           |  | FRUIT TREE              |
|  | FIRE HYDRANT                   |  | ORNAMENTAL TREE         |
|  | IRRIGATION VALVE               |  | FINISHED FLOOR          |
|  | HOSE BIB                       |  | FINISHED SLAB           |

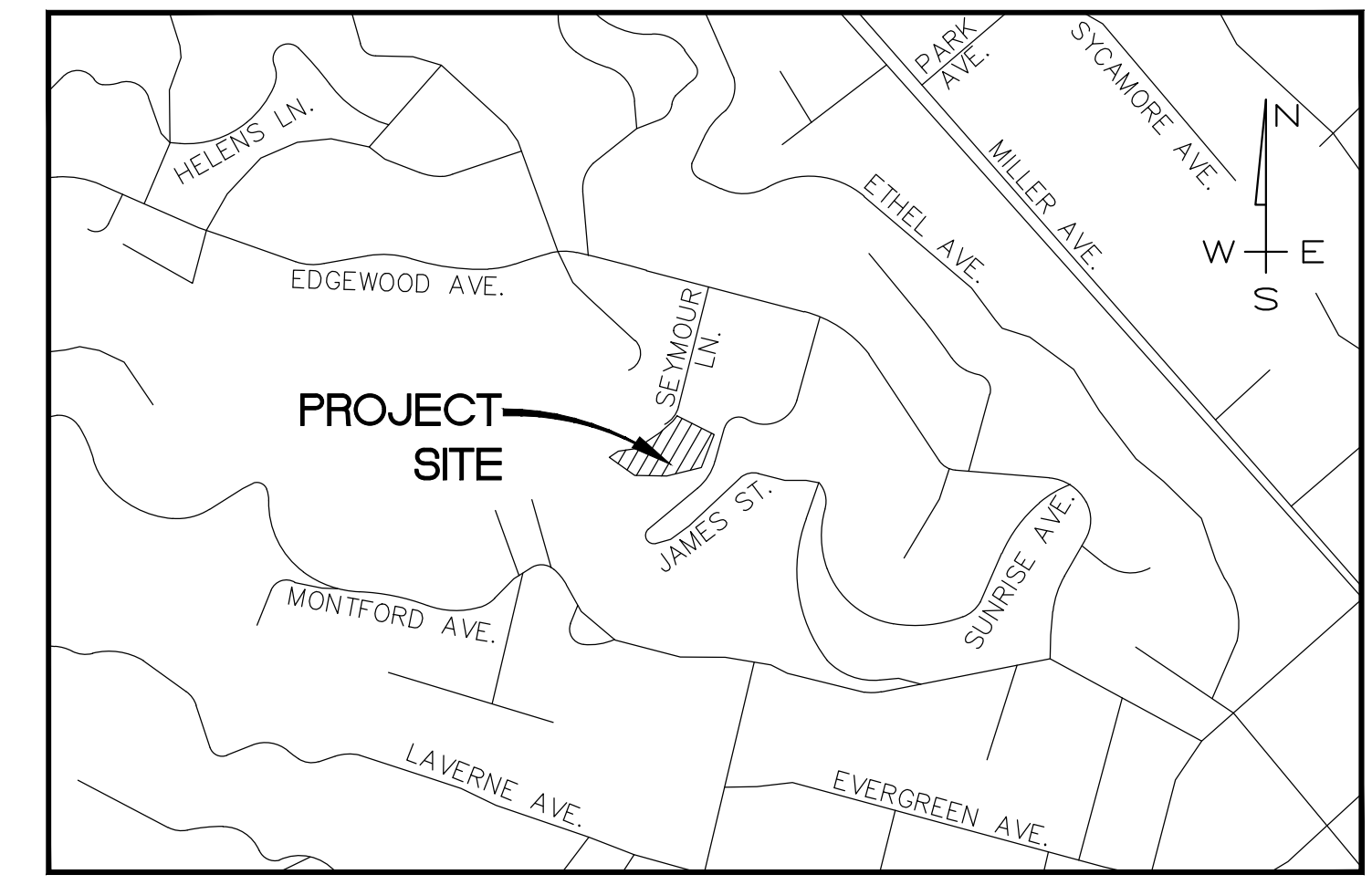
**GENERAL NOTES**

BOUNDARY LINES SHOWN HEREON ARE DELINEATED FROM FIELD TIES TO MONUMENTS SHOWN ON THE AMENDED MAP OF LA VERNE HEIGHTS, RECORDED IN BOOK 4 OF MAPS AT PAGE 2, MARIN COUNTY RECORDS, AND DOES NOT CONSTITUTE A BOUNDARY SURVEY. THE BEARINGS SHOWN HAVE BEEN ROTATED FROM RECORD TO NORTH AMERICAN DATUM OF 1983 (NAD83) ZONE 3 GRID NORTH. THIS MAP IS NOT INTENDED TO PROVIDE A BOUNDARY RESOLUTION FOR THE SUBJECT PROPERTY.

UTILITIES SHOWN HEREON ARE BASED UPON PHYSICAL FEATURES OBSERVED AT THE TIME OF THE SURVEY. THE SURVEYOR ACCEPTS NO LIABILITY FOR THE LOCATION, EXISTENCE OR NON-EXISTENCE OF THOSE UNDERGROUND STRUCTURES, UTILITY LINES AND RELATED APPURTENANCES. LOCATION OF UNDERGROUND UTILITIES SHALL BE PERFORMED BY A SUBSURFACE UTILITY LOCATING COMPANY (IF DESIRED).

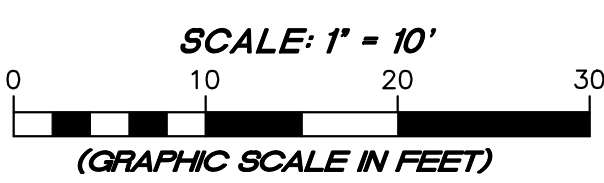
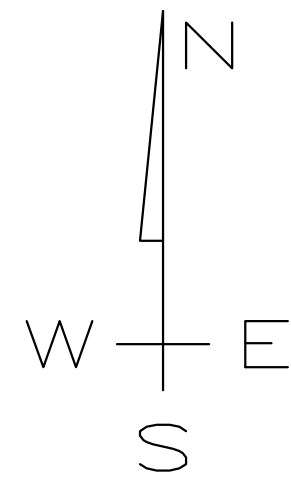
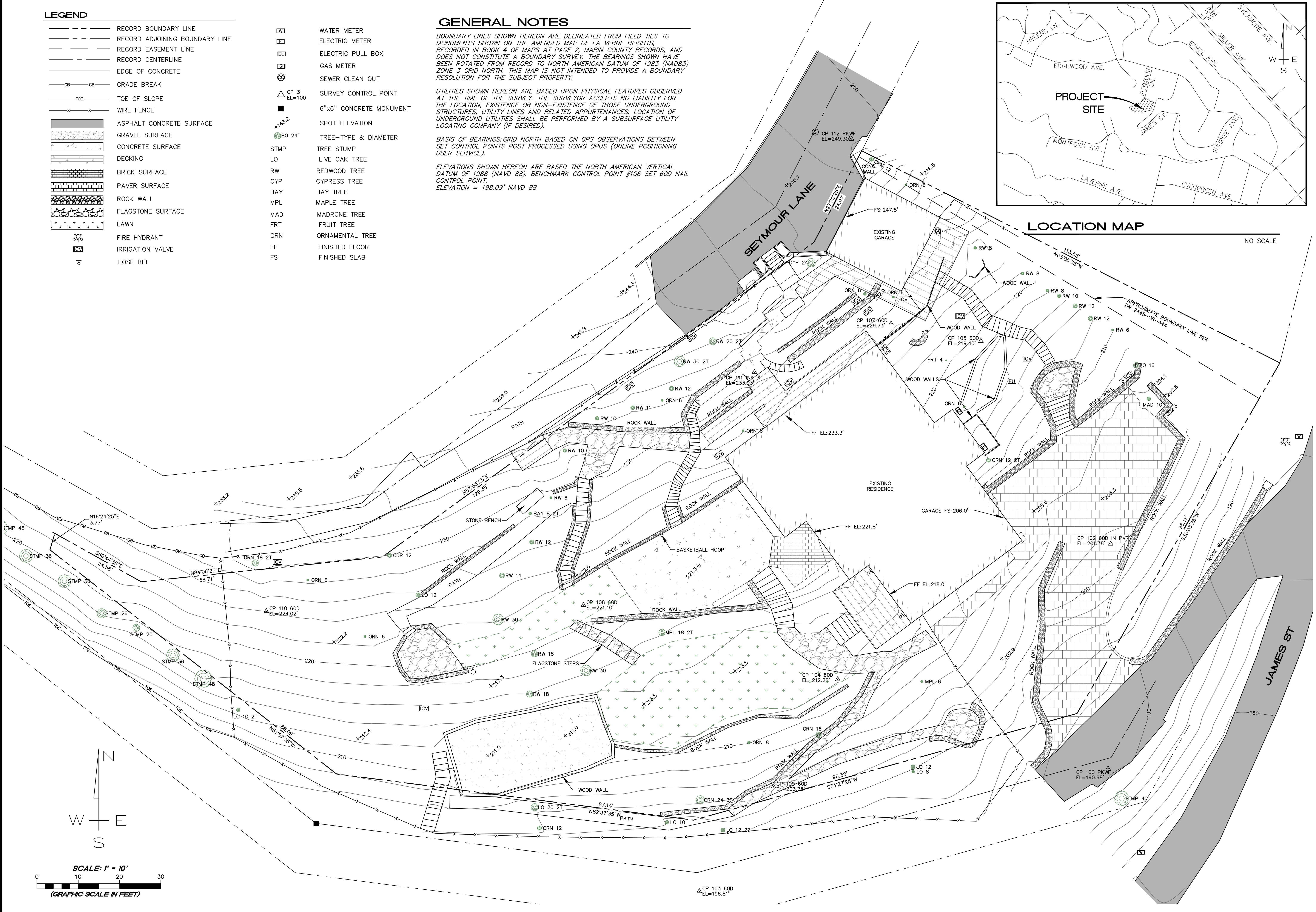
BASIS OF BEARINGS: GRID NORTH BASED ON GPS OBSERVATIONS BETWEEN SET CONTROL POINTS POST PROCESSED USING OPUS (ONLINE POSITIONING USER SERVICE).

ELEVATIONS SHOWN HEREON ARE BASED THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). BENCHMARK CONTROL POINT #106 SET 60D NAIL CONTROL POINT. ELEVATION = 198.09' NAVD 88



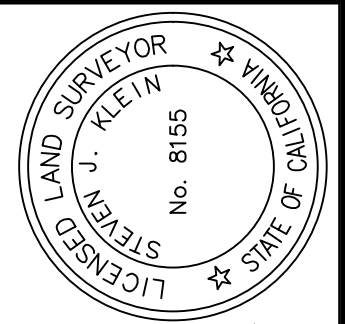
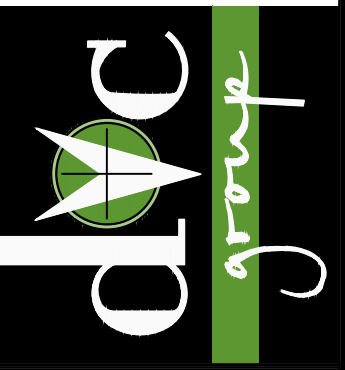
**LOCATION MAP**

NO SCALE



REVISION	DESCRIPTION	DATE

**DVC GROUP INC.**  
 PLANNING • ENGINEERING • SURVEYING  
 219 SHORELINE HIGHWAY  
 MILL VALLEY, CA 94941  
 (707) 395-0968

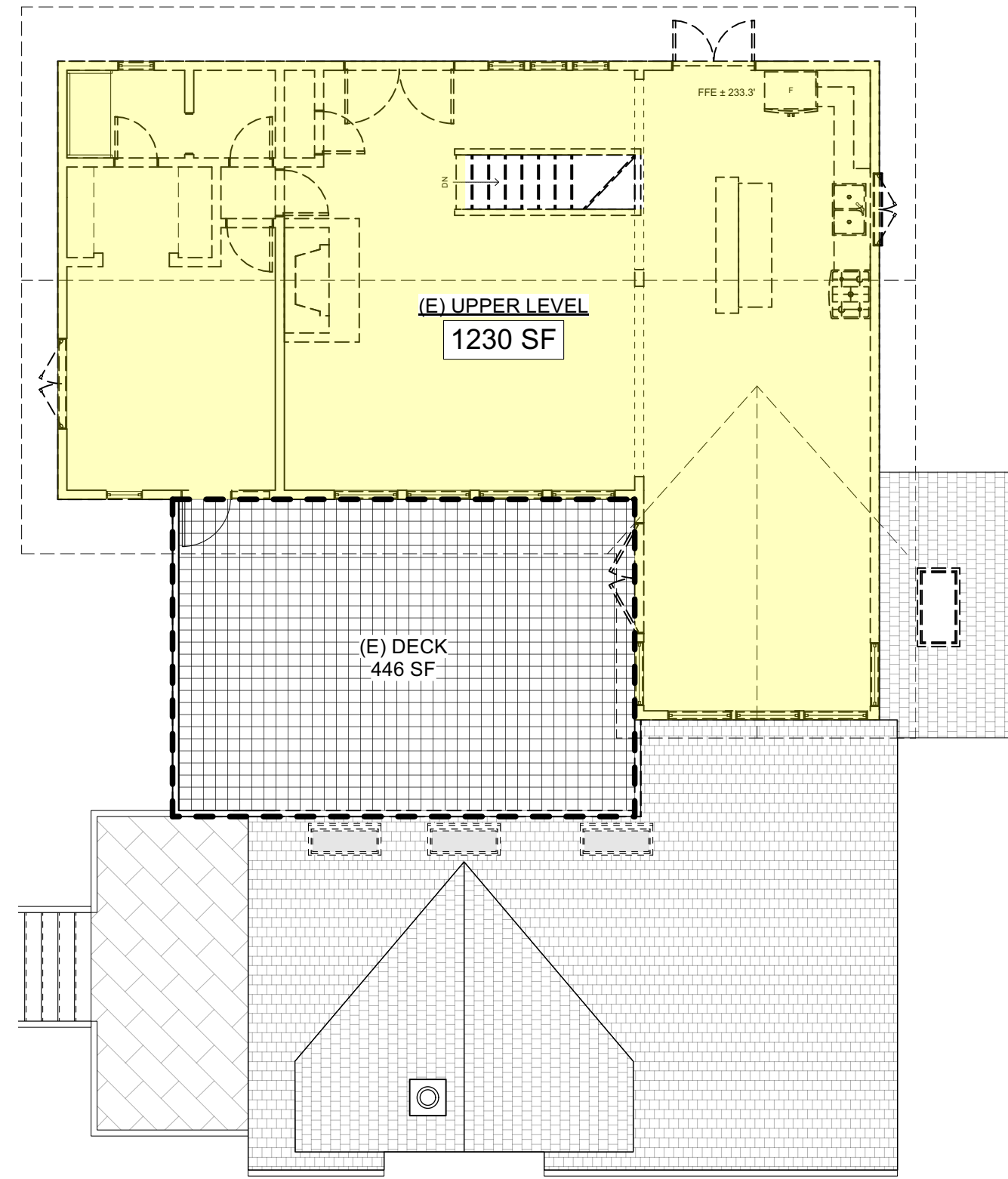


9/26/2022 DATE  
 STEVEN J. KLEN  
 PLS 8155

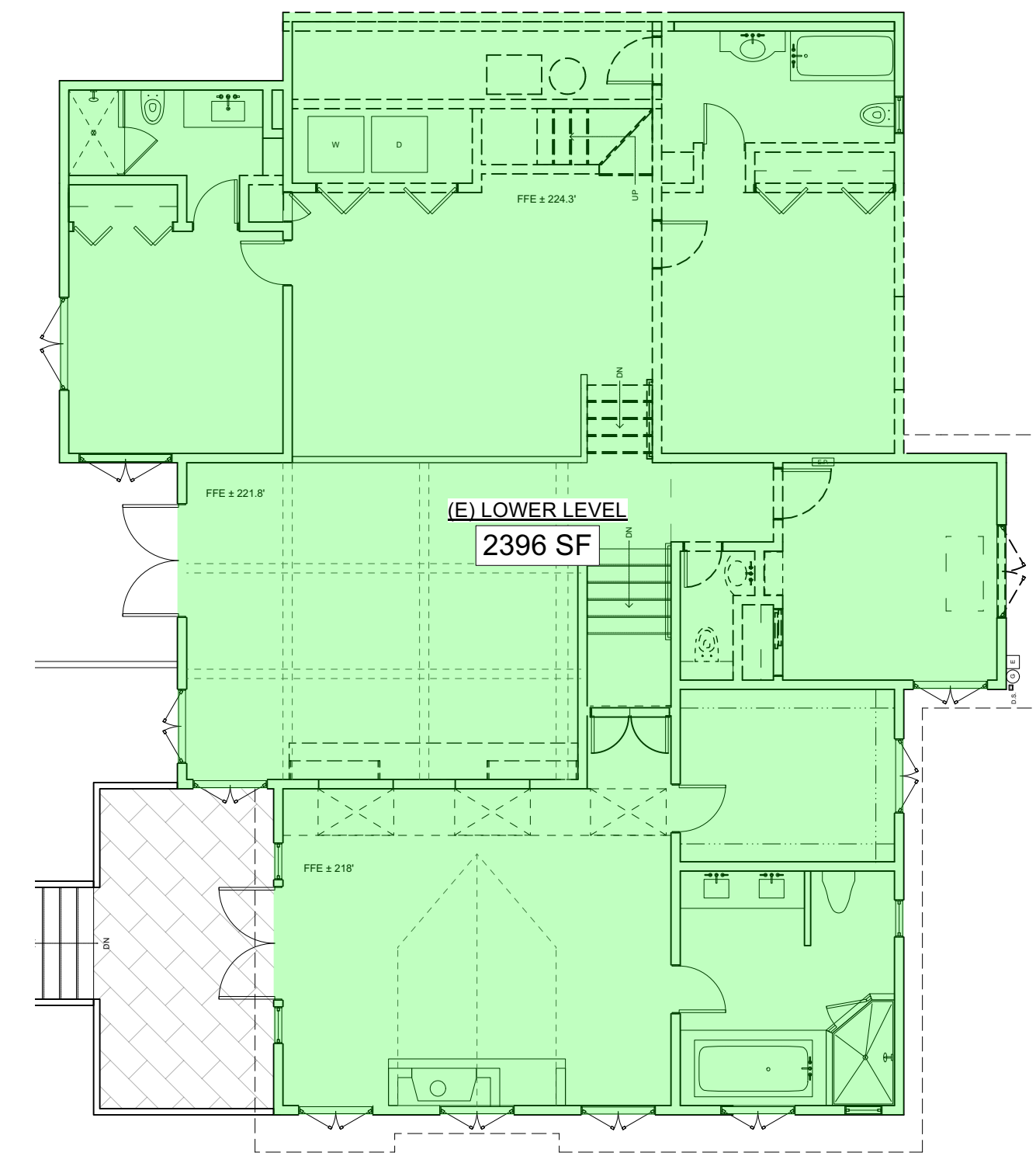
**FLOUM RESIDENCE**  
 TOPOGRAPHIC MAP  
 APN 047-125-019  
 323 SEYMOUR LANE  
 MILL VALLEY, CA 94941

APRIL, 2022  
 JOB NO. 18-22  
 SHEET NO. 1  
 OF 1 SHEETS

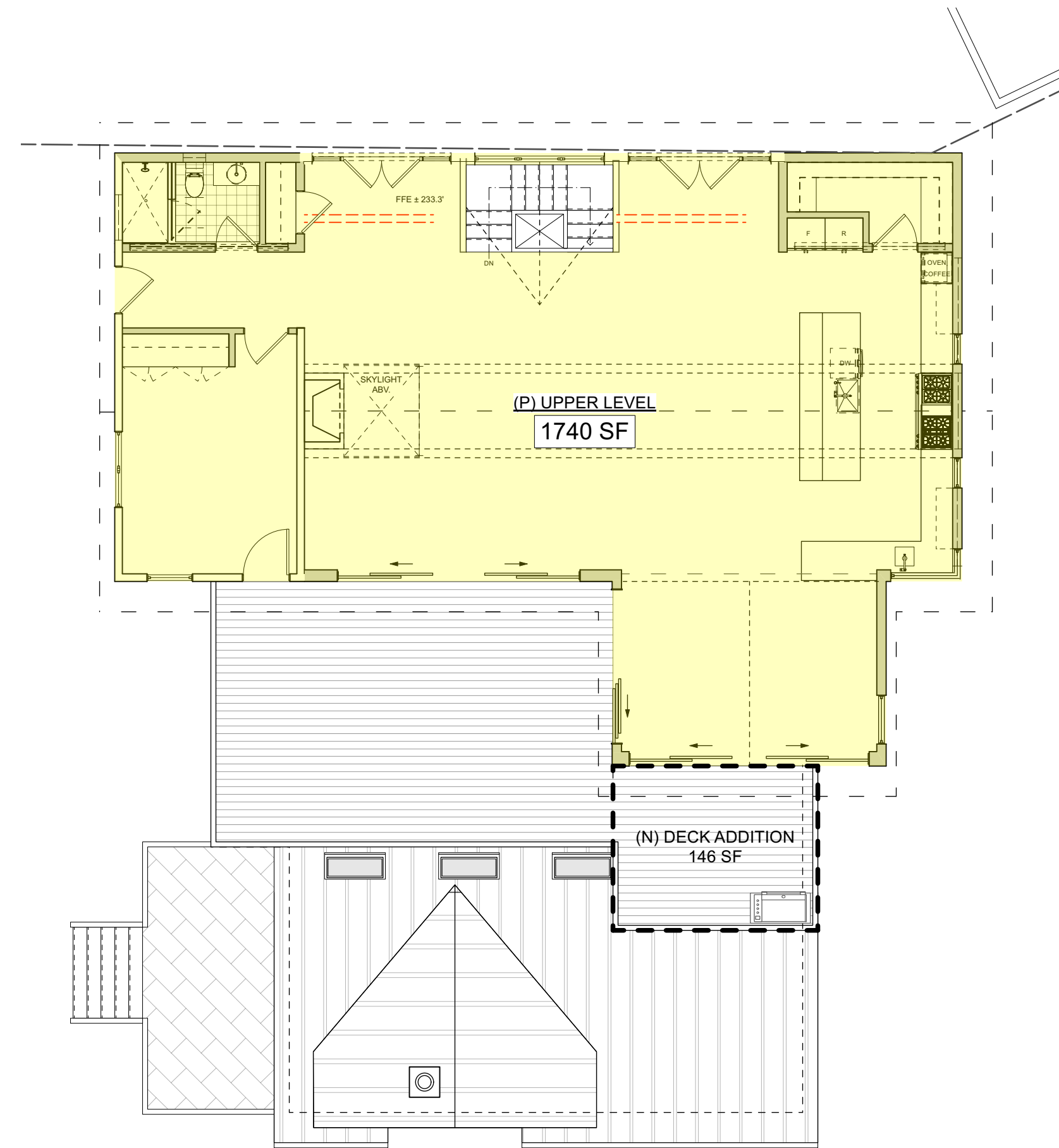




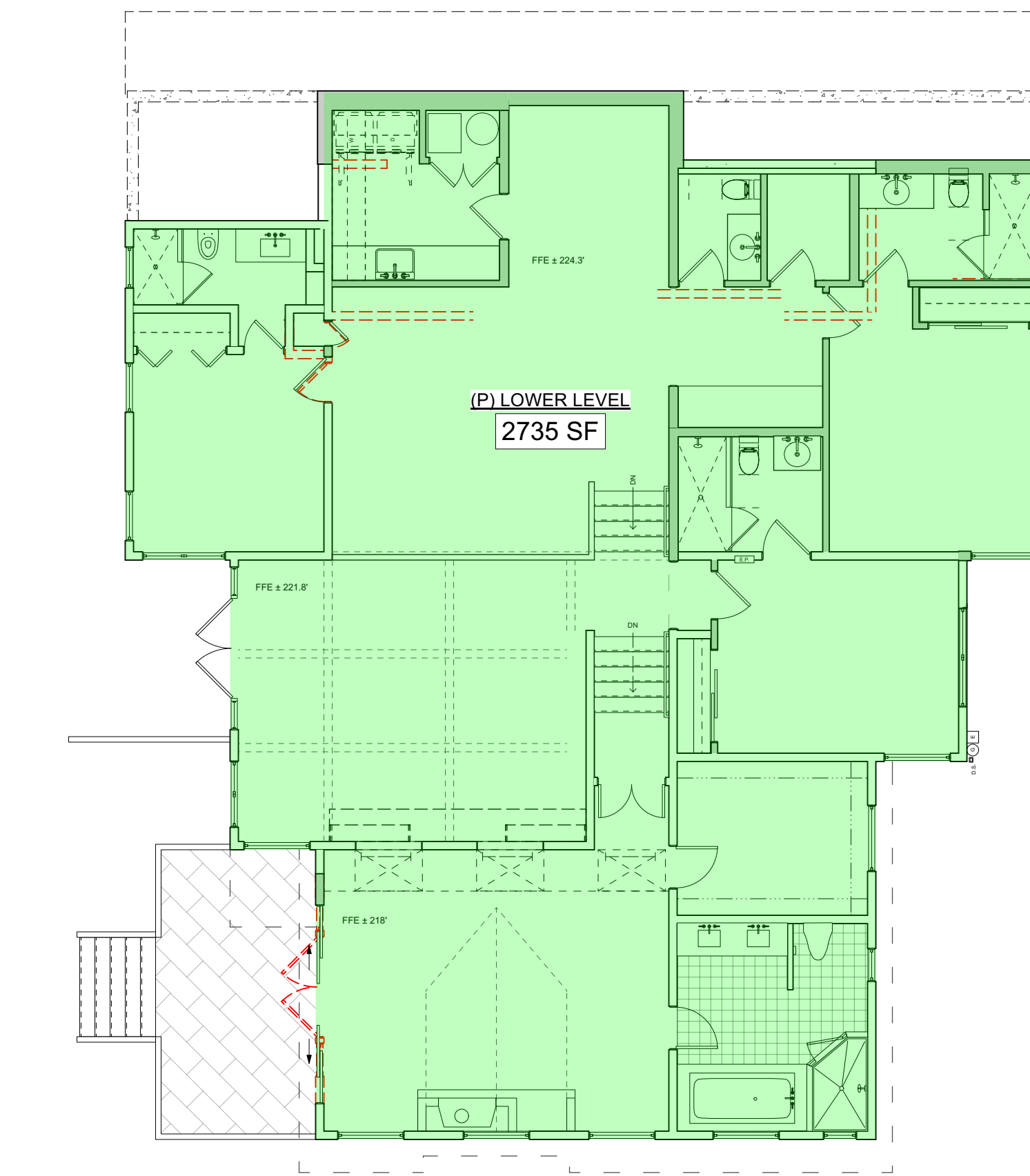
6 (E) UPPER FLOOR PLAN  
Scale: 1/8" = 1'-0"



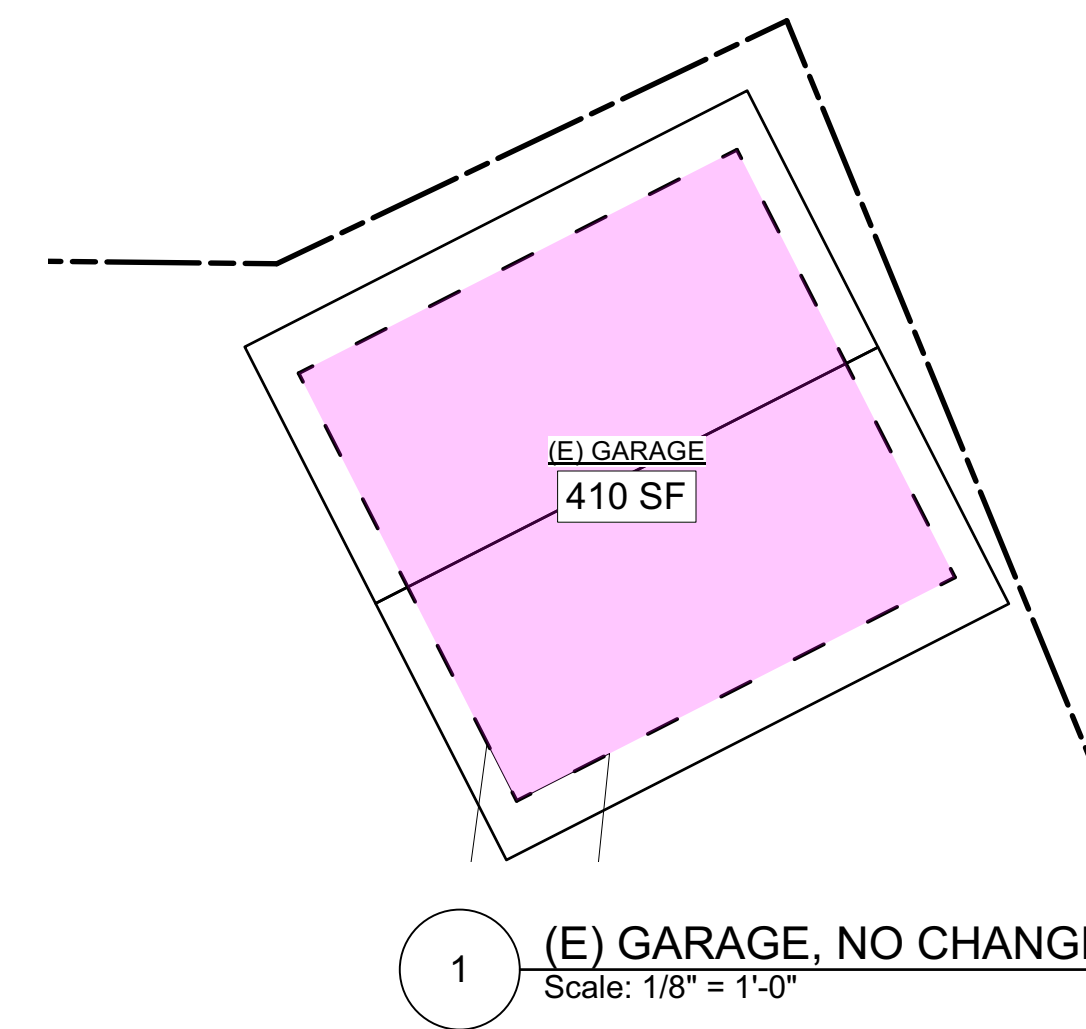
8 (E) UPPER FLOOR PLAN  
Scale: 1/8" = 1'-0"



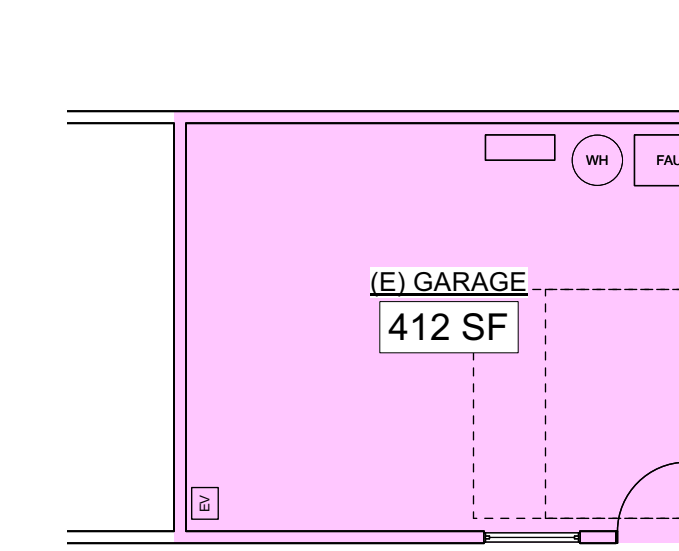
5 (P) UPPER FLOOR PLAN  
Scale: 1/8" = 1'-0"



7 (P) UPPER FLOOR PLAN  
Scale: 1/8" = 1'-0"



1 (E) GARAGE, NO CHANGE  
Scale: 1/8" = 1'-0"



3 (E) GARAGE, NO CHANGE  
Scale: 1/8" = 1'-0"

**AREA CALCULATIONS**

EXISTING LOT	22,805.1 sf			
MAX FAR (30%)	6,841.53 sf			
LOT COVERAGE	ALLOWED	EXISTING	PROPOSED	
		6,879 sf	7,342 sf	
FLOOR AREA	EXISTING	ADDED	PROPOSED	
	UPPER LEVEL	1,230 sf	510 sf	1,740 sf
	LOWER LEVEL	2,396 sf	339 sf	2,735 sf
GARAGE	822 sf	NO CHANGE	822 sf	
TOTAL	4,448 sf	849 sf	5,297 sf	
TOTAL ADJUSTED	3,908 sf		4,757 sf	

MARIN COUNTY CODE: 22.10.040 – Residential District Development Standards  
22.14.050 - Minimum Lot Size "B" Combining District Standards.

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**FLOUM/DONNELL**  
323 SEYMOUR LANE  
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**A0.2**



EXISTING RESIDENCE PHOTOS



GREEN-GREY SLATE ROOFING



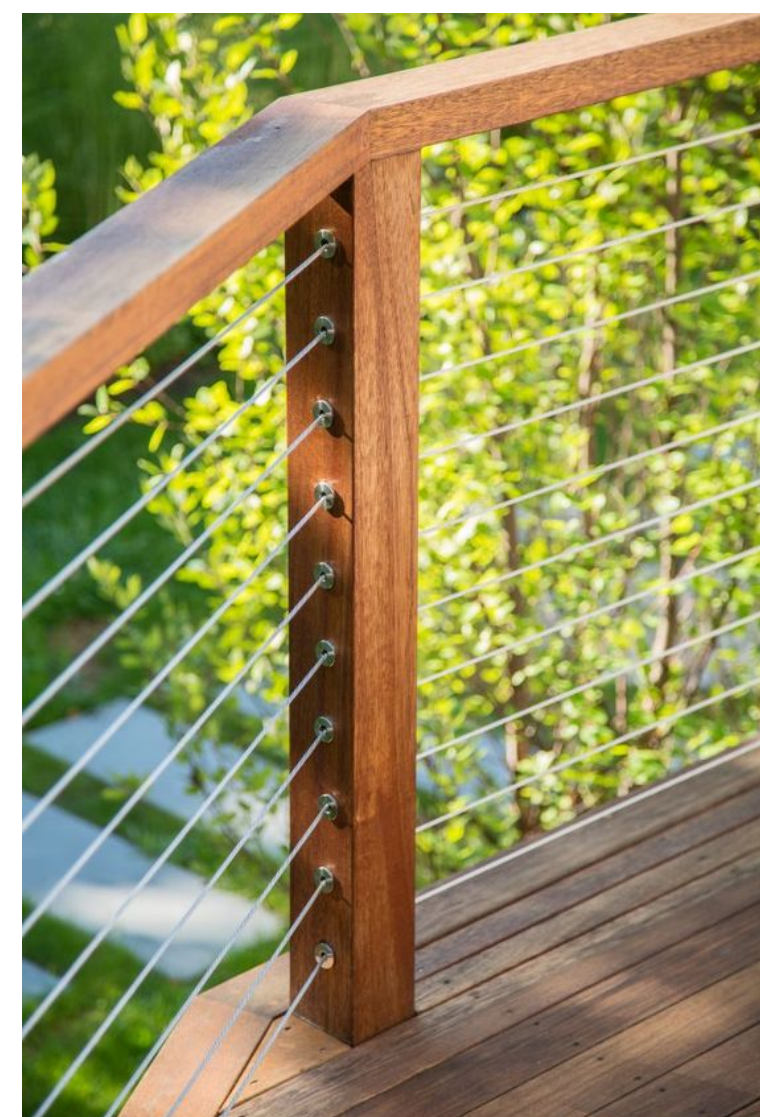
STANDING SEAM METAL ROOFING



VERTICAL CEDAR SIDING & BRONZE WINDOWS



STONE CLADDING



STEEL TUBE RAILING WITH WOOD CAP

PROPOSED MATERIALS



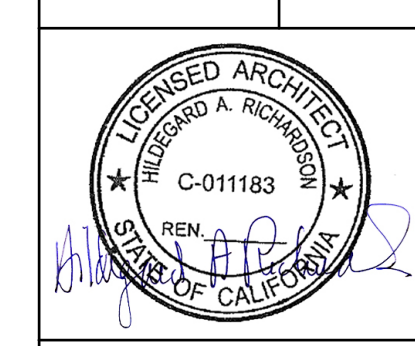
PROPOSED SOUTH ELEVATION

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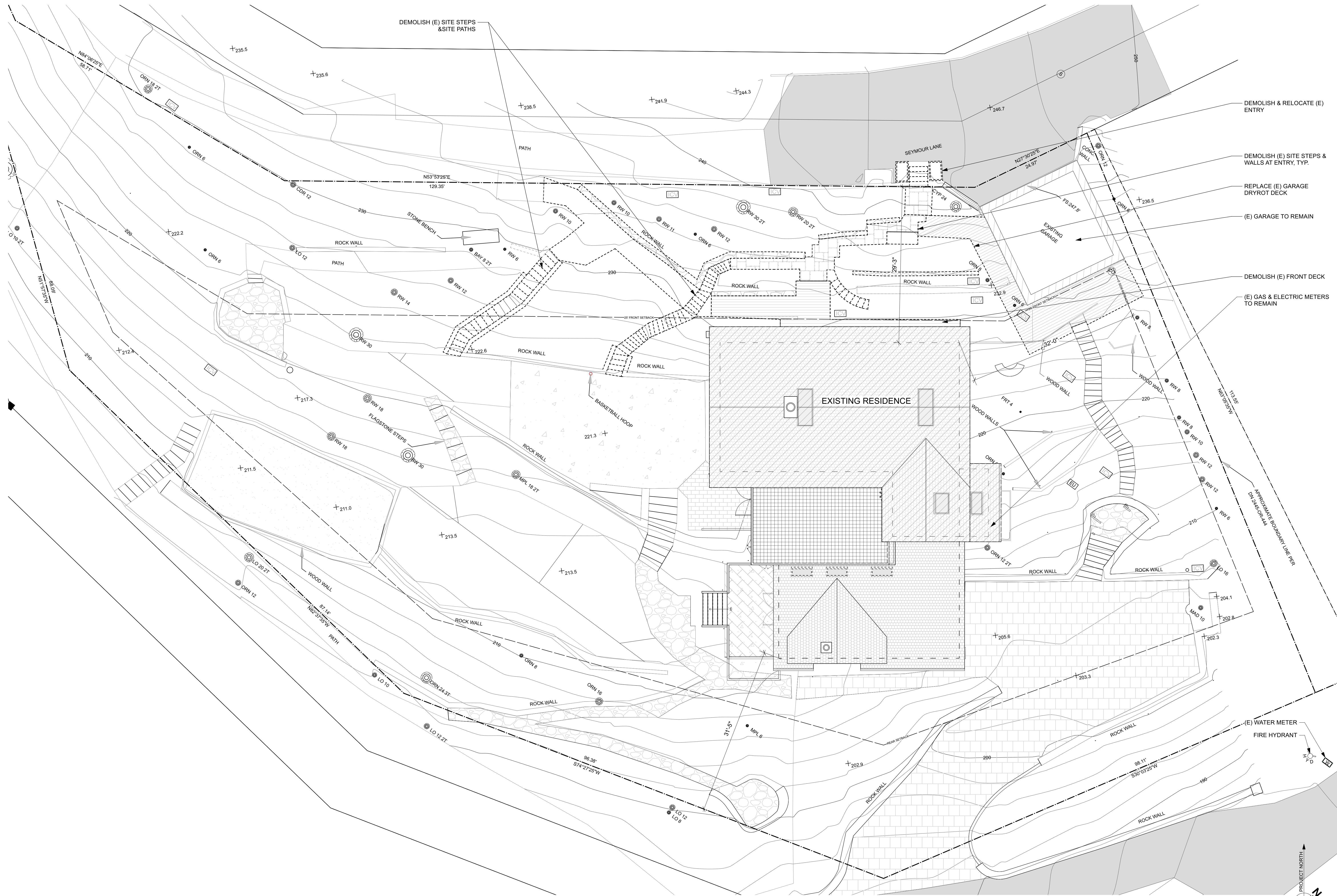
**RICHARDSON PRIBUSS ARCHITECTS**  
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 MILL VALLEY, CA 94541  
 APN # 047-125-19

**FLOUM/DONNELL**  
 323 SEYMOUR LANE  
 MILL VALLEY, CA 94941  
 APN # 047-125-19



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 SCALE: -

**A0.3**



- DEMOLISH & RELOCATE (E) ENTRY
- DEMOLISH (E) SITE STEPS & WALLS AT ENTRY, TYP.
- REPLACE (E) GARAGE DRYROT DECK
- (E) GARAGE TO REMAIN
- DEMOLISH (E) FRONT DECK
- (E) GAS & ELECTRIC METERS TO REMAIN

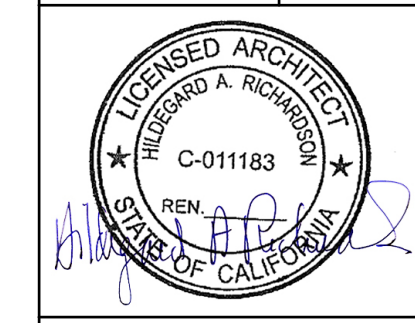
1 (P) SITE PLAN  
Scale: 1/8" = 1'-0"

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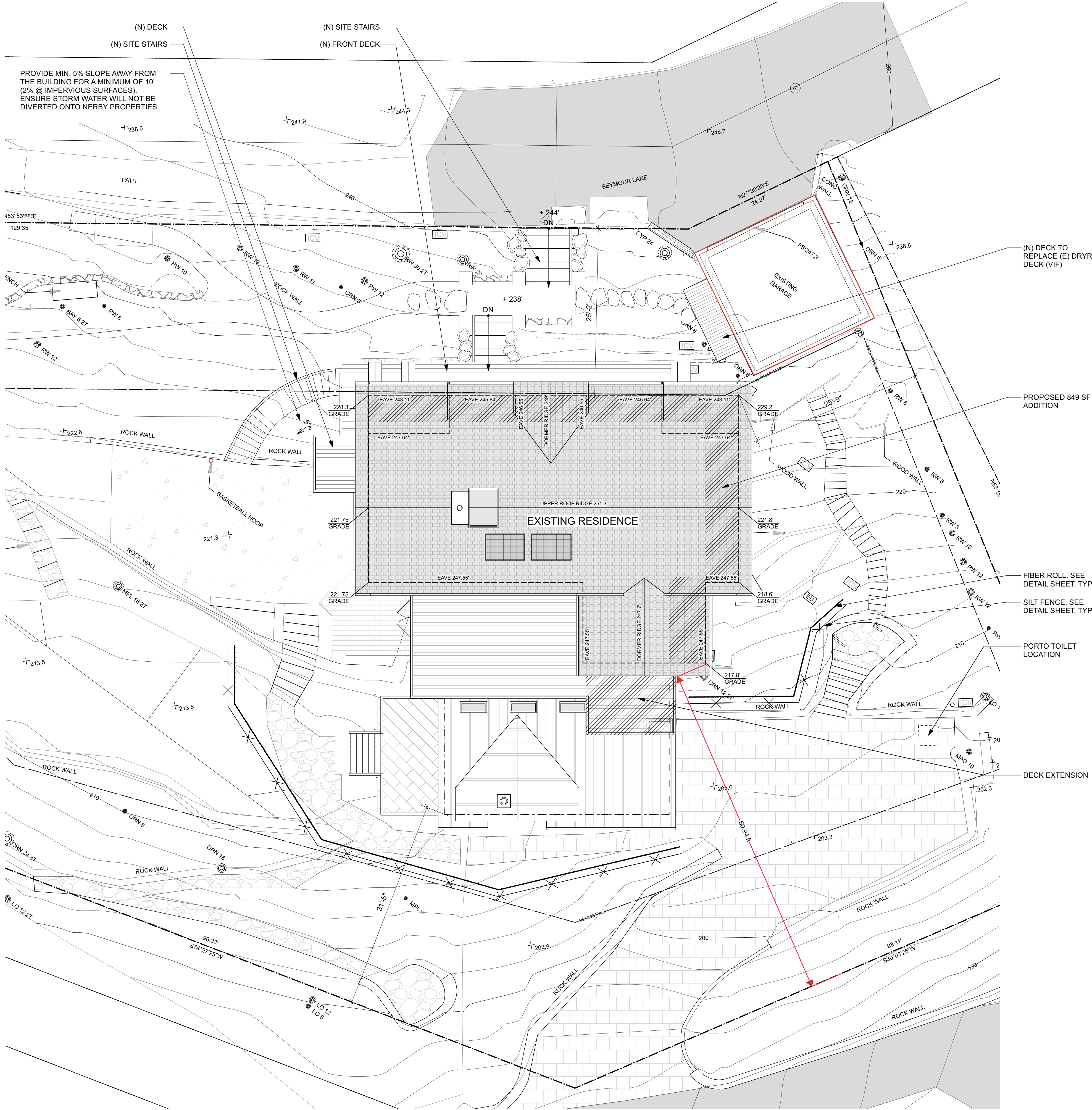
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APN # 047-125-19



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DATE: 2/12/24  
SCALE: \_\_\_\_\_

(E) SITE PLAN  
**A1.0**



**CONSTRUCTION MANAGEMENT NOTES**

**CONSTRUCTION HOURS**  
 7:00 AM TO 6:00 PM MONDAY THROUGH FRIDAY & 9:00 AM TO 5:00 PM SATURDAY PER ORDINANCE MARIN COUNTY ORDINANCE. POWER TOOLS AND EQUIPMENT IS LIMITED FROM 8:00 AM TO 5:00 PM MONDAY THROUGH FRIDAY. CONSTRUCTION WORK IS PROHIBITED ON SUNDAYS AND HOLIDAYS.

**JOB SITE/FACILITIES & STORAGE**  
 JOBSITE DUMPSTERS WILL BE LOCATED OFF STREET PROJECT ON PROPERTY. PORTI-POTTY WILL BE LOCATED WITHIN PROPERTY LINES AND SCREENED FROM THE ROAD. TOOLS, JOB BOXES, SAWS, COMPRESSORS, ETC. WILL BE STORED AND OPERATED WITHIN THE BUILDING WHENEVER POSSIBLE TO MINIMIZE NEIGHBORHOOD INCONVENIENCE. AT THIS TIME THERE IS NO ANTICIPATION NEEDING STORAGE ON PUBLIC RIGHT OF WAY.

**DELIVERIES/OFF HAUL**  
 ALL DELIVERIES WILL BE MADE NOT BEFORE 8:00 AM NOR AFTER 5:00 PM. ALL DRIVERS SHALL BE ADVISED OF THE DESIGNATED TRUCK ROUTE, INCLUDING APPROVED TURN AROUND LOCATIONS, PRIOR TO ANY DELIVERIES OR MATERIAL REMOVAL. MATERIALS WILL BE MOVED AND STOCKPILED WITHIN PROPERTY LINES OR BEHIND BUILDING WITHIN 30 MINUTES OF DELIVERY. DELIVERIES ARE LIMITED TO NON-HOLIDAYS AND WEEKDAYS FROM 10:00 AM TO 2:00 PM FOR TRUCKS EXCEEDING 26 FEET IN LENGTH. A TRANSPORTATION PERMIT MUST BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS A MINIMUM OF 72 HOURS IN ADVANCE.

**ENCROACHMENT NOTES:**  
 AN ENCROACHMENT PERMIT WILL BE REQUIRED IF ANY WORK OCCUPIES THE PUBLIC RIGHT OF WAY INCLUDING DEMOLITION, PARKING, LOADING, DEBRIS BIN, EQUIPMENT OPERATION, ETC.

**SEDIMENT CONTROL:**  
 STAKED IN SILT FENCE WITH STRAW WAFFLES AT BASE OF INTERIOR SIDE TO BE INSTALLED PRIOR TO START OF CONSTRUCTION AND MAINTAINED DURING THE BUILD. FENCE AND WAFFLES TO BE LOCATED DOWNHILL OF ALL CONSTRUCTION ACTIVITY.

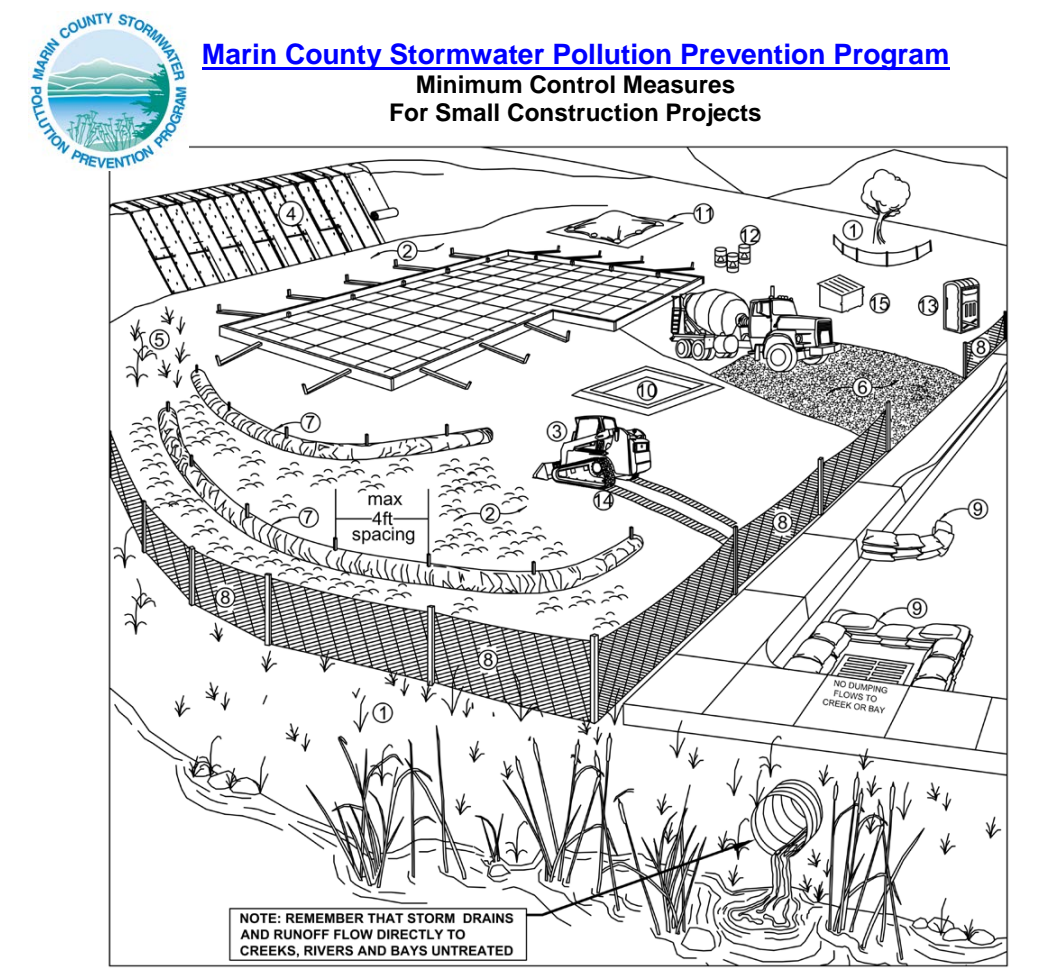
**ROAD/LANE CLOSURES**  
 NONE ARE ANTICIPATED AT THIS TIME. CONCRETE PUMPERS WILL BE ABLE TO PARK IN DRIVEWAY AND RED-MIX TRUCKS WILL BE AT THE CURB LINE. STILL ALLOWING TRAFFIC PASSAGE. PERMITS MUST BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS. ROAD CLOSURES REQUIRE POSTING SIGNS A MINIMUM OF 48 HOURS IN ADVANCE. COPIES OF THESE PERMITS MUST BE MAINTAINED AT THE JOB SITE FOR THE DURATION OF THE CLOSURE.

**PARKING**  
 PROJECT VEHICLES SHALL PARK ON THE PROJECT SITE AND CARPOOL FROM AN ACCEPTABLE PUBLIC LOT SUCH AS THE MANZANITA PARK AND RIDE. ANY PROJECT-RELATED WORKERS, CONTRACTORS, OR SUBCONTRACTORS UNABLE TO PARK ON-SITE WILL CARPOOL IN AN ACCEPTABLE VEHICLE OR SHUTTLE TO THE SITE. PARKING OF PROJECT VEHICLES IN THE PUBLIC RIGHT OF WAY SHALL BE BY APPROVAL OF THE DEPARTMENT OF PUBLIC WORKS ONLY. APPROVAL WILL BE GIVEN ONLY IF THE PROJECT DEMONSTRATES THAT NO ON-SITE PARKING IS FEASIBLE. CONTACT THE MILL VALLEY POLICE DEPARTMENT UP TO 3 PLACARDS ALLOWING PARKING IN THE RIGHT OF WAY. REFERENCE BLITHEDALE HIGHLANDS HOA PARKING REQUIREMENTS FOR THIS PROJECT BELOW.

**ENFORCEMENT**  
 FIRST OFFENCE VIOLATIONS OF ANY PORTION OF THE APPROVED CMP OR OTHER APPLICABLE CONSTRUCTION MANAGEMENT REQUIREMENTS WILL BE ADDRESSED BY A WRITTEN WARNING FROM THE CITY. ANY FURTHER OR SUBSEQUENT VIOLATIONS WILL BE ADDRESSED BY A STOP WORK ORDER.

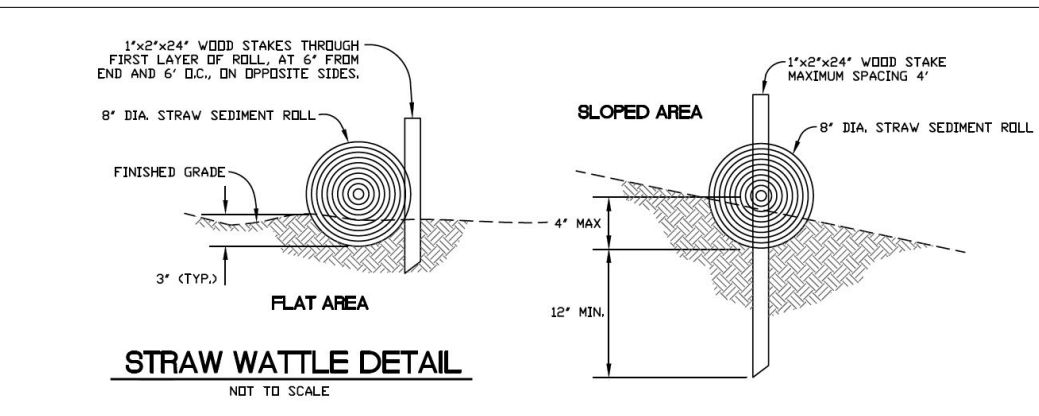
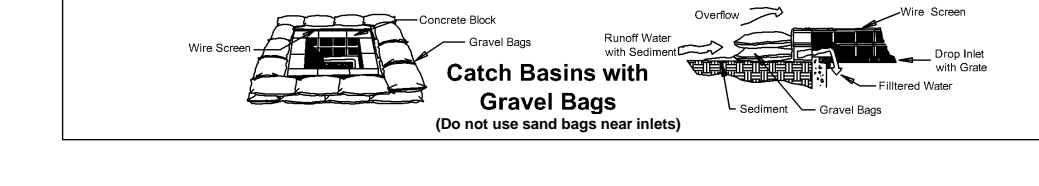
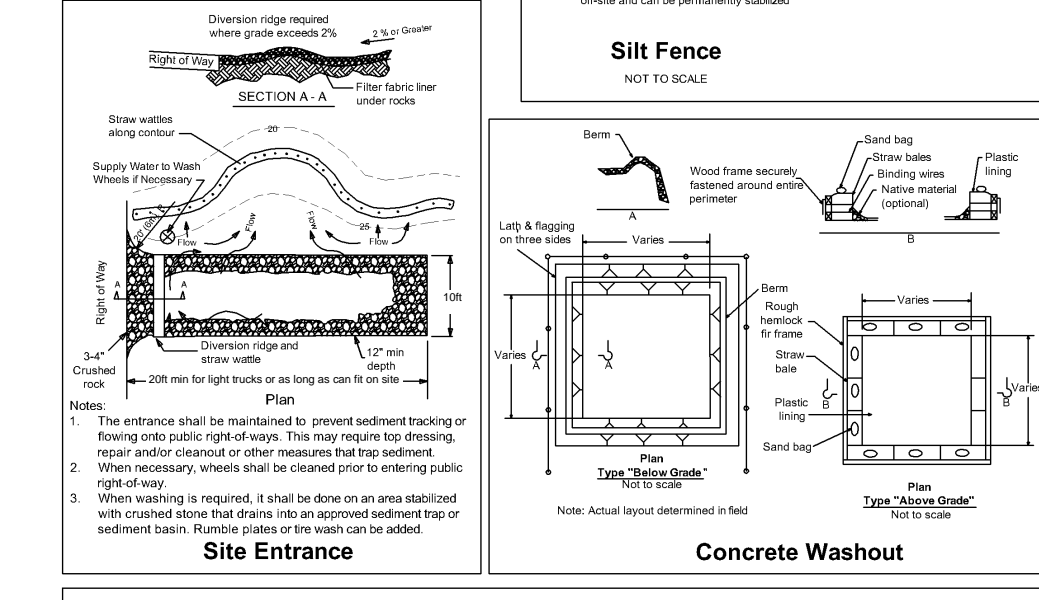
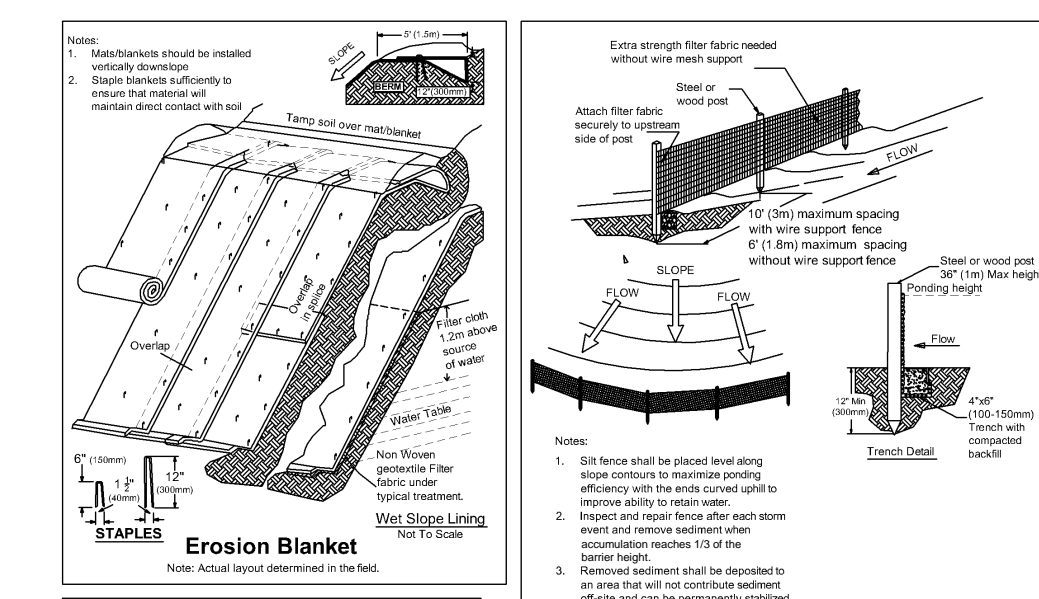
**CONTRACTOR:**  
 T.B.D.

**EROSION CONTROL AND SEDIMENT**  
 MINIMIZE SOIL DISTURBANCE AND EROSION BY EVALUATING NATURAL DRAINAGE PATTERNS AND IMPLEMENTING EROSION CONTROLS DURING CONSTRUCTION AND AFTER OCCUPANCY. DISPLACED TOPSOIL SHALL BE STOCKPILED FOR REUSE IN A DESIGNATED AREA AND COVERED OR PROTECTED FROM EROSION.



Erosion Controls			Sediment Controls			Good Housekeeping		
1. Preserve Vegetation & Creek Set Backs	6. Trackers Controls	10. Concrete Washout	1. Silt Fence	7. Fiber Rolls	11. Stockpile Management	1. Silt Fence	8. Soil Preparation/ Roughening	12. Hazardous Material Management
2. Soil Cover	8. Drain Inlet Protection	13. Sanitary Waste Management	2. Erosion Control Blankets	9. Drain Inlet Protection	14. Equipment and Vehicle Maintenance	2. Erosion Control Blankets	10. Trench Dewatering	15. Litter and Waste Management
3. Soil Preparation/ Roughening	11. Sanitary Waste Management	15. Litter and Waste Management	3. Revegetation	12. Trench Dewatering	15. Litter and Waste Management	3. Revegetation	13. Sanitary Waste Management	15. Litter and Waste Management

Note: Select an effective combination of control measures from each category. Erosion Control, Sediment Control, and Good Housekeeping. Control measures shall be continually implemented and maintained throughout the project until activities are complete. Disturbed areas are stabilized with permanent erosion controls, and the local agency has signed off on permits that may have been required for the project. Inspect and maintain the control measures before and after rain events, and as required by the local agency or state permit. More detailed information on the BMPs can be found in the related California Stormwater Quality Association (CASQA) and California Department of Transportation (Caltrans) BMP Factbooks. CASQA factbooks are available by subscription in the California Stormwater Quality Association (CASQA) website at <http://www.casqa.org>. Caltrans factbooks are available in the Construction Site BMP Manual March 2003 at <http://www.dgs.ca.gov/soilconstruction/soilcontrolmanual.htm>. Visit [www.mndpsp.org](http://www.mndpsp.org) for more information on construction site management and Erosion and Sediment Control Plans.

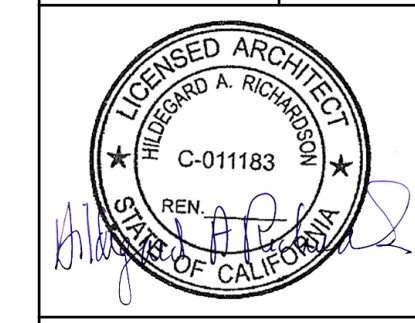


1 (P) SITE PLAN  
 Scale: 1/8" = 1'-0"

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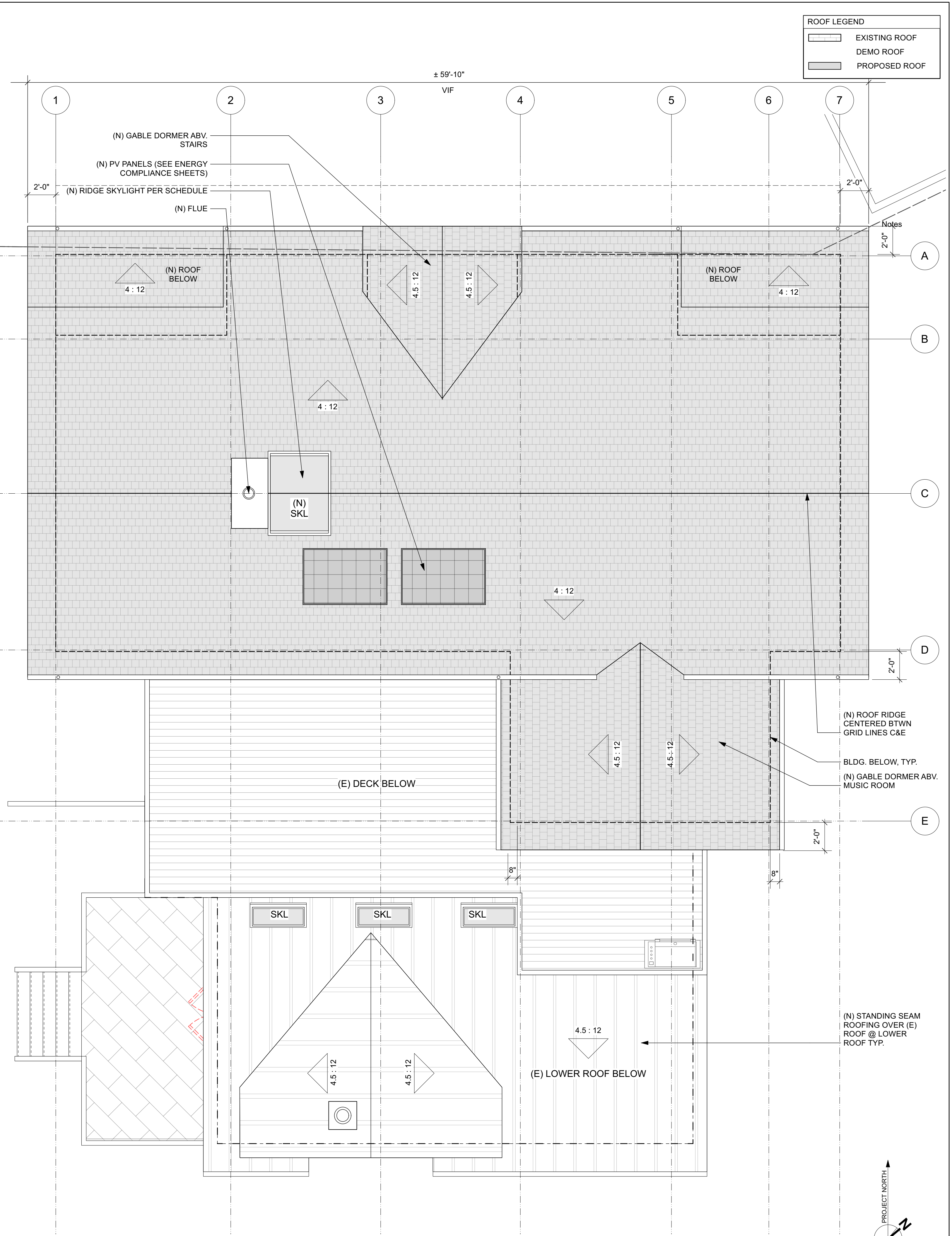
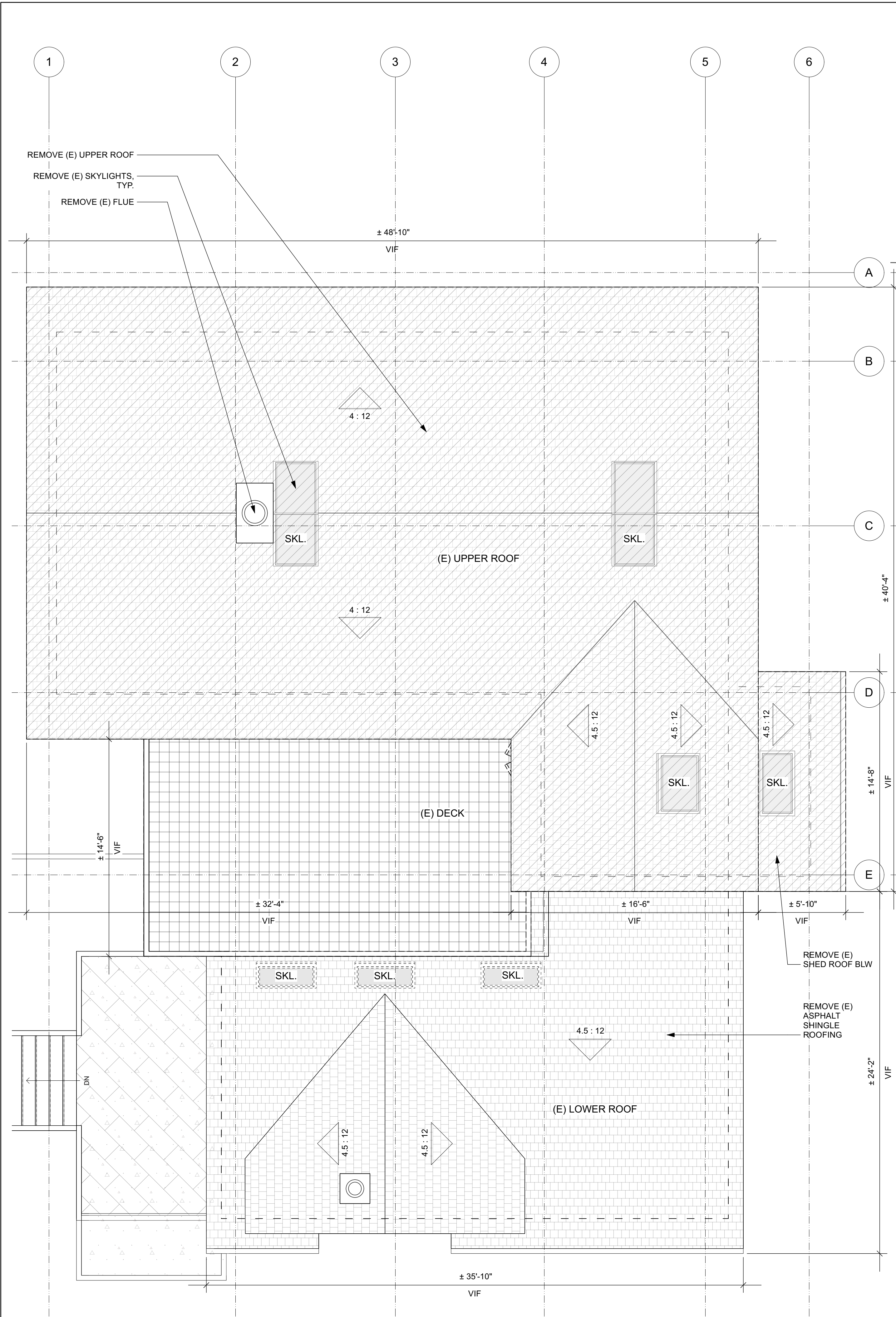
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 SCALE: \_\_\_\_\_

(P) SITE PLAN  
**A1.1**



**ROOF LEGEND**

	EXISTING ROOF
	DEMO ROOF
	PROPOSED ROOF

1 (E) ROOF PLAN  
Scale: 1/4" = 1'-0"

2 (P) ROOF PLAN  
Scale: 1/4" = 1'-0"

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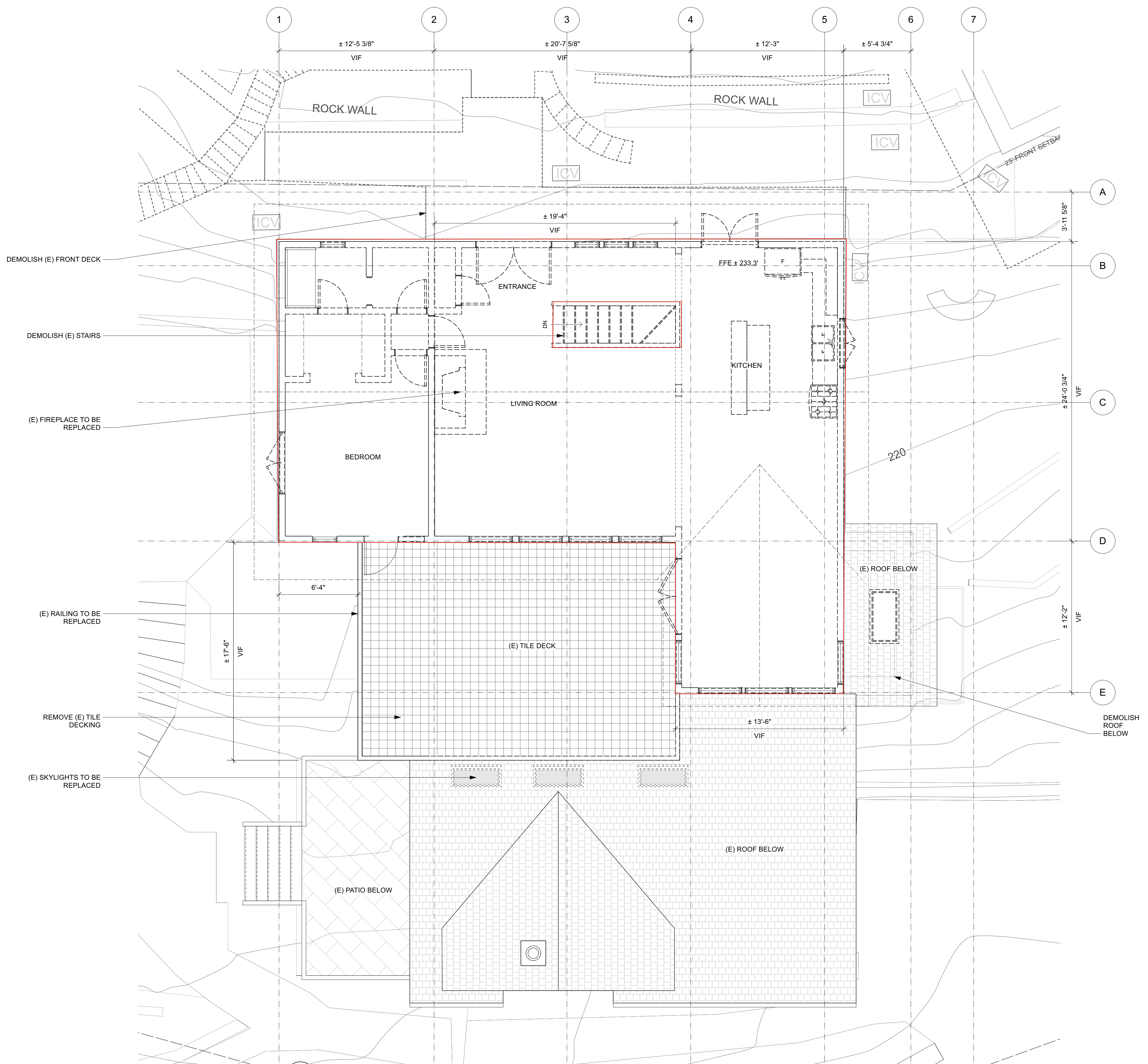
ROOF PLAN

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RENEWED 12/15/19  
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**A1.2**





**WALL LEGEND**

	EXISTING WALL
	DEMO WALL/FIXT.
	PROPOSED WALL

- DEMOLISH (E) FRONT DECK
- DEMOLISH (E) STAIRS
- (E) FIREPLACE TO BE REPLACED
- (E) RAILING TO BE REPLACED
- REMOVE (E) TILE DECKING
- (E) SKYLIGHTS TO BE REPLACED

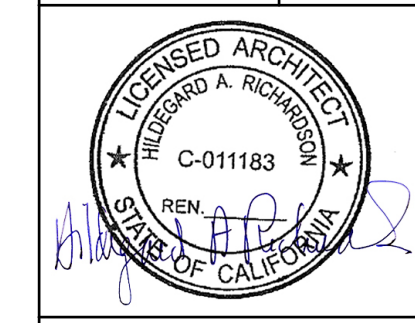
**2 (E) UPPER FLOOR PLAN**  
Scale: 1/4" = 1'-0"

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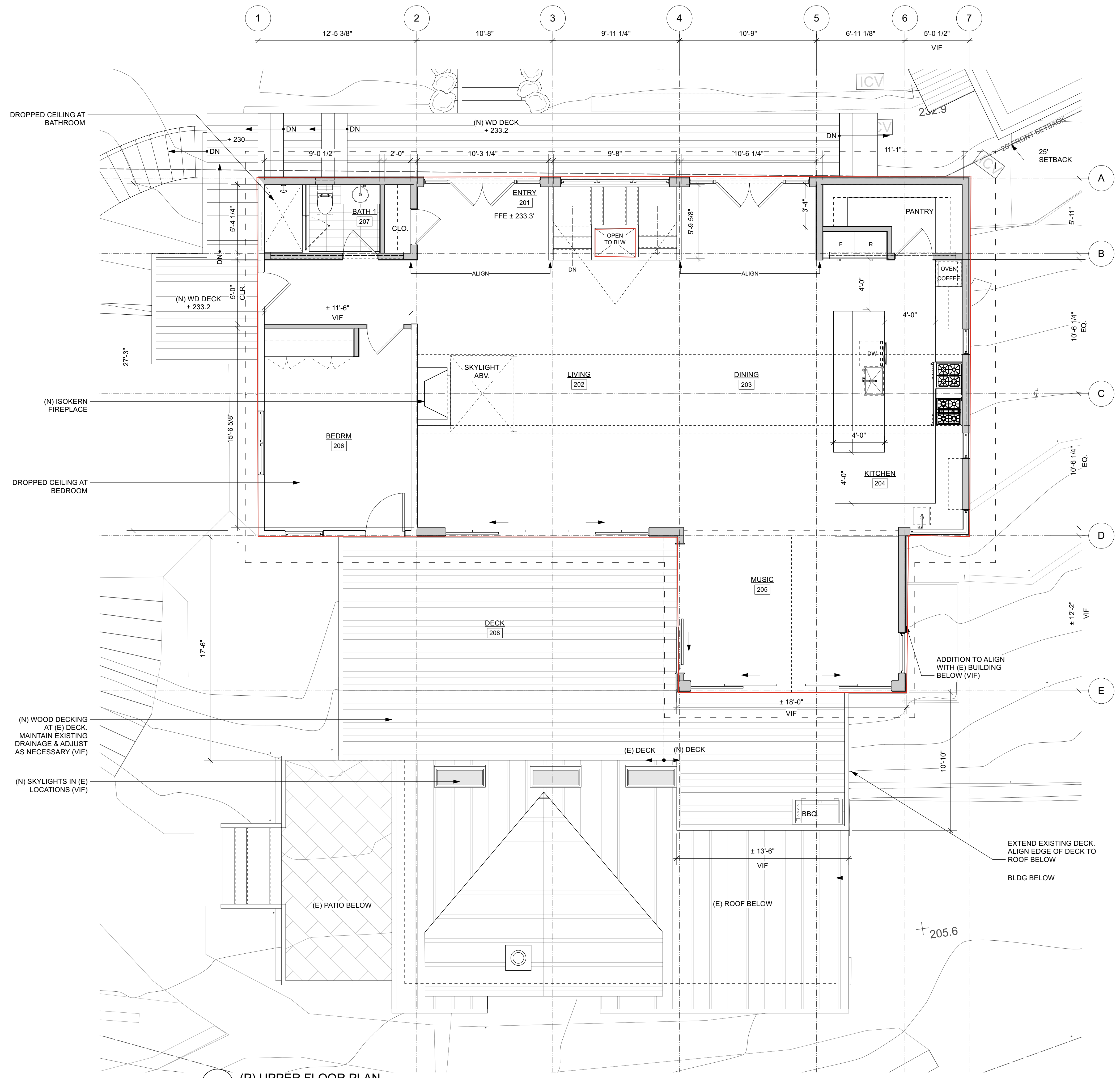
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DATE: 2/12/24  
SCALE: -

**A1.3**

(E) UPPER FLOOR PLAN



**WALL LEGEND**

[Line with dots]	EXISTING WALL
[Dashed line]	DEMO WALL/FIXT.
[Solid line]	PROPOSED WALL

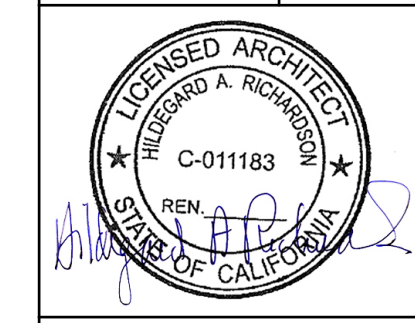
1 (P) UPPER FLOOR PLAN  
Scale: 1/4" = 1'-0"

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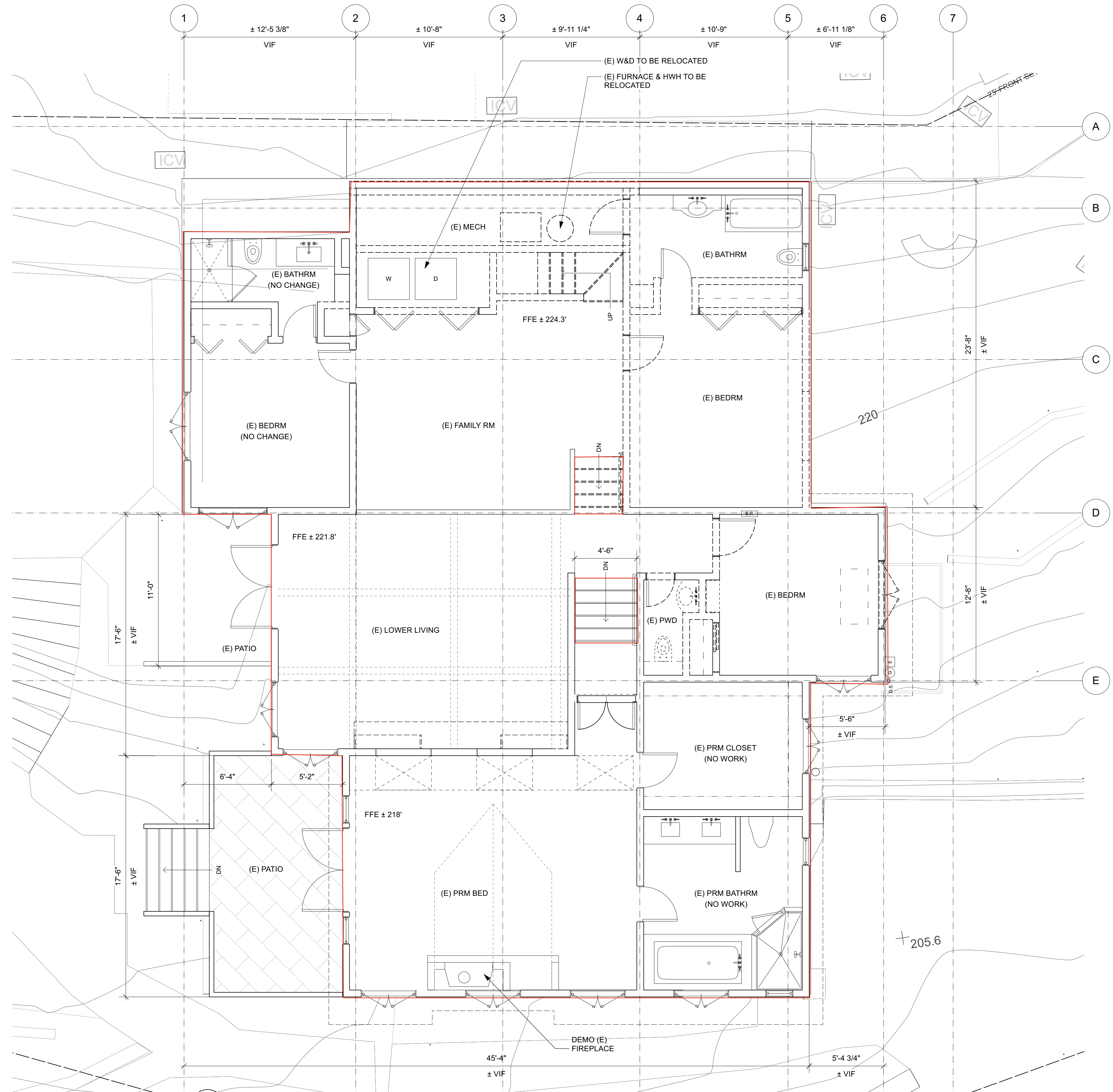
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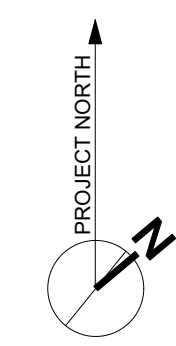
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SCALE: -

(P) UPPER FLOOR PLAN  
**A1.4**

WALL LEGEND	
	EXISTING WALL
	DEMO WALL/FIXT.
	PROPOSED WALL



1 (E) LOWER FLOOR PLAN  
Scale: 1/4" = 1'-0"

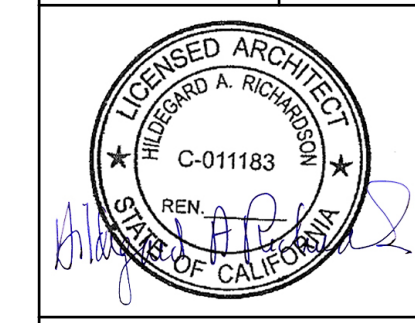


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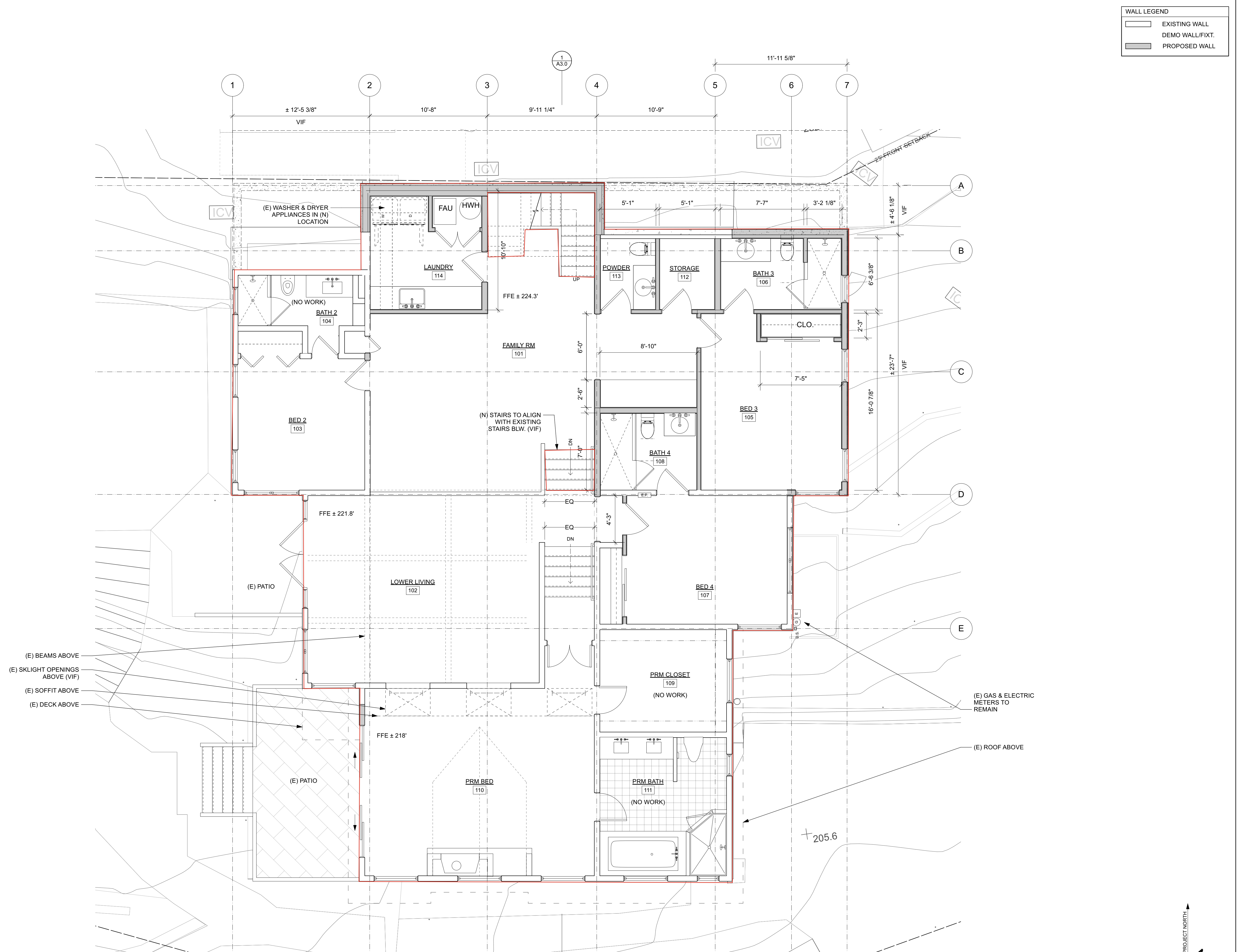
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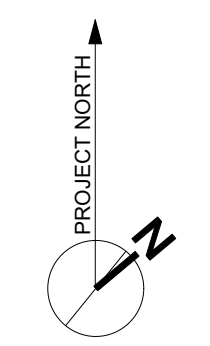


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SCALE: -

**A1.5**



3 (P) LOWER FLOOR PLAN  
Scale: 1/4" = 1'-0"



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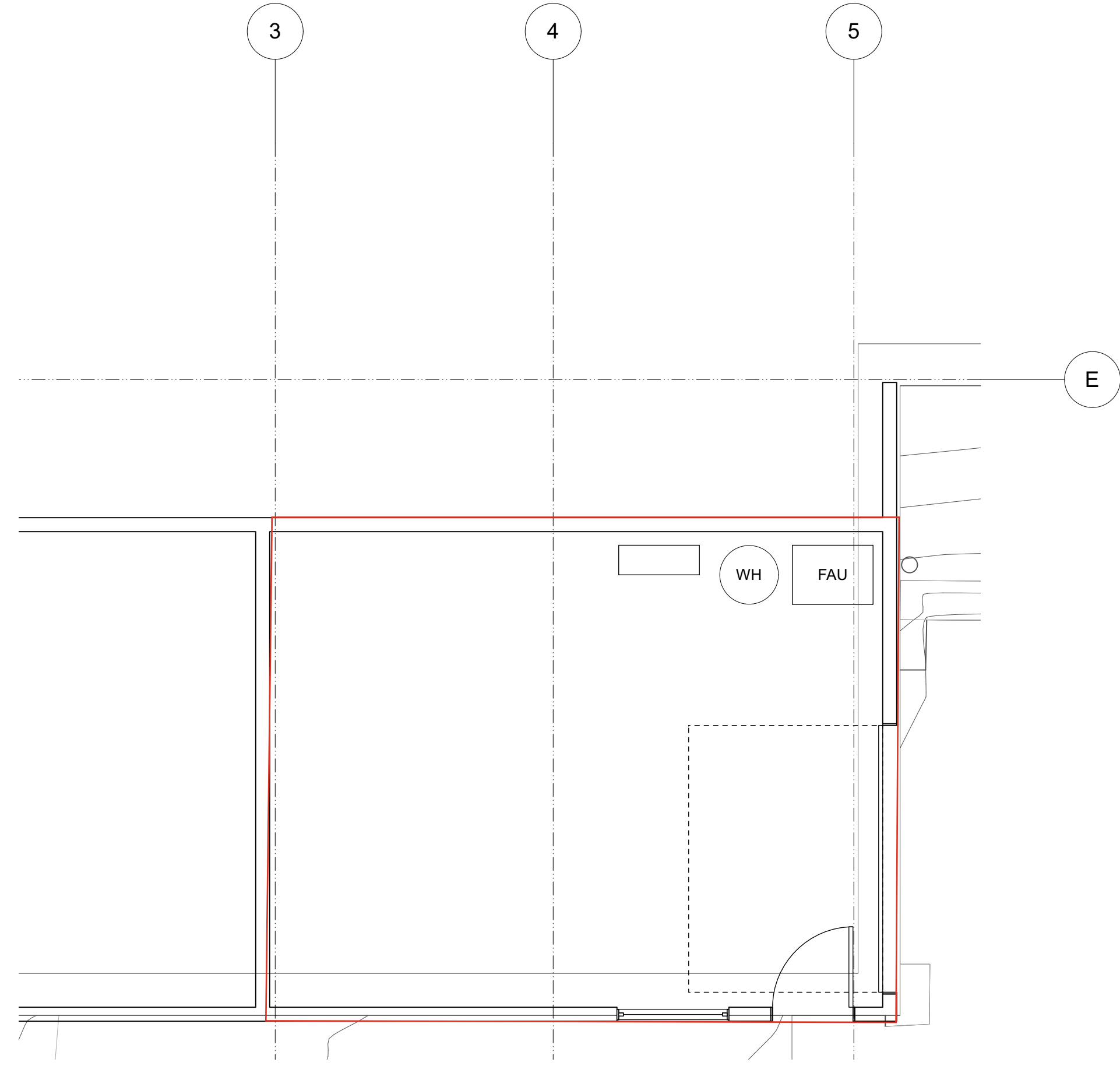
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(P) LOWER FLOOR PLAN

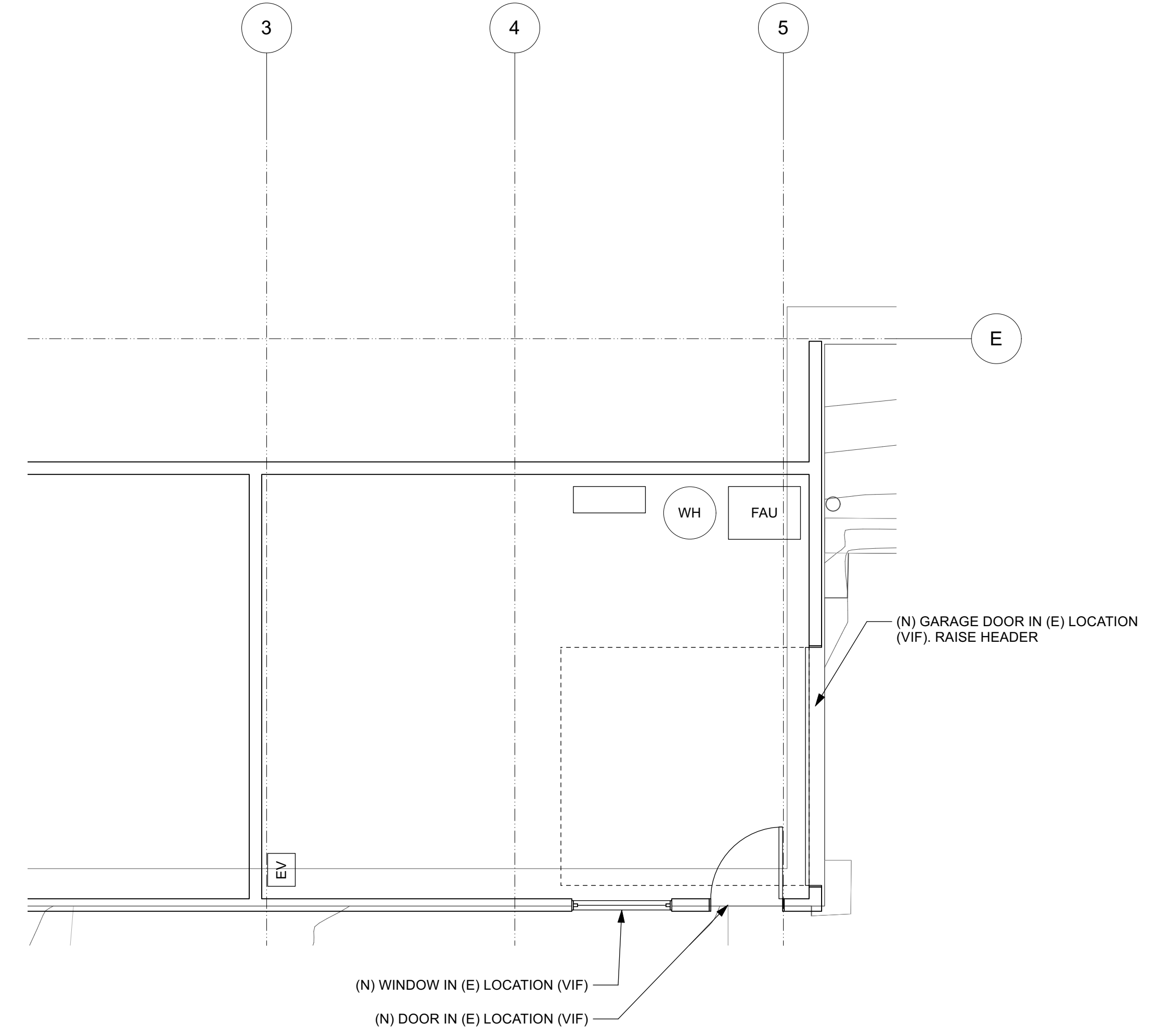
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C-011183  
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STATE OF CALIFORNIA

DRAWN BY: fdb  
DATE: 2/12/24  
SCALE: -

**A1.6**



1 (E) LOWER GARAGE PLAN  
Scale: 1/4" = 1'-0"



2 (N) LOWER GARAGE  
Scale: 1/4" = 1'-0"

WALL LEGEND	
	EXISTING WALL
	DEMO WALL/FIXT.
	PROPOSED WALL

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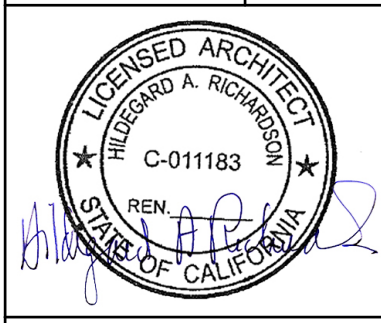
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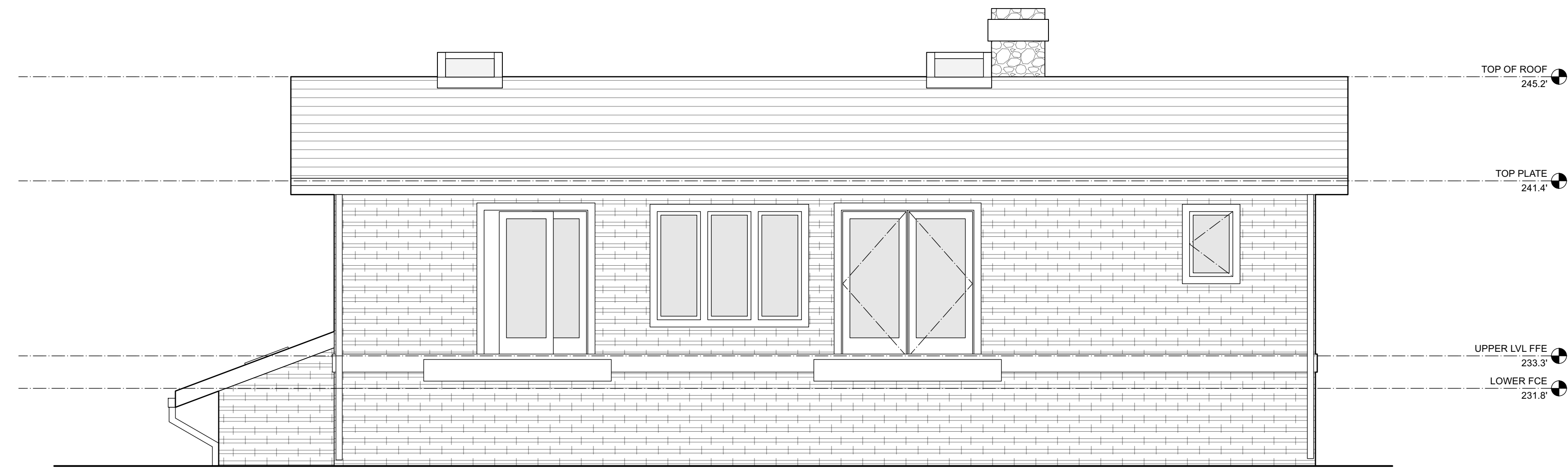
**GARAGE FLOOR PLAN**



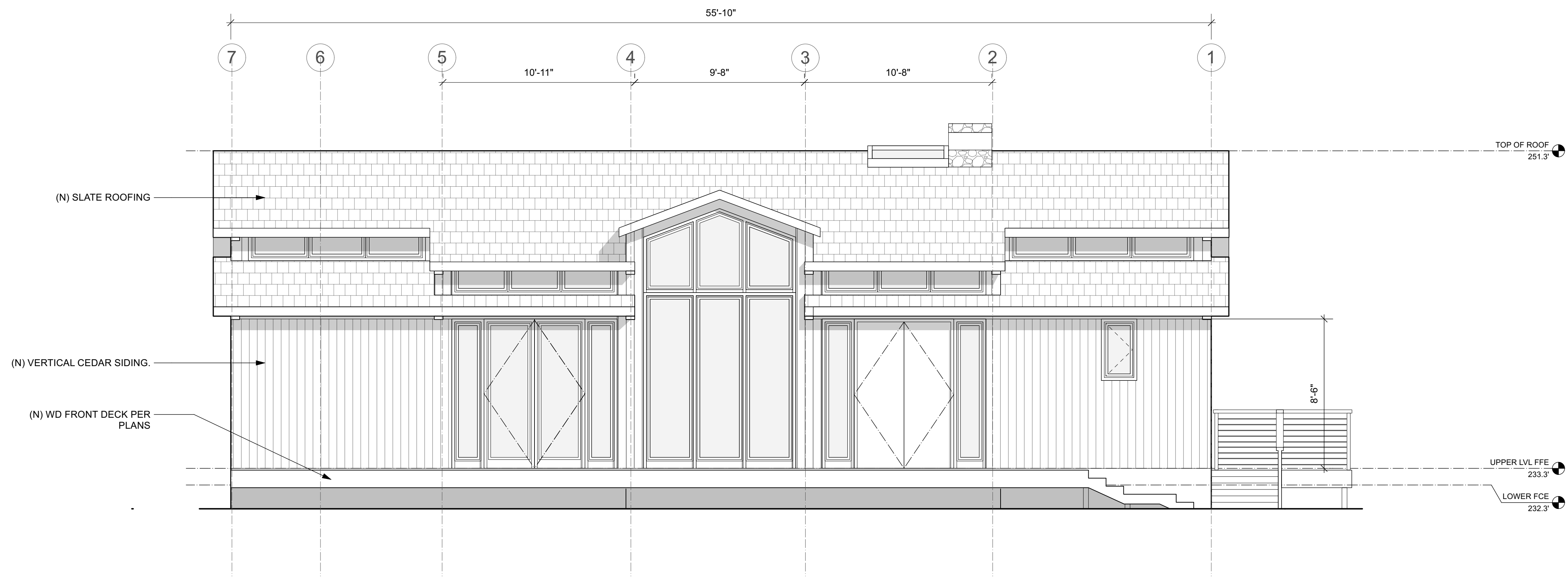
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DATE: 2/12/24  
SCALE: -

**A1.7**

NOTE: REMOVE (E) SHINGLE SIDING THROUGHOUT



1 EXISTING NORTH ELEVATION  
Scale: 1/4" = 1'-0"



2 PROPOSED NORTH ELEVATION  
Scale: 1/4" = 1'-0"

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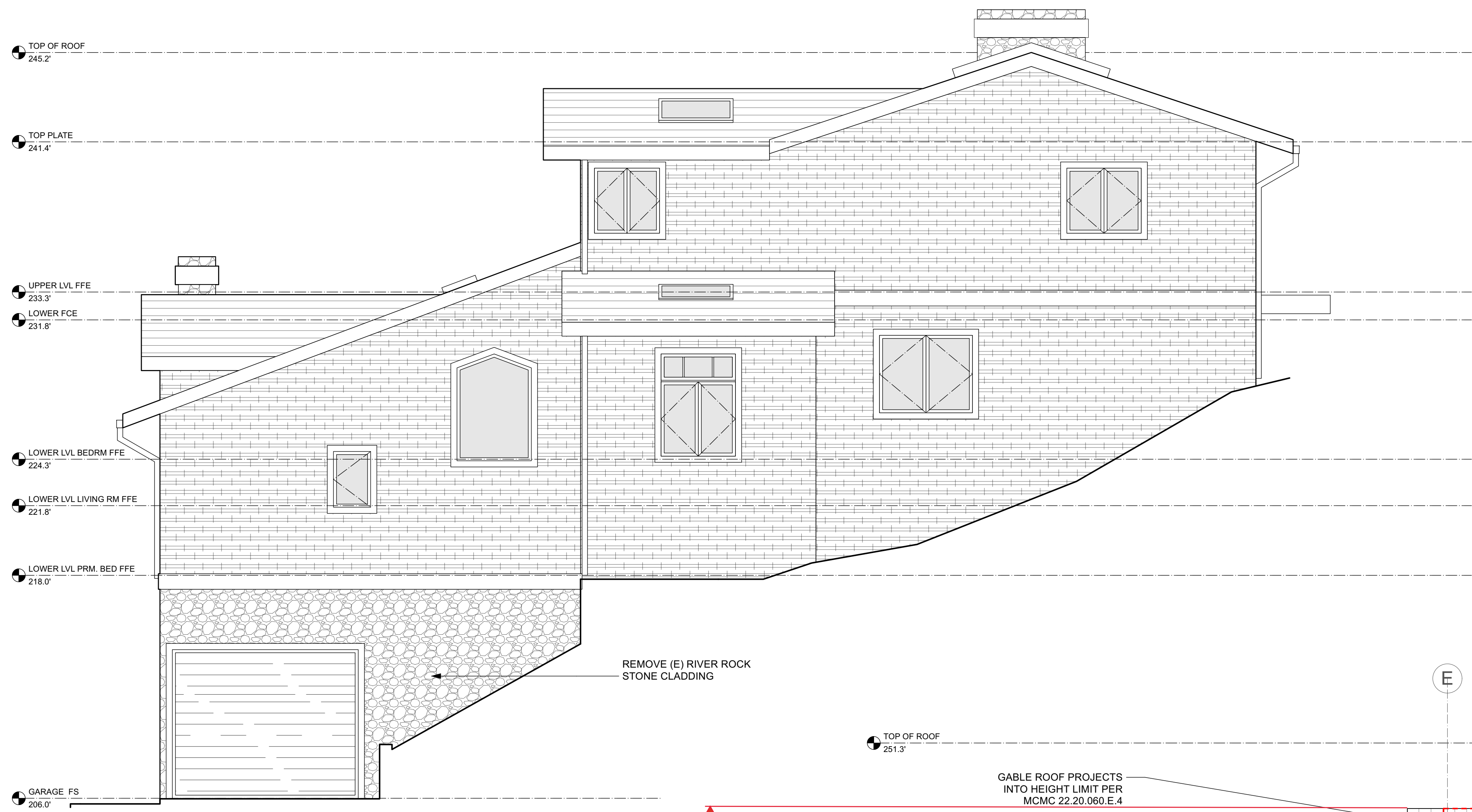
NORTH ELEVATIONS



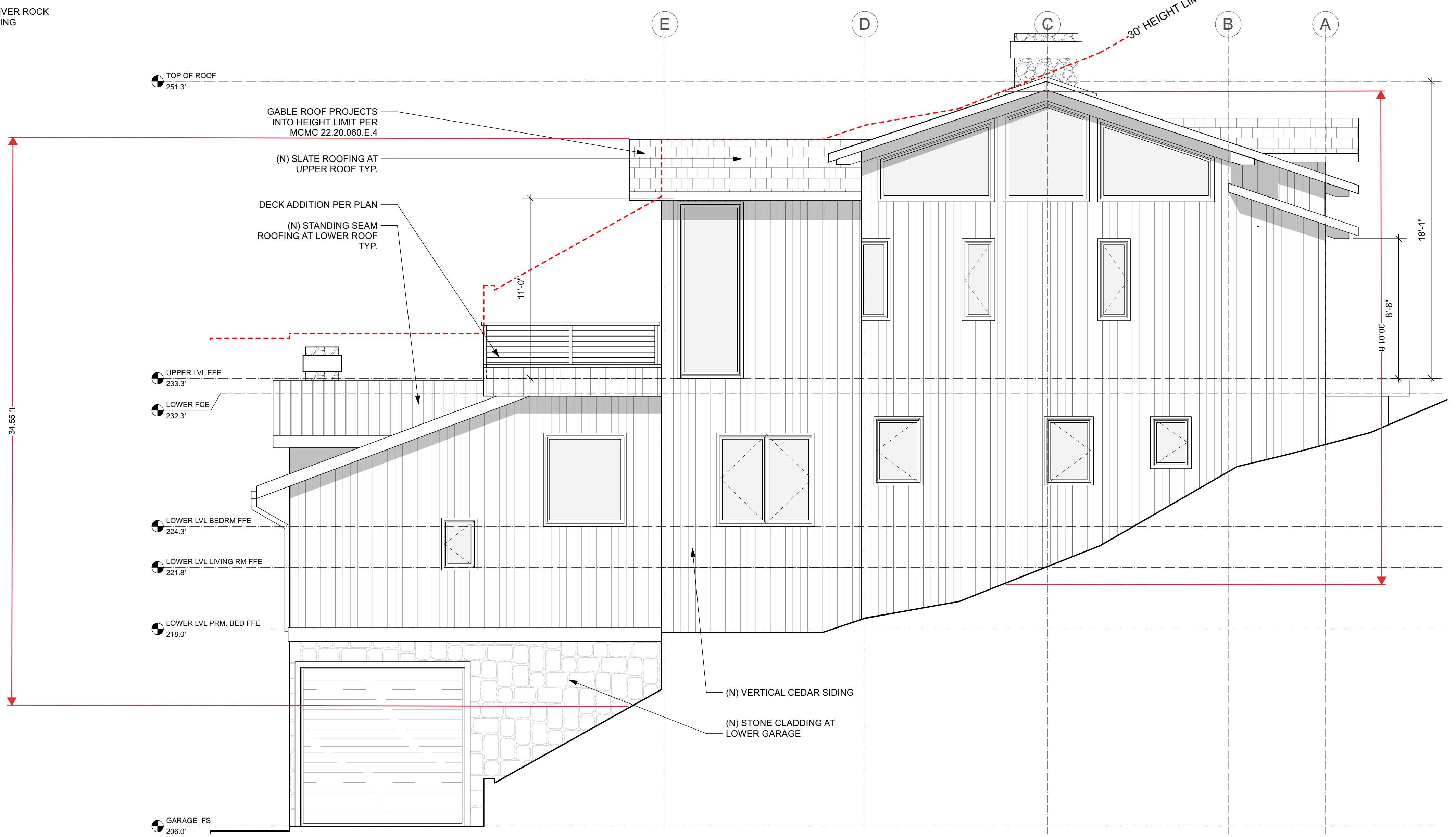
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DATE: 2/12/24  
SCALE: -

A2.0

NOTE: REMOVE (E) SHINGLE SIDING THROUGHOUT



1 EXISTING EAST ELEVATION  
Scale: 1/4" = 1'-0"



2 PROPOSED EAST ELEVATION  
Scale: 1/4" = 1'-0"

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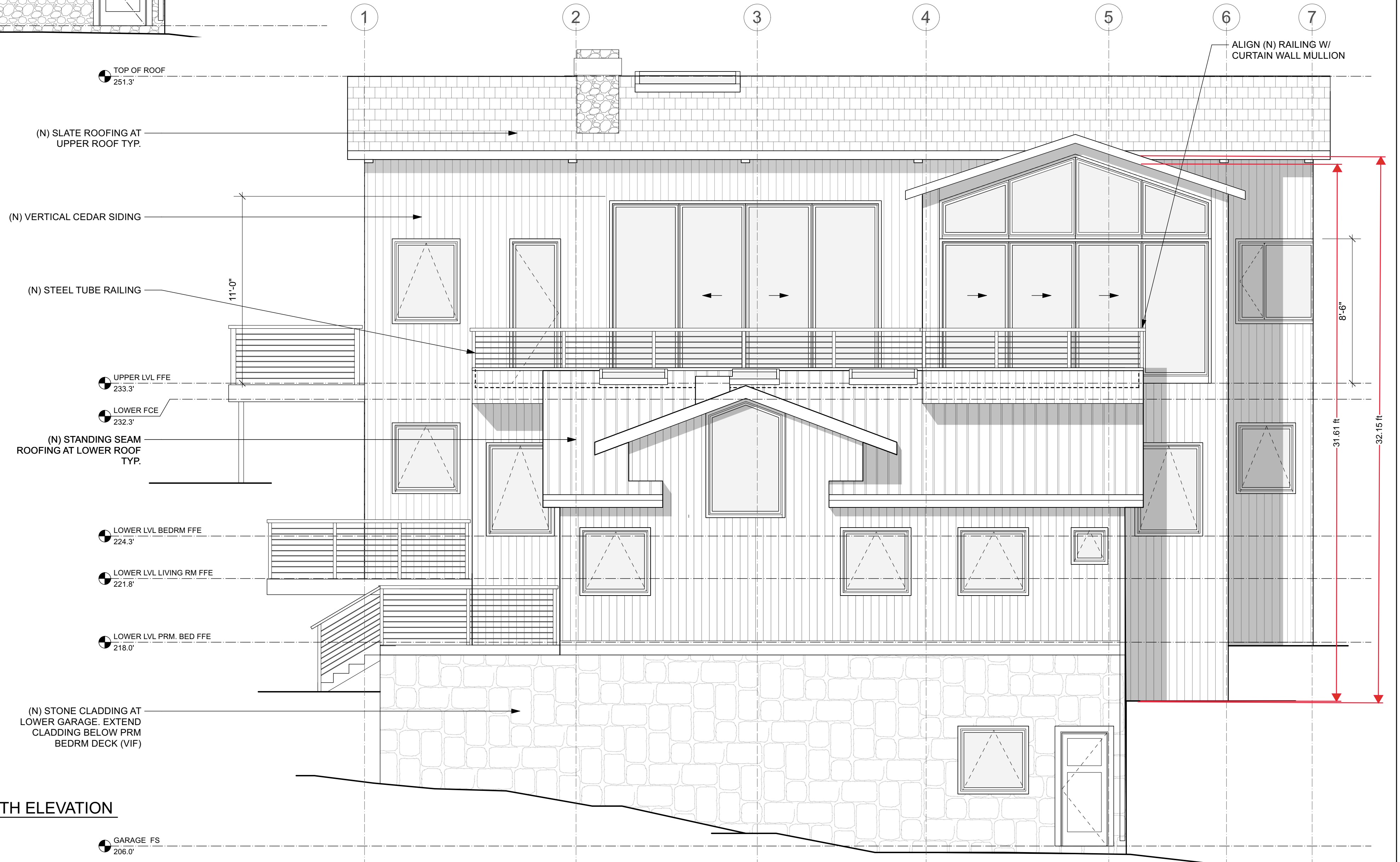
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SCALE: -

**A2.1**



NOTE: REMOVE (E) SHINGLE SIDING THROUGHOUT

1 EXISTING SOUTH ELEVATION  
Scale: 1/4" = 1'-0"



2 PROPOSED SOUTH ELEVATION  
Scale: 1/4" = 1'-0"

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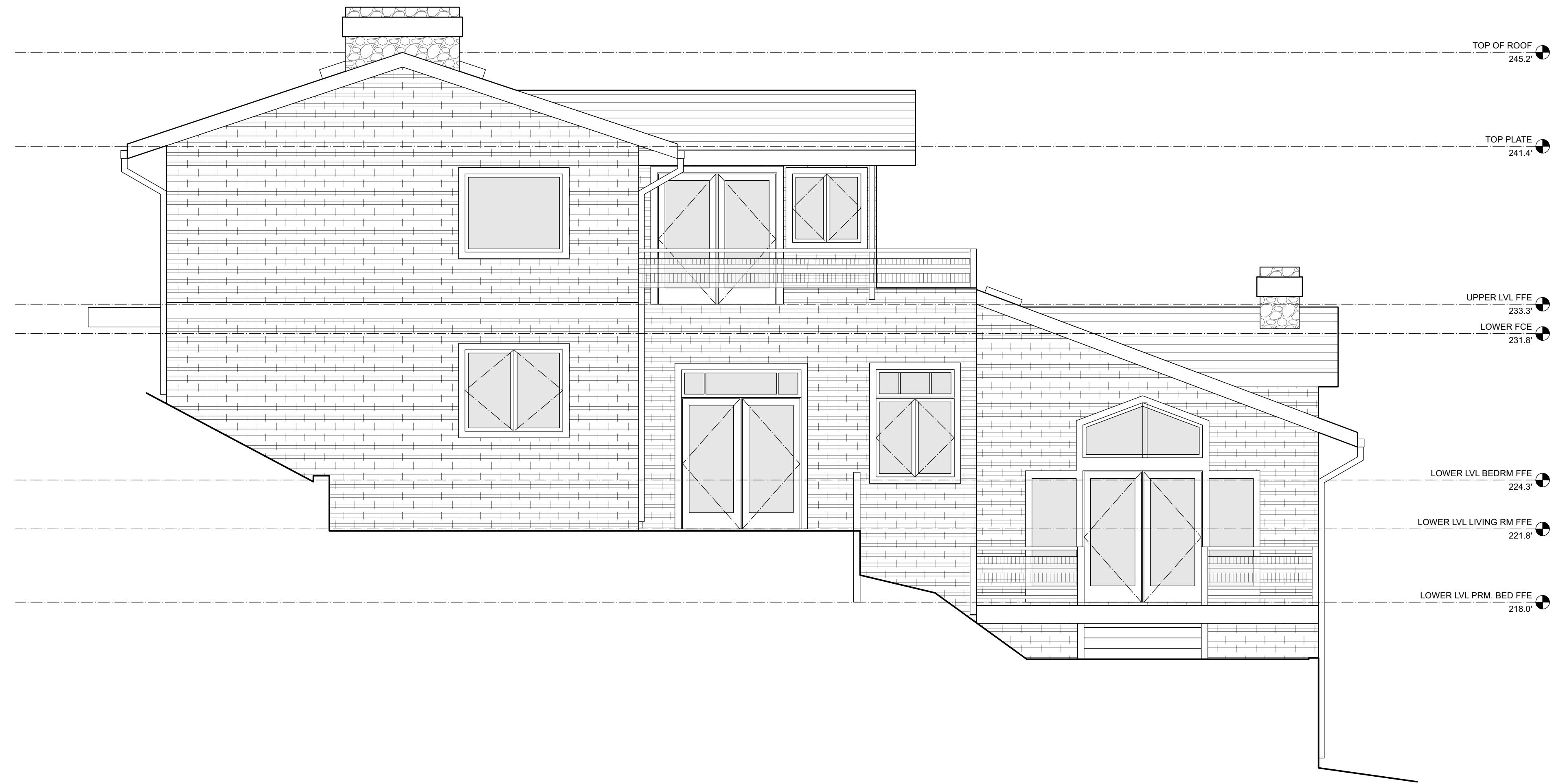


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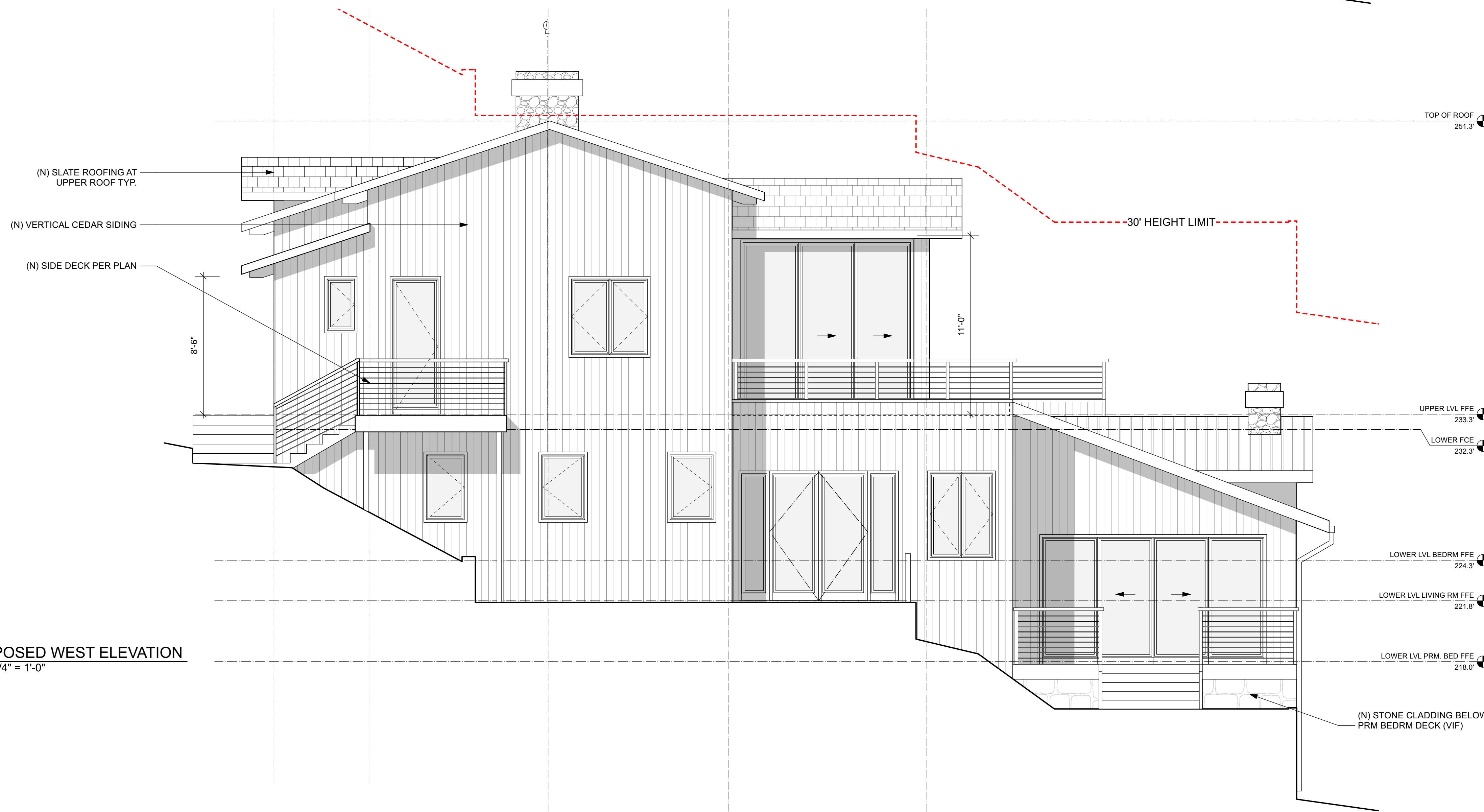
**A2.2**



1 EXISTING WEST ELEVATION  
Scale: 1/4" = 1'-0"



2 PROPOSED WEST ELEVATION  
Scale: 1/4" = 1'-0"



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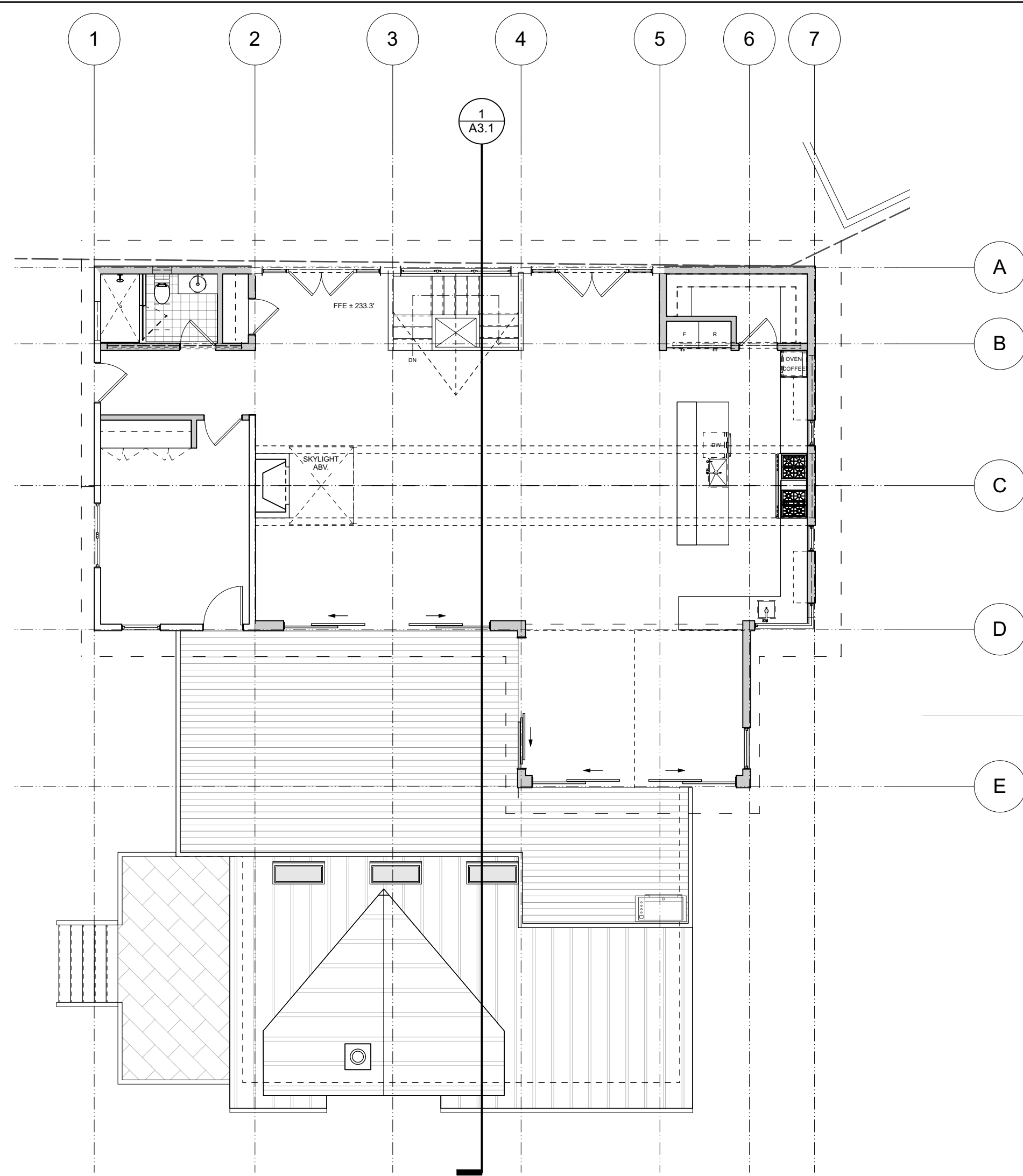
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WEST ELEVATIONS

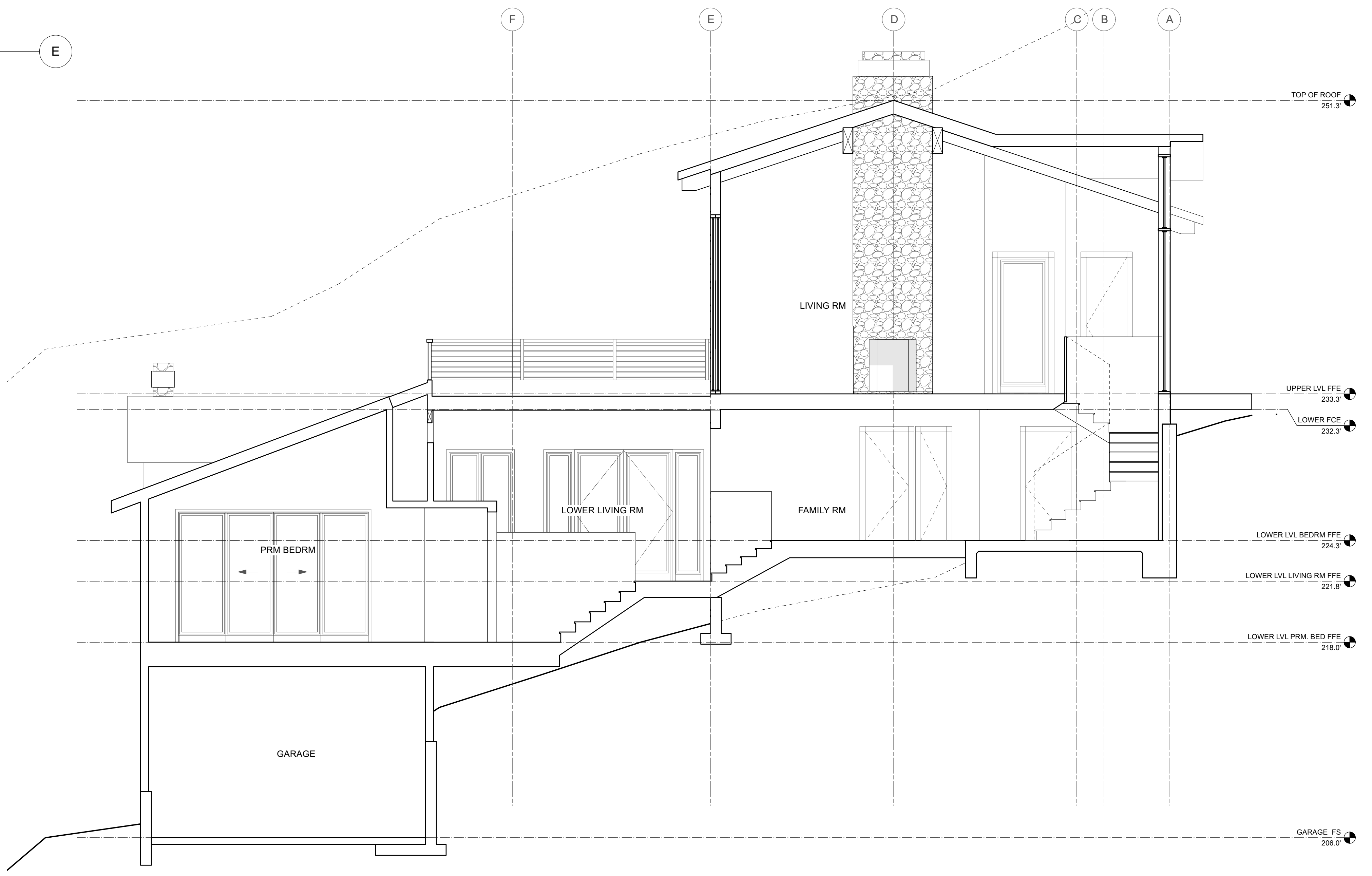


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**A2.3**



**(P) UPPER FLOOR PLAN**  
Scale: 1/8" = 1'-0"



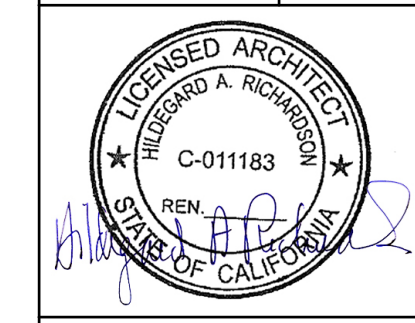
**1 PROPOSED SECTION A**  
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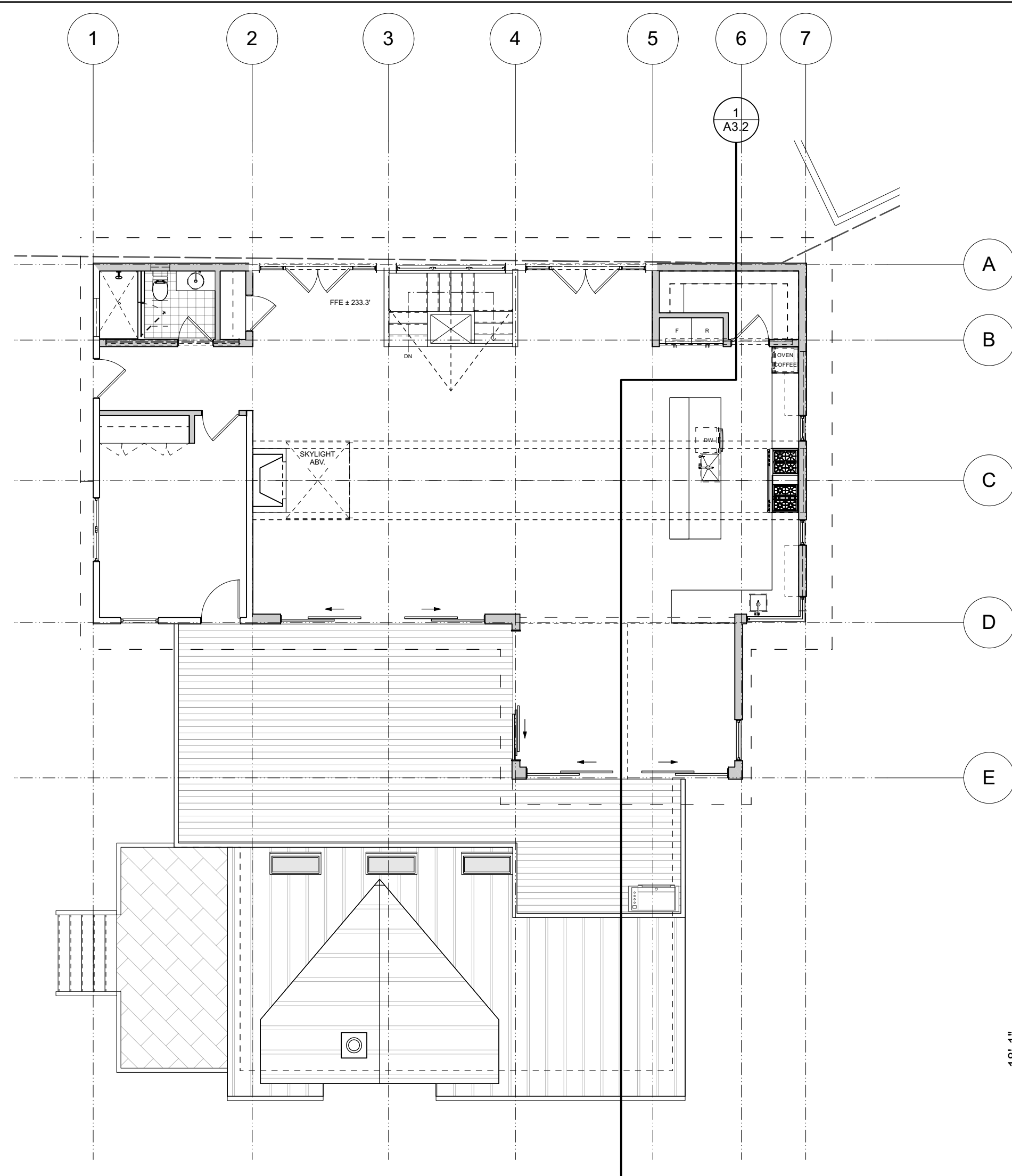
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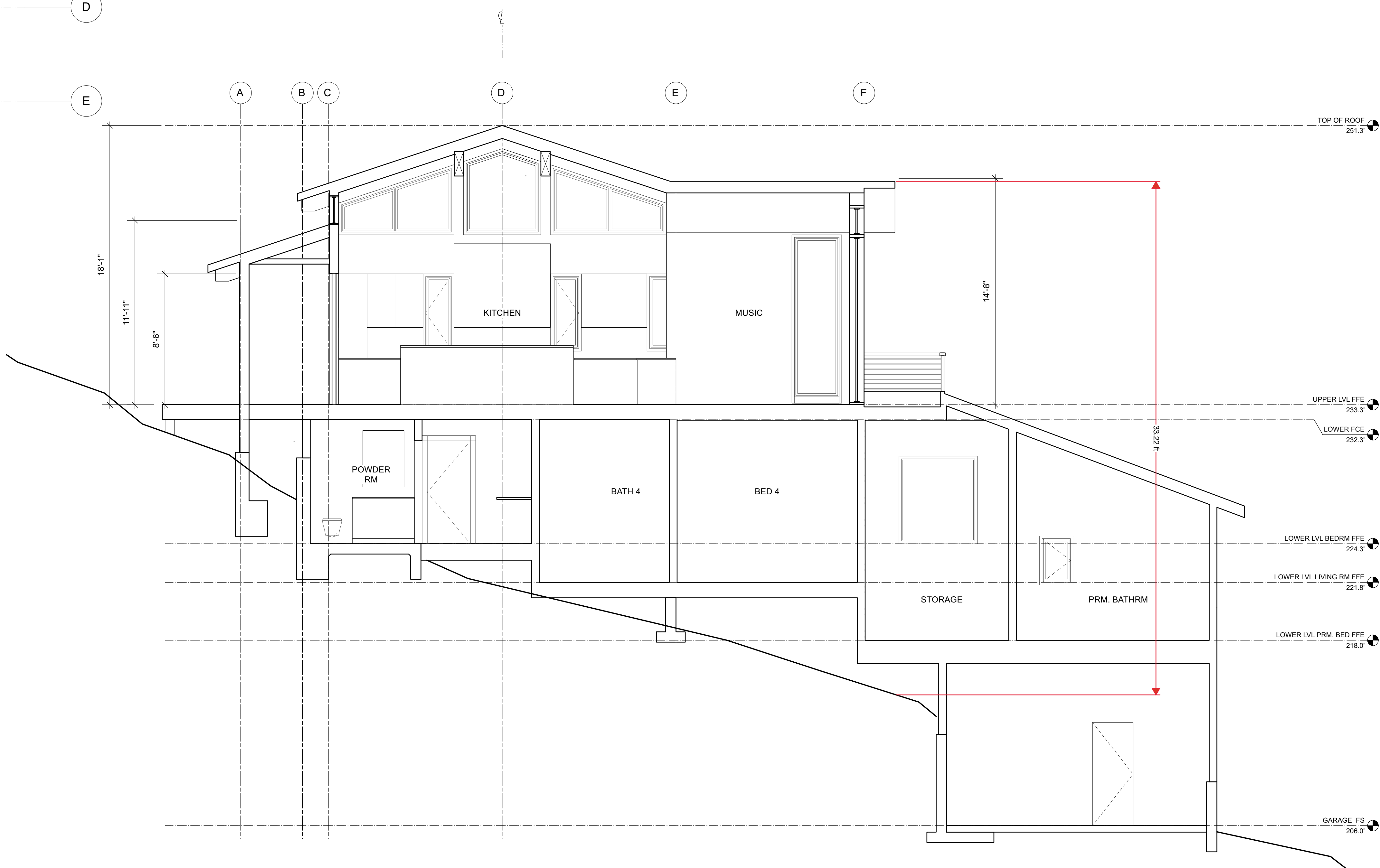


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**A3.0**



**(P) UPPER FLOOR PLAN**  
Scale: 1/8" = 1'-0"



**1 PROPOSED SECTION B**  
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**SECTION B**

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**A3.1**