



PROJECT INFORMATION

Project Name:
Lower Lot Development

Project Address:
151 Harvard Ave,
Mill Valley, Ca 94942

Assessor Parcel Number (APN):
051-082-05

Zoning Designation:
R-1 B-1

Owner:
Evenson Friedman Revocable Trust
Tel: 619-809-8332

Project Design/Management
Itay Friedman
151 Harvard Ave,
Mill Valley, CA 94941
Tel: 619-809-8332

00 Title Sheet
TS100 Title Sheet

01 Survey
1 Topographic Map
2 Record of Survey

02 Civil
C1 Cover Sheet
C2 Grading/Drainage Plan
C3 Details

03 Architectural
101 Existing Site Plan
102 Proposed Site Plan
112 Driveway / Carport Plan
113 Carport Roof Plan
201 California Ave Elevation
202 East Elevation
203 West Elevation
301 Driveway Section

Exhibits
EX101 Easement Agreement

PROJECT DATA

Overlay Zone:
Wildland Urban Interface

Assessor Parcel Number (APN):
051-082-05

Zoning Designation:
R-1 B-1

Lot Area: Per Survey
2,817 Sq. Ft.

Lot Area: Vested Right to Middle of Road:
Harvard Ave: 767.54 Sq. Ft.
California Ave: 761.92 Sq. Ft.
Total: 4,346.46 Sq. Ft.

Floor Area of Single Family Residence:
Ground Level: 916 Sq. Ft.
Loft: 353 Sq. Ft.

Construction Type:
V-B

Occupancy Type:
R-1

Project Benchmark
California Ave

Front Setbacks:
25'-0"

Side Yard Setback:
5'-0" (3' - 0" for Decks)

Rear Setback:
25' - 0" (Resulting in unreasonable restriction)

Existing Deck Surface Area:
491.15 Sq. Ft. (See 101 for existing deck)

Proposed Carport/Deck Area:
928.56 Sq. Ft.

Existing Parking on Property:
One (1) Garage parking (214 Sq. Ft.)

Proposed Parking on Property:
Two (2) tandem covered carport spaces

Impervious Surfaces:
Existing: 212.59 Sq. Ft.
Proposed: 103.41 Sq. Ft.
Total: 316 Sq. Ft.

SCOPE OF WORK

Lower lot development, including new tandem parking with a partial, dual acting carport and roof deck addition to the existing deck structure to allow for covered parking. Landscaping development in area between proposed parking platform and existing road reserved for future widening to 20' per EX104 - EX106

Project Directory

Designer
IF Bespoke Planning &
Design Consultant CA
151 Harvard Ave,
Mill Valley, CA 94942
Itay Friedman; Principal
Ph: (619) 809-8332
Email: itay@itayfriedman.com

Draftsman
Kyle Peters
Email: Kyle@itayfriedman.com

Client
Evenson Friedman Revocable Trust
151 Harvard Ave,
Mill Valley, CA 94942
Ph: (619) 809-8332
Email: Itay@itayfriedman.com

Soil Engineer
Olmes P.E., Inc.
7915 Crest Avenue
Oakland, CA 94605
Dave Olmes
Ph: (510) 568-2162
Email: davednes@sbccdbal.net

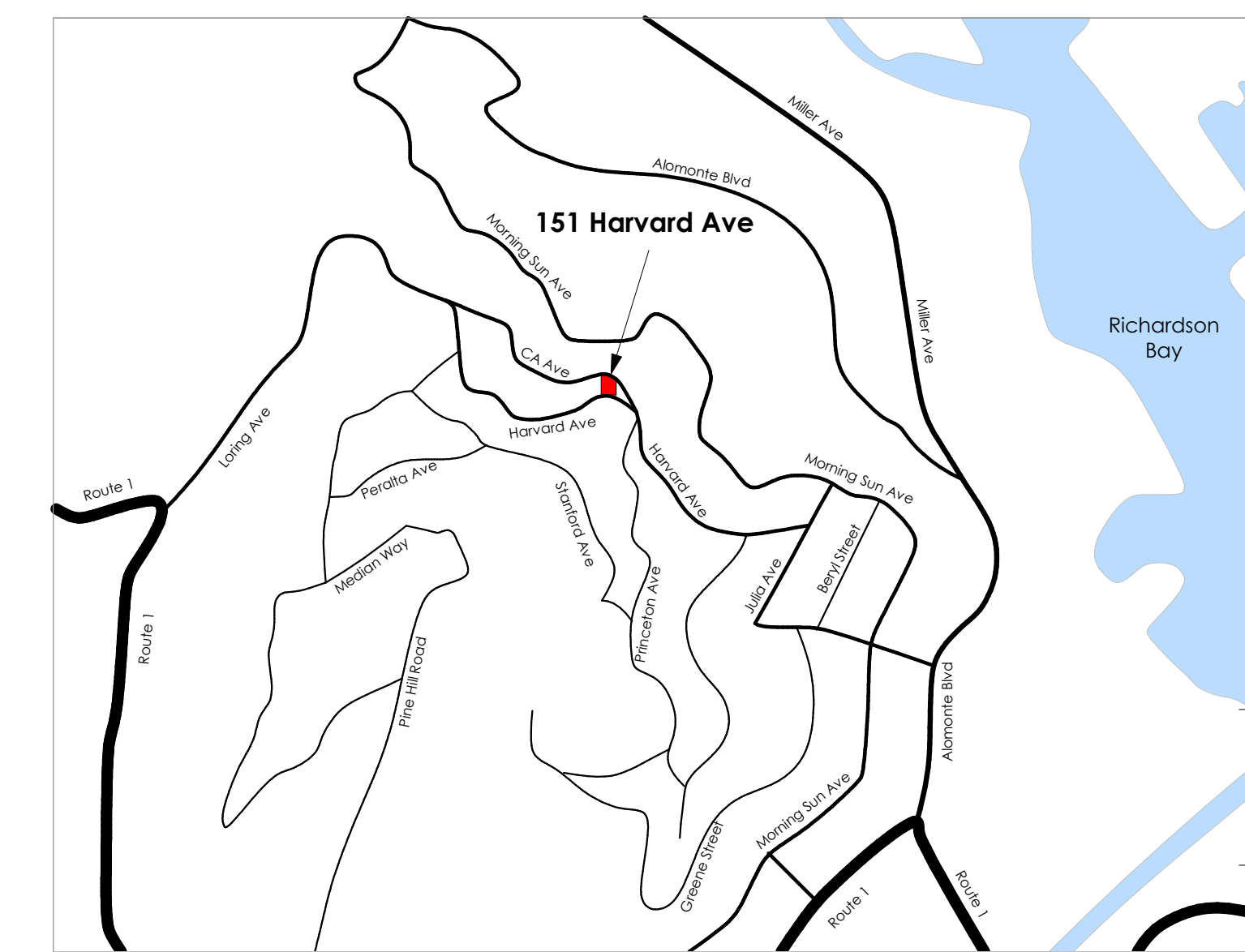
Structural Engineer
TBD
Street Address
City, State, Zip
Company Contact
Ph: Company Contact Phone
Email: Company Contact Email

Civil Engineer
MCE Civil Engineering and Land
Surveying
513 Center Street
Healdsburg, CA 95448
Dan Hughes, Principal
Ph: (707) 395-0968

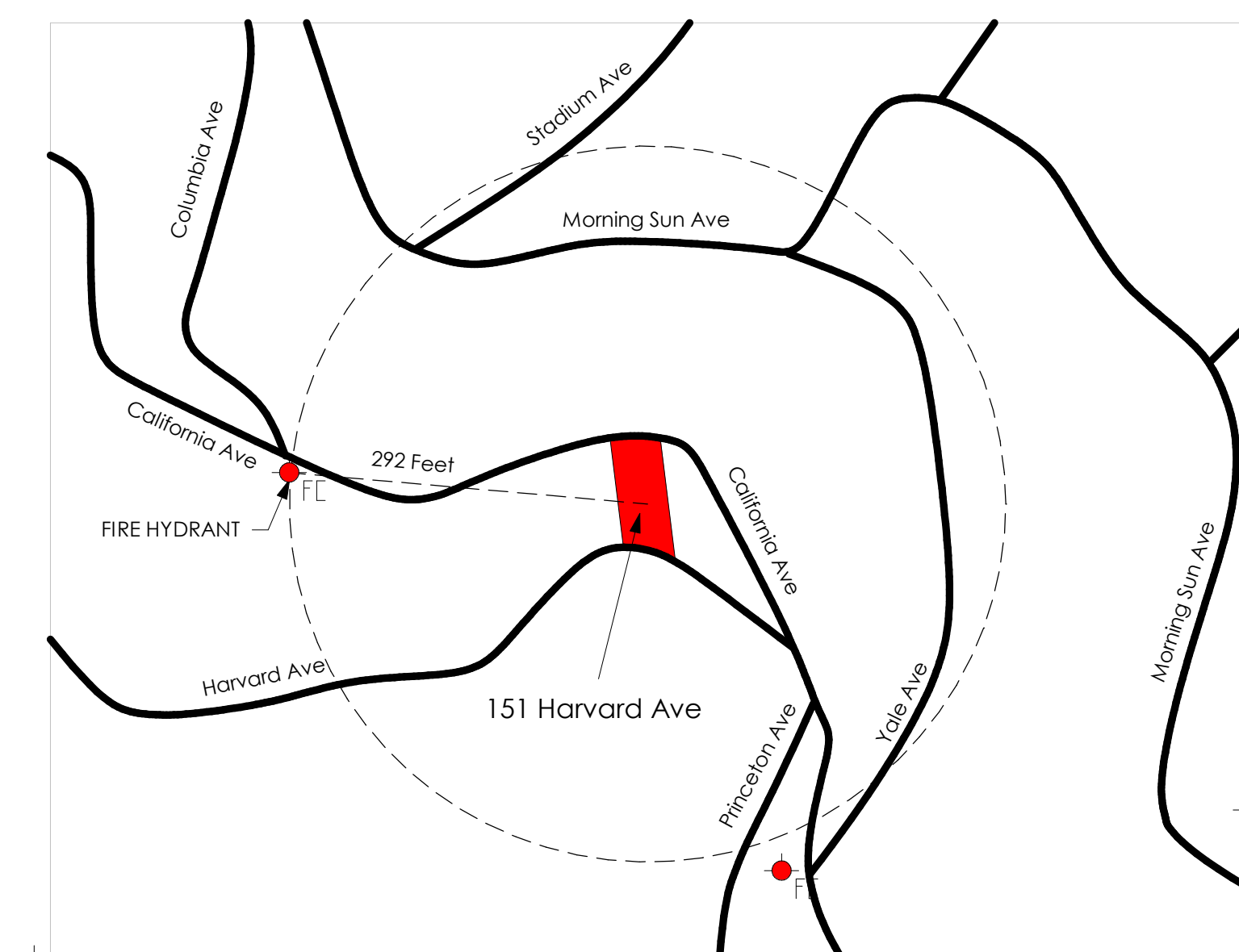
CODE COMPLIANCE

2022 California Building Code
2022 California Residential Code
2022 California Mechanical Code
2022 California Electrical Code
2022 California Plumbing Code
2022 California Green Building Code
2022 California Energy Code
2022 California Fire Code
Local codes, amendments and ordinances

VICINITY MAP

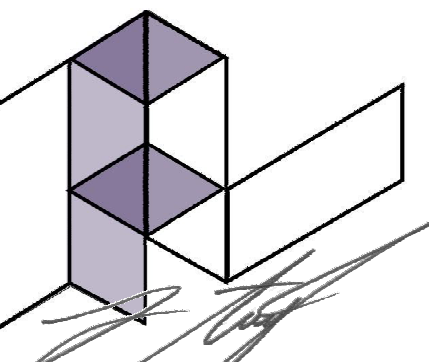


PROXIMITY MAP



Lower Lot Development

151 Harvard Ave,
Mill Valley, CA 94942
APN: 051-082-05



ITAY FRIEDMAN SUPERIOR DESIGN
& PLANNING SERVICES
151 Harvard Ave,
Mill Valley CA 94941
T: +1 619-909-8332
E: itay@itayfriedman.com
www.itayfriedman.com



ITAY FRIEDMAN ARCHITECTS
Alt-Moabit 126
10557, Berlin
T: +49 160-9090-9128
E: contact@itayfriedman.com
www.itayfriedman.com

For Internal Coordination	
<input type="checkbox"/>	AB
<input type="checkbox"/>	SD
<input checked="" type="checkbox"/>	DD
<input type="checkbox"/>	PD
<input type="checkbox"/>	PR
<input type="checkbox"/>	REVISION
<input type="checkbox"/>	ADDENDA

REVISIONS

NO.	DESCRIPTION	DATE
AS BUILTS		
SITE CONDITION RESEARCH		
DESIGN DEVELOPMENT		
COST ESTIMATE		
STRUCTURAL		
PROGRESS		
TITLE 24		
BLDG. PERMIT SUBMITTAL		05/04/2023

Title Sheet
Driveway Addition

DATE
12/11/2023

PROJECT
2020.01

SCALE
1 1/2" = 1'-0"

TS100

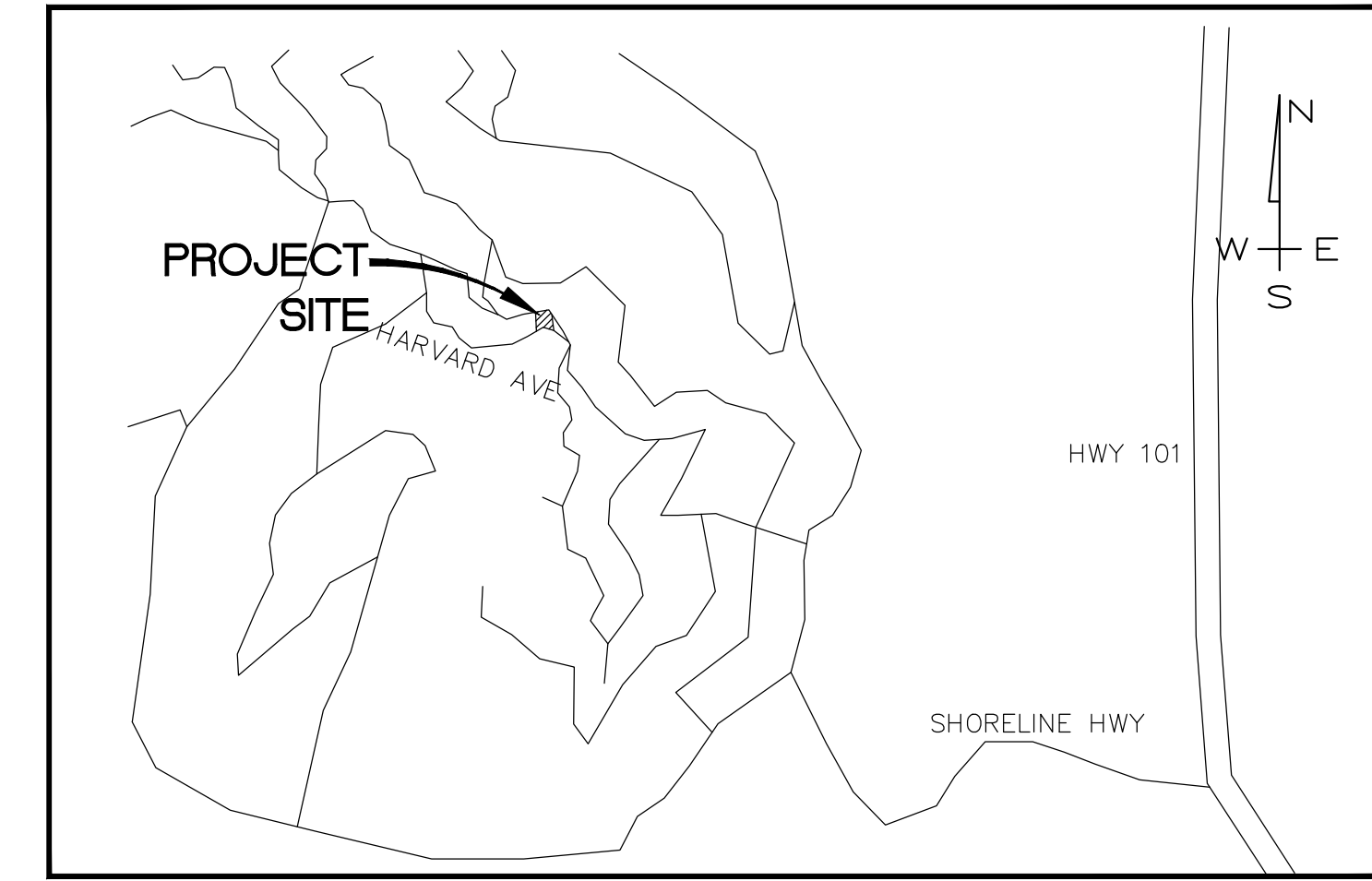
GENERAL NOTES

BOUNDARY LINES SHOWN HEREON WERE DETERMINED BY DVC GROUP AND WILL BE SHOWN ON A RECORD OF SURVEY TO BE FILED WITH THE MARIN COUNTY SURVEYOR.

UTILITIES SHOWN HEREON ARE BASED UPON PHYSICAL FEATURES OBSERVED AT THE TIME OF THE SURVEY. THE SURVEYOR ACCEPTS NO LIABILITY FOR THE LOCATION, EXISTENCE OR NON-EXISTENCE OF THOSE UNDERGROUND STRUCTURES, UTILITY LINES AND RELATED APPURTENANCES. LOCATION OF UNDERGROUND UTILITIES SHALL BE PERFORMED BY A SUBSURFACE UTILITY LOCATING COMPANY (IF DESIRED).

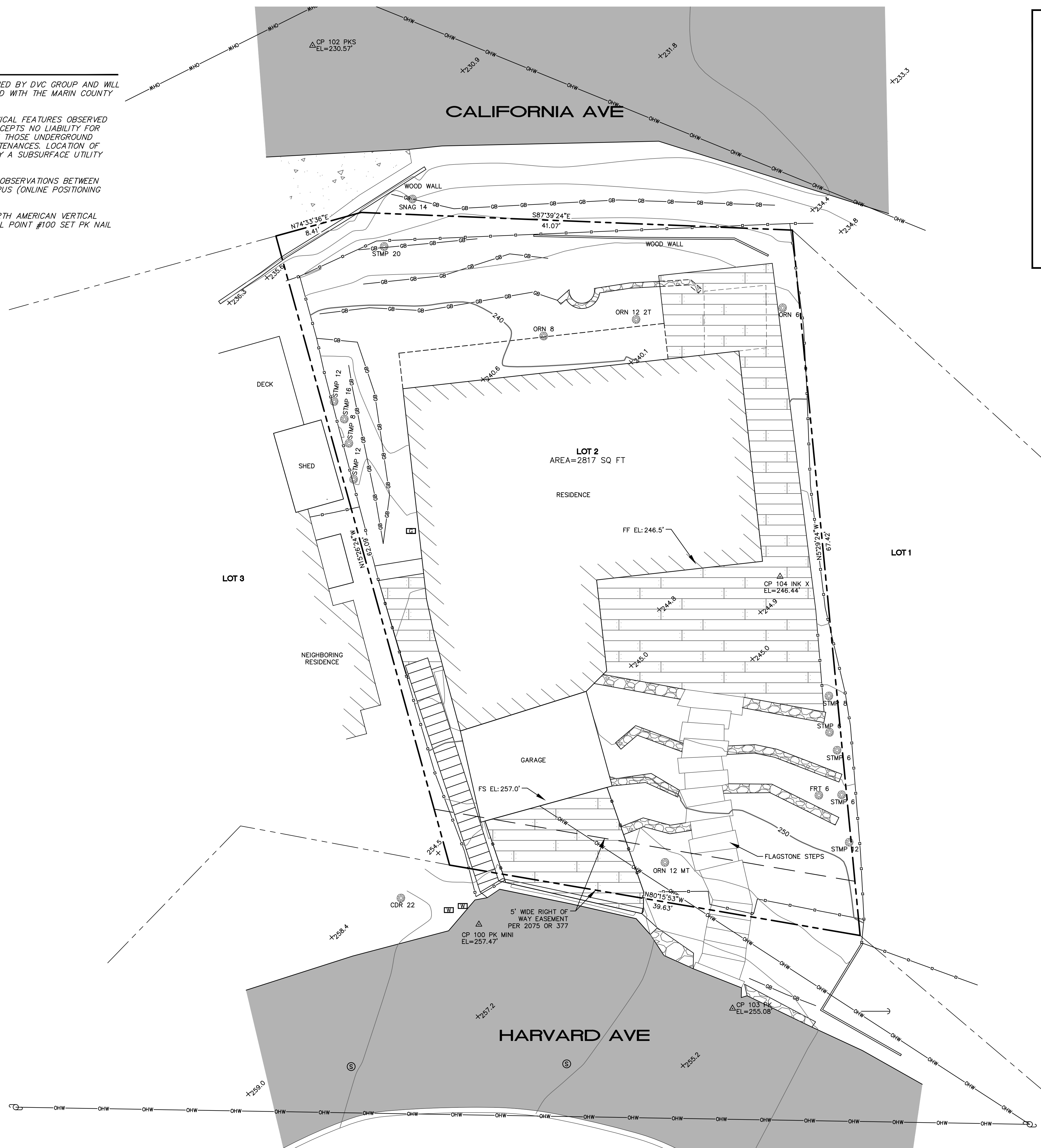
BASIS OF BEARINGS: GRID NORTH BASED ON GPS OBSERVATIONS BETWEEN SET CONTROL POINTS POST PROCESSED USING OPUS (ONLINE POSITIONING USER SERVICE).

ELEVATIONS SHOWN HEREON ARE BASED THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). BENCHMARK CONTROL POINT #100 SET PK NAIL CONTROL POINT.
ELEVATION = 257.47' NAVD 88



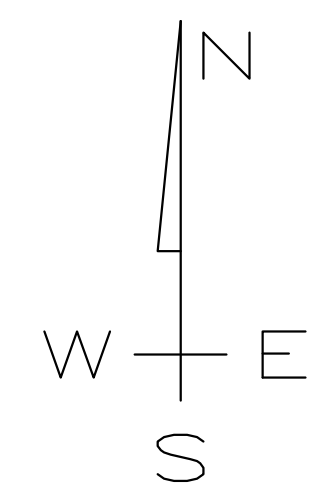
LOCATION MAP

NO SCALE



LEGEND

- BOUNDARY LINE
- - - ADJOINING BOUNDARY LINE
- GB — GRADE BREAK
- - - BUILDING OVERHANG
- W — WOOD FENCE
- OHW — OVERHEAD WIRE
- ASPHALT CONCRETE SURFACE
- CONCRETE SURFACE
- DECKING
- ROCK WALL
- HOSE BIB
- POWER/JOINT POLE
- WATER METER
- GAS METER
- SEWER MANHOLE
- CP 3 EL=100 SURVEY CONTROL POINT
- +143.2 SPOT ELEVATION
- BO 24" TREE-TYPE & DIAMETER
- STMP TREE STUMP
- SNAG STANDING DEAD TREE
- CDR CEDAR TREE
- FRT FRUIT TREE
- ORN ORNAMENTAL TREE
- FF FINISHED FLOOR
- FS FINISHED SLAB

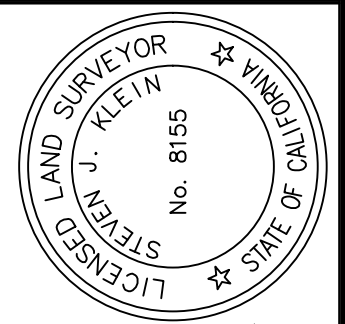


SCALE: 1" = 5'



REVISION	DESCRIPTION	BY	DATE

DVC GROUP INC.
 PLANNING • ENGINEERING • SURVEYING
 519 CENTER ST
 HEALDSBURG, CA 95448
 (707) 395-0668



DATE: 8/4/22

STEVEN J. KLEIN
 PLS 8155

FRIEDMAN RESIDENCE
 TOPOGRAPHIC MAP
 APN 081-082-05
 151 HARVARD AVE
 MILL VALLEY, CA

AUGUST 2022

JOB NO. 60-22

SHEET NO. **1**
 OF # SHEETS

LEGEND

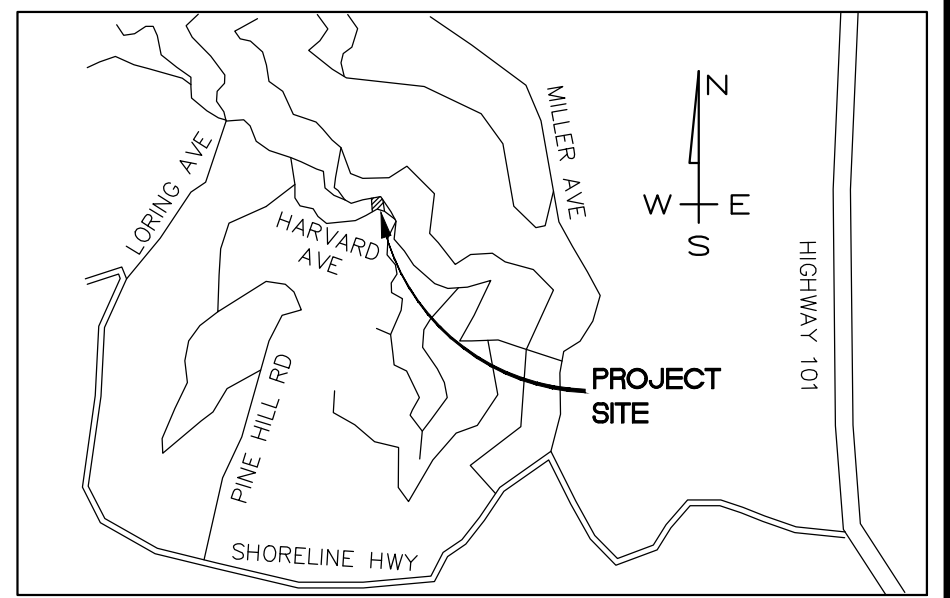
- BOUNDARY LINE
- ADJOINING BOUNDARY LINE
- EASEMENT LINE
- SURVEY TIE
- FORMER BOUNDARY LINE
- SET 1/2" IRON PIPE, TAGGED PLS 8155
- SET 60D NAIL AND WASHER, TAGGED PLS 8155
- ⊗ SET NAIL AND TAG, TAGGED PLS 8155, IN 4X4 WOOD POST
- ⊙ FOUND 1/2" IRON PIPE TAGGED LS 7237
- ⊙ FOUND 1/2" IRON PIPE, NOT TAGGED
- ⊙ FOUND 5/8" REBAR, TAGGED LS 7950
- c CALCULATED
- MCR MARIN COUNTY RECORDS
- DN DOCUMENT NUMBER
- (100'R1) RECORD DATA
- R1&M RECORD AND MEASURED DATA ARE IDENTICAL
- SFNF SEARCHED FOR NOT FOUND
- NTS NOT TO SCALE

REFERENCE INDEX

REFERENCE TITLE	RECORDING DATA
R1 RECORD OF SURVEY	2016 MAPS 1, MCR
R2 MAP OF MARIN TERRACE	4 MAPS 44, MCR
R3 RECORD OF SURVEY	2021 MAPS 213, MCR
R4 GRANT DEED	XXXX O.R. XXX, MCR

BASIS OF BEARINGS

NORTH 16°37'00" WEST BETWEEN TWO FOUND 1/2 INCH IRON PIPE MONUMENTS, TAGGED LS 7237, AS SHOWN ON RECORD OF SURVEY RECORDED IN BOOK 2016 OF MAPS AT PAGE 1, MARIN COUNTY RECORDS.



VICINITY MAP NTS

SURVEYOR'S STATEMENT

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS' ACT AT THE REQUEST OF ITAY FRIEDMAN & DIRK EVENSON IN _____, 20XX.

PRELIMINARY

STEVEN J. KLEIN, P.L.S. 8155

COUNTY RECORDER'S STATEMENT

FILED THIS _____ DAY OF _____, 2023.
AT _____ M. IN BOOK _____ OF MAPS, AT PAGE _____, AT THE REQUEST OF THE COUNTY SURVEYOR.

DOC. NO. _____ COUNTY RECORDER
FEE PAID: _____
DEPUTY COUNTY RECORDER

COUNTY SURVEYOR'S STATEMENT

THIS MAP HAS BEEN EXAMINED IN ACCORDANCE WITH SECTION 8766 OF THE PROFESSIONAL LAND SURVEYORS' ACT THIS _____ DAY OF _____ 2023

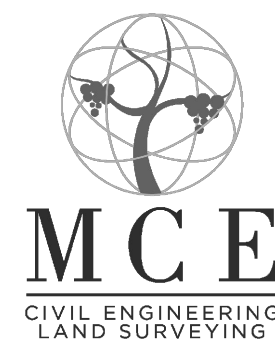
TRACY W. PARK, P.L.S. 8176
MARIN COUNTY SURVEYOR

LIONEL KEITH VINCENT, P.L.S. 8248
DEPUTY COUNTY SURVEYOR

RECORD OF SURVEY

BEING THE LANDS OF DIRK OLAF EVENSON AND ITAY FRIEDMAN, TRUSTEES OF THE EVENSON FRIEDMAN REVOCABLE TRUST DATED AUGUST 19, 2021, AS DESCRIBED IN THAT GRANT DEED RECORDED AS DOCUMENT NO. 2021-0058654 OF OFFICIAL RECORDS, MARIN COUNTY RECORDS.

COUNTY OF MARIN STATE OF CALIFORNIA



MUNSELLE CIVIL ENGINEERING

CIVIL ENGINEERING • LAND SURVEYING
513 CENTER STREET
HEALDSBURG, CA 95448
(707) 395-0968

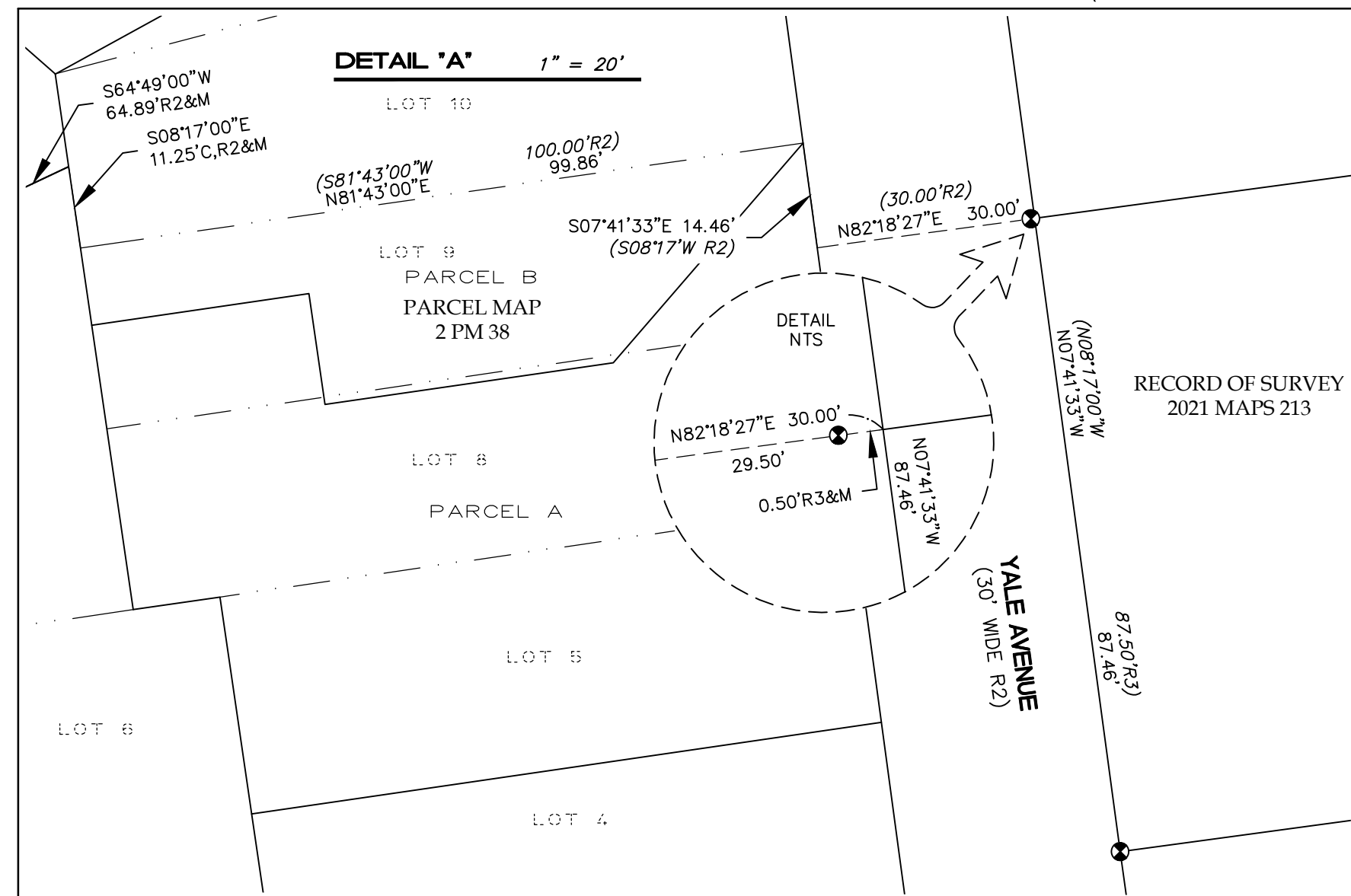
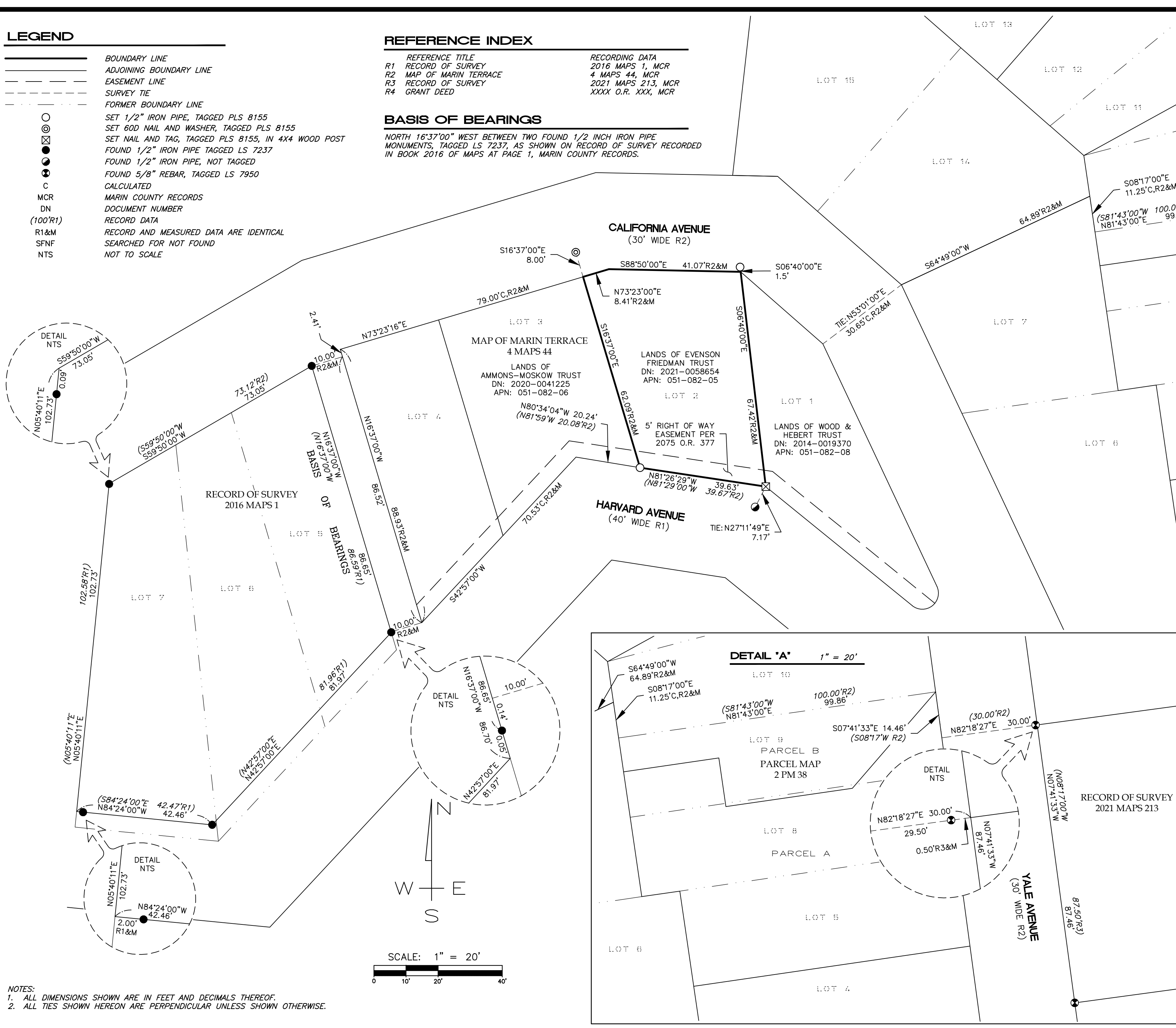
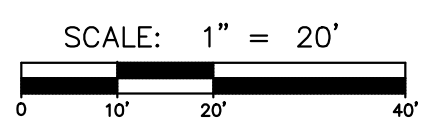
APN 051-082-05

JOB NO. 60-22

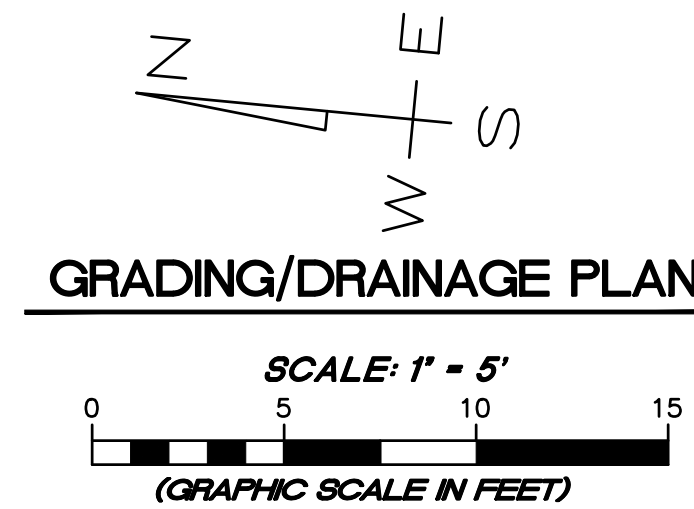
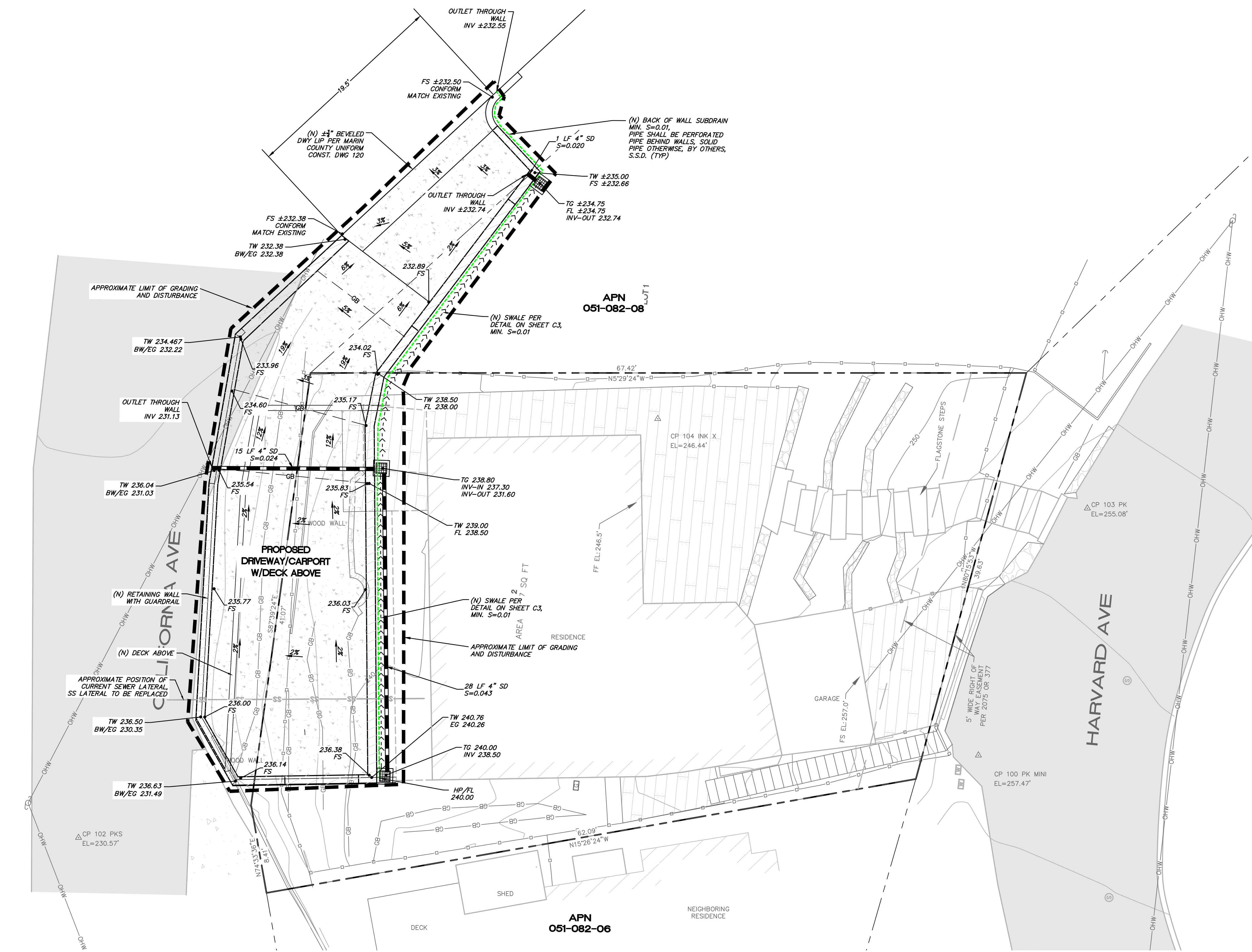
APRIL 2023

SHEET 1 OF 1

NOTES:
1. ALL DIMENSIONS SHOWN ARE IN FEET AND DECIMALS THEREOF.
2. ALL TIES SHOWN HEREON ARE PERPENDICULAR UNLESS SHOWN OTHERWISE.



C:\USERS\WAGET\MANSELLE\CIVIL_DROPBOX\1\ANSEL\DWG\COMPANY-DATA\DWG\2022\60-22\151 HARVARD AVE (DVC)\DWG\60-22 IP.DWG 3/6/2024 7:35 AM AN



GRADING/DRAINAGE PLAN

GRADING AND DRAINAGE NOTES

1. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR STRUCTURAL SECTION OF CONCRETE SLABS AND OTHER HARDSCAPE SECTIONS.
2. PAD ELEVATIONS BASED ON INFORMATION PROVIDED TO THE ENGINEER AT THE TIME OF GRADING PLAN DEVELOPMENT. PRIOR TO THE COMMENCEMENT OF GRADING OPERATIONS, CONTRACTOR SHALL CONFIRM THAT FINISH FLOOR AND PAD ELEVATIONS CORRESPOND WITH CURRENT ARCHITECTURAL AND STRUCTURAL PLANS.
3. DRAINAGE STRUCTURES, CLEANOUTS OR "Y" CONNECTIONS SHALL BE USED AS APPROPRIATE AT STORM DRAIN ALIGNMENT DEFLECTIONS OR JUNCTIONS OF INTERSECTING DRAIN LINES TO FACILITATE MAINTENANCE.
4. ALL PAVED AND UNPAVED FINISHED SURFACES SHALL BE POSITIVELY DRAINED.
5. ALL WORK SHALL COMPLY WITH BEST MANAGEMENT PRACTICES TO PREVENT STORM WATER CONTAMINATION.

LEGEND

- PROPOSED CONCRETE
SEE LANDSCAPE PLANS
- PROPOSED SCREENING WALL
SEE LANDSCAPE PLANS
- 4" PERFORATED PERIMETER/
BACK OF WALL DRAIN BY
OTHERS
- NO LIMITS OF GRADING AND
DISTURBANCE

REVISION	DESCRIPTION	BY	DATE

DVC GROUP INC.
PLANNING • ENGINEERING • C.M.
519 CENTER STREET
HEALDSBURG, CA 95448
(707) 395-0968

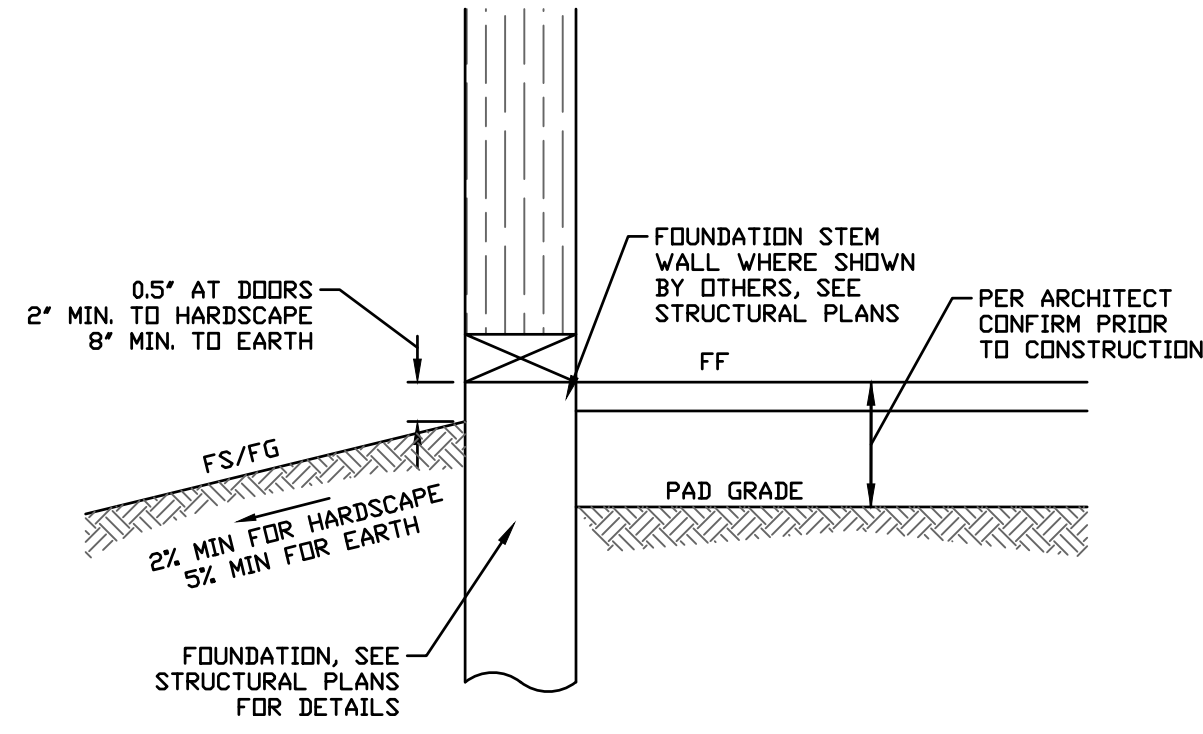


Dan Hughes
DANIEL JOHN HUGHES DATE
RCE 60225

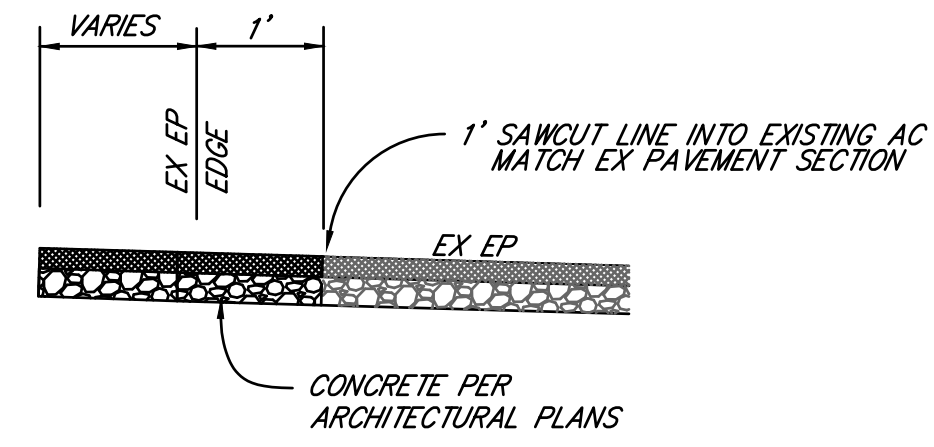
151 HARVARD AVE
GRADING/DRAINAGE AND UTILITY PLAN
APN 051-082-06
151 HARVARD AVE
MILL VALLEY, CA 94041

MARCH 05, 2024
JOB NO.
60-22
SHEET NO.

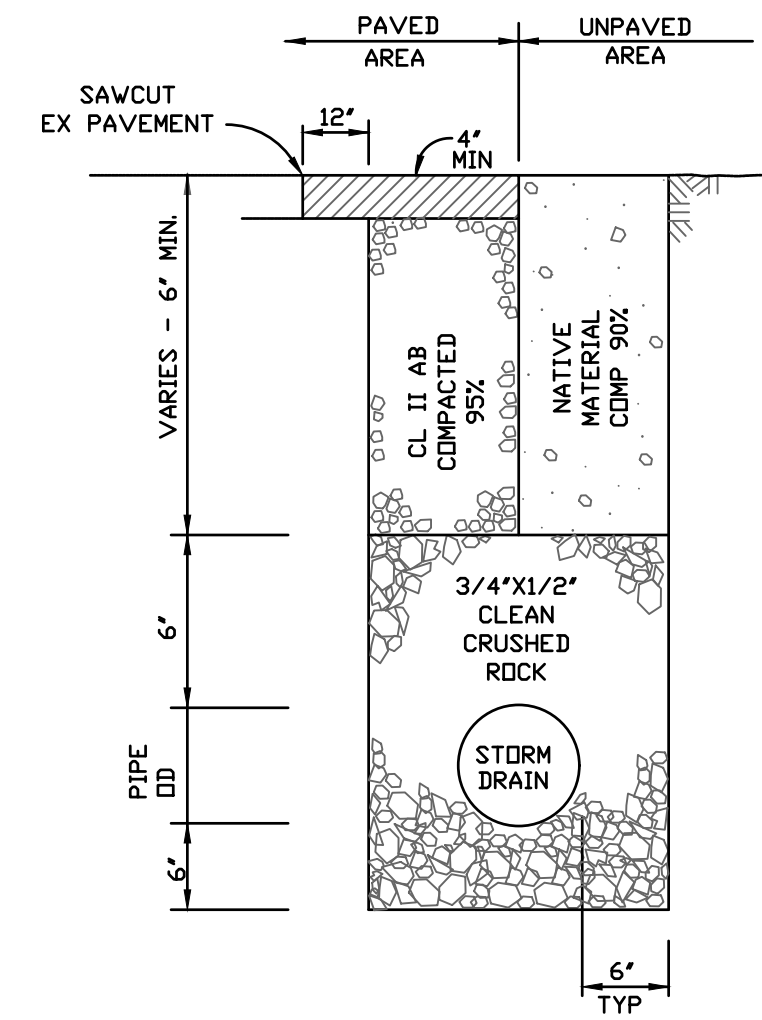
C2
OF 3 SHEETS



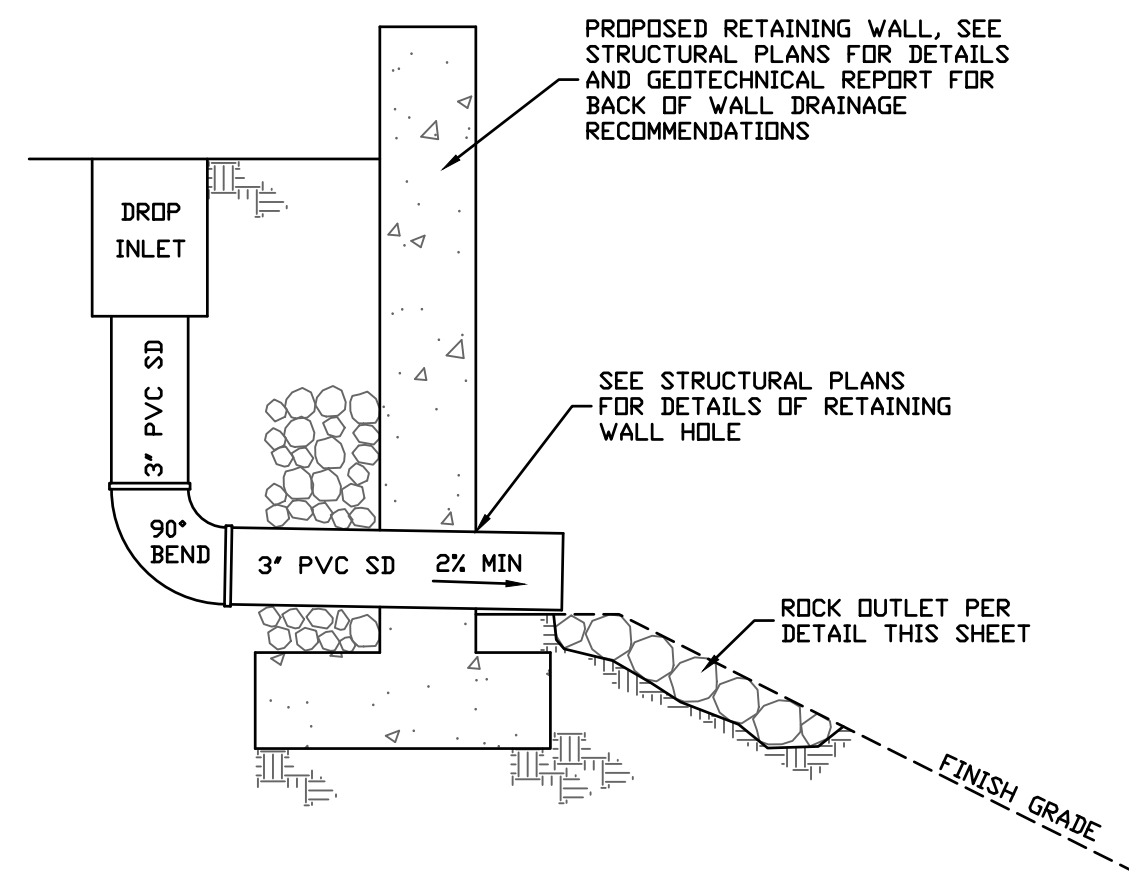
TYPICAL GRADING AT ADDITION EXTERIOR
NO SCALE



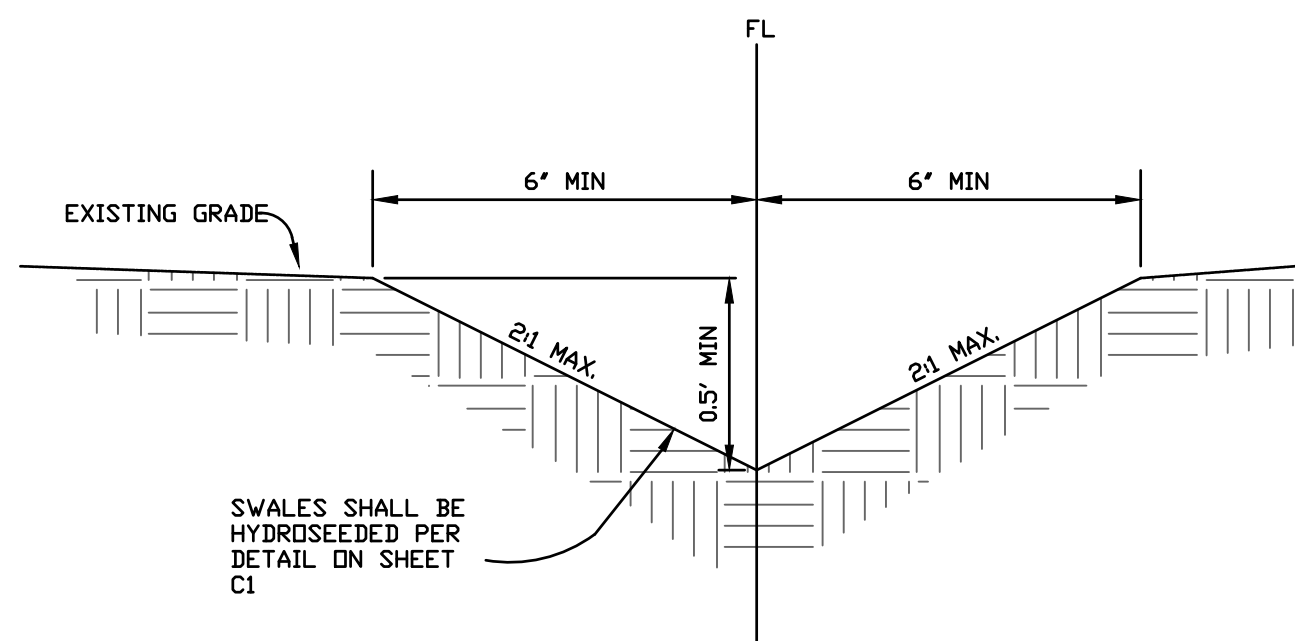
1' SAWCUT AND CONFORM DETAIL
NO SCALE



STORM DRAIN TRENCH
NOT TO SCALE



INLET AT RETAINING WALL
NOT TO SCALE

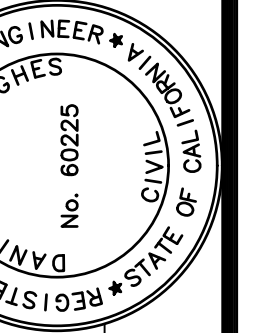


EARTH SWALE

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REVISION	DESCRIPTION	BY	DATE

DVC GROUP INC.
PLANNING • ENGINEERING • C.M.
513 CENTER STREET
HEALDSBURG, CA 95448
(707) 395-0968



Dan Hughes
DANIEL JOHN HUGHES DATE
PCE 60225

151 HARVARD AVE
DETAILS
APN 084-082-05
151 HARVARD AVE
MILL VALLEY, CA 94641

MARCH 05, 2024

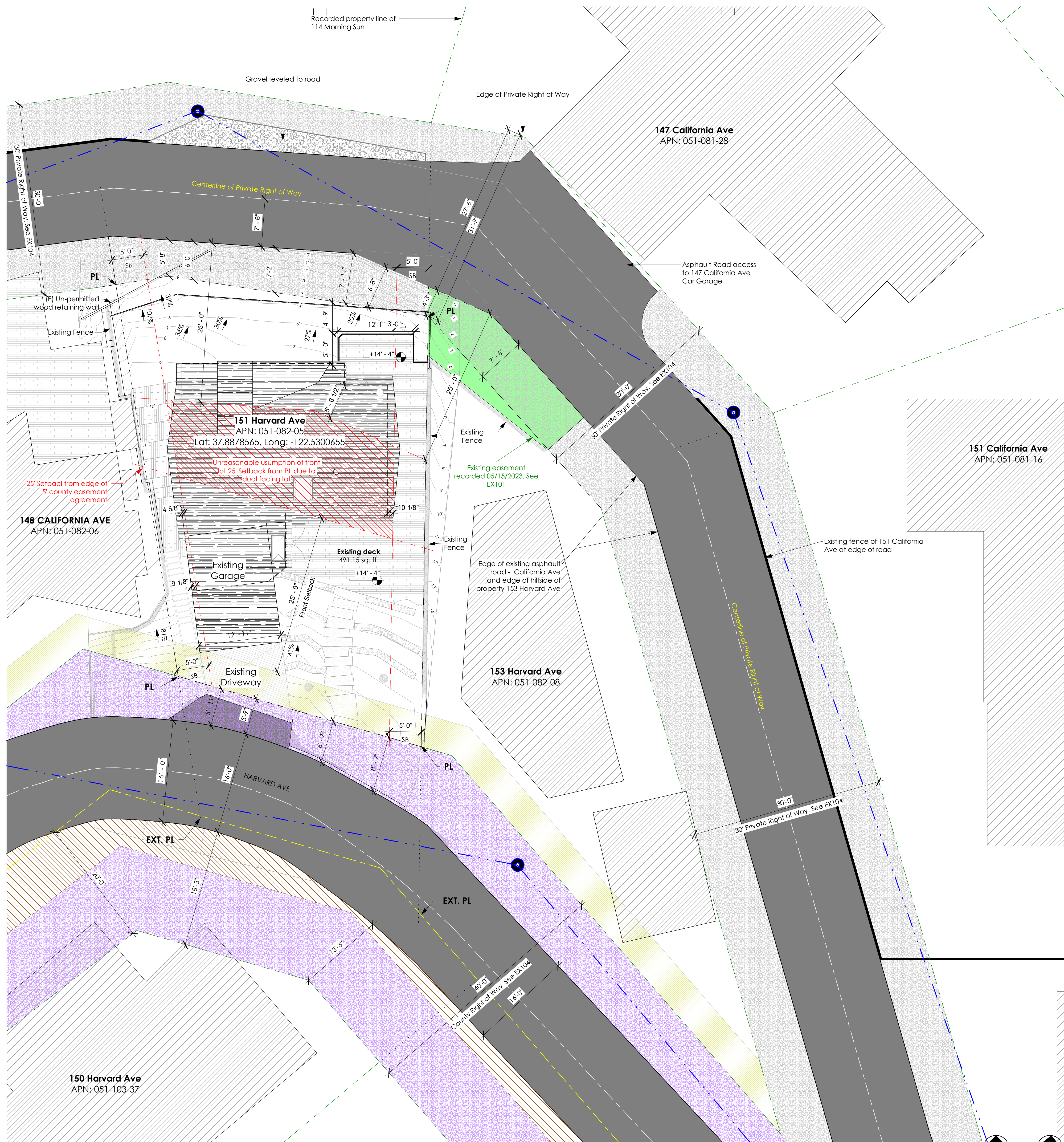
JOB NO.

60-22

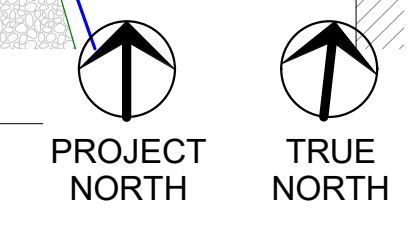
SHEET NO.

C3

OF 3 SHEETS



EXISTING SITE PLAN
 scale 1/8" = 1'-0"



GENERAL NOTES

1. There is a 5' county easement agreement within the bounds of the surveyed property line along of the southern property line bounded by Harvard Avenue per 2075 or 377. Refer to C1 and C2. As this easement exists within the bounds of the property, it further constrains the dual facing lots between Harvard Avenue and California Ave, making the usable area smaller than neighboring parcels.
2. Project Benchmark is delineated as California Ave
3. Nearest FDC is 292 feet, located at the intersection of California Avenue and Yale Avenue
4. Existing 15' wide California Avenue was resurfaced with private funding by adjoining lots in September of 2001. Non-permitting allowed for deviations from the actual centerline of the original 30' Private Right of Way (Refer to Road Study Exhibits - EX104 - EX106)
5. Original 30' Paper Road Width per original TL&WC Subdivision Map, sold by Northwest Realty Co. Refer to title report for further information.

EXISTING SITE PLAN NOTES

1. Current available parking includes 1 existing garage parking spot (214 Sq. Ft.)
2. 302.6 Sq. Ft. of the existing 370.20 Sq. Ft. deck will remain. Refer to sheets 113 & 101 for further detail regarding demolition of portion of existing deck
3. 269.67 Sq. ft. easement agreement between APN: 051-082-05 & APN: 051-082-08 for proposed tandem driveway access as shown on sheets 102 and 112

General Legend

	3' from plot line per MCMC 22.20.090(E)(2)		New asphalt transition between CA Ave & Ingress/Egress platform
	Road area per actual centerline that is currently used as private property		Wood Retaining Wall
	Road area per actual centerline that is currently used as private property	Linetypes	
	Existing asphalt road		Approximate Plot Line
	Improvement area within private right of way		Surveyed Property Line
	Improvement area within property line per recorded survey		Extended Property Line
	Concrete		Road Center per Existing Road (White)
	5' County easement agreement		Road Center per Original Subdivision
	Demolition		Road Center per road expansion
	Earth (Plan & Section)		Power Line
	Easement Recording per EX101 & EX102		Setback
	Widening road to meet 20' width requirement per EX105 & EX106		Door sill above
	Existing fence		Floor above
	Landscaping		Structure above
	Neighbor and/or 151 Harvard Ave Building Footprint		Demolition
	Build area within in property line		Parking Requirement MMC24.04.380
	Private right of way as part of original 30' subdivision		Existing Contours
	County right of way as part of original 40' paper road	Symbols	
	Surface road within in private right of way (PROW)		Elevations or Section Tag • Elevations: 200 Series • Sections: 300 Series
	Surface road within in public right of way (ROW)		Power Supply Pole
	Asphalt shingle roof		Fire Hydrant Connection (FDC)
	Existing stone retaining wall		Revision Tag
	Existing stone steps		Spot Elevation Tag
	Finished carport roof deck surface	C.O. #	Callout
	Existing Deck Surface	FS ±	Finished Surface

Lower Lot Development
 151 Harvard Ave,
 Mill Valley, CA 94942
 APN: 051-082-05



ITAY FRIEDMAN ARCHITECTS
 & PLANNING SERVICES
 151 Harvard Ave,
 Mill Valley CA 94941
 T: +1 619-909-8332
 E: itay@itayfriedman.com
 www.itayfriedman.com

For Internal Coordination

<input type="checkbox"/>	AB
<input type="checkbox"/>	SD
<input checked="" type="checkbox"/>	DD
<input type="checkbox"/>	PD
<input type="checkbox"/>	PR
<input type="checkbox"/>	REVISION
<input type="checkbox"/>	ADDENDA

REVISIONS

NO.	DESCRIPTION	DATE
AS BUILTS	SITE CONDITION RESEARCH DESIGN DEVELOPMENT	
	COST ESTIMATE	
	STRUCTURAL	
	PROGRESS	
	TITLE 24	
	BLDG. PERMIT SUBMITTAL	05/04/2023

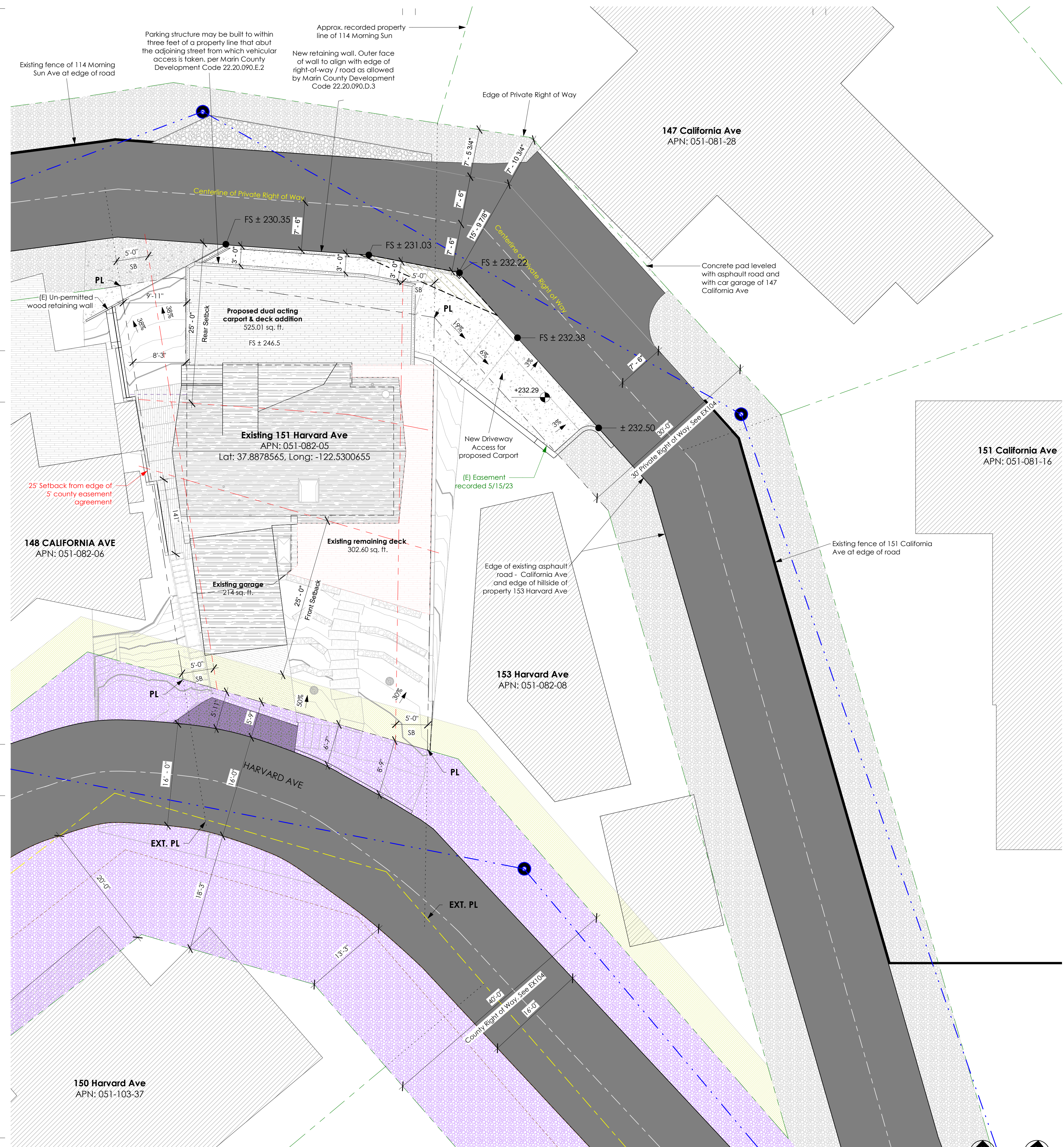
Existing Site Plan

DATE
11/29/2023

PROJECT
2020.01

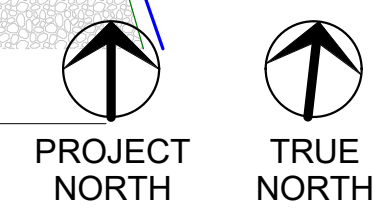
SCALE
As indicated

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PROPOSED SITE PLAN
scale 1/8" = 1'-0"

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GENERAL NOTES

- There is a 5' county easement agreement within the bounds of the surveyed property line along of the southern property line bounded by Harvard Avenue per 2075 or 377. Refer to C1 and C2. As this easement exists within the bounds of the property, it further constrains the dual facing lots between Harvard Avenue and California Ave, making the usable area smaller than neighboring parcels.
- Project Benchmark is delineated as California Ave
- Nearest FDC is 292 feet, located at the intersection of California Avenue and Yale Avenue
- Existing 15' wide California Avenue was resurfaced with private funding by adjoining lots in September of 2001. Non-permitting allowed for deviations from the actual centerline of the original 30' Private Right of Way (Refer to Road Study Exhibits - EX104 - EX106)
- Original 30' Paper Road Width per original TL&WC Subdivision Map, sold by Northwest Realty Co. Refer to title report for further information.

PROPOSED SITE PLAN NOTES

- After addition, available parking would increase by 2 total tandem parking spots enabling 151 Harvard Ave to enjoy similar private parking luxuries as neighboring properties and allow for conformance with parking requirements in Schedule 24.04.340-A of the Marin County Development Code. Refer to EX108 for further explanation and applicable variance requirements.
 - Existing Non-Conforming Garage Parking:** 1 spot (214 Sq. Ft.)
 - Proposed Tandem Parking:** 2 tandem spots (400 Sq. Ft.)
- Total area of proposed impervious surfaces: 316 Sq. Ft.
 - Existing:** 212.59 Sq. Ft.
 - Proposed:** 103.41 Sq. Ft.

General Legend

	3' from plot line per MCMC 22.20.090(E)(2)		New asphalt transition between CA Ave & Ingress/Egress platform
	Road area per actual centerline that is currently used as private property		Wood Retaining Wall
	Existing asphalt road	Linetypes	
	Improvement area within private right of way		Approximate Plot Line
	Improvement area within property line per recorded survey		Surveyed Property Line
	Concrete		Extended Property Line
	5' County easement agreement		Road Center per Existing Road (White)
	Demolition		Road Center per Original Subdivision
	Earth (Plan & Section)		Road Center per road expansion
	Easement Recording per EX101 & EX102		Power Line
	Widening road to meet 20' width requirement per EX105 & EX106		Setback
	Existing fence		Door sill above
	Landscaping		Floor above
	Neighbor and/or 151 Harvard Ave Building Footprint		Structure above
	Build area within in property line		Demolition
	Private right of way as part of original 30' subdivision		Parking Requirement MMC24.04.380
	County right of way as part of original 40' paper road		Existing Contours
	Surface road within in private right of way (PROW)	Symbols	
	Surface road within in public right of way (ROW)		Elevations or Section Tag • Elevations: 200 Series • Sections: 300 Series
	Asphalt shingle roof		Power Supply Pole
	Existing stone retaining wall		Fire Hydrant Connection (FDC)
	Existing stone steps		Revision Tag
	Finished carport roof deck surface		Spot Elevation Tag
	Existing Deck Surface		Callout
			Finished Surface

Lower Lot Development
151 Harvard Ave,
Mill Valley, CA 94942
APN: 051-082-05



ITAY FRIEDMAN INTERIOR DESIGN & PLANNING SERVICES
151 Harvard Ave,
Mill Valley CA 94941
T: +1 619-909-8332
E: itay@itayfriedman.com
www.itayfriedman.com

Architektenliste Nr. 15733
Militär der Architektenkammer Berlin

B. Arch
Itay Friedman
Freischaffender
Architekt

ITAY FRIEDMAN ARCHITECTS
Alt-Moabit 126
10557, Berlin
T: +49 160-9090-9128
E: contact@itayfriedman.com
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<input checked="" type="checkbox"/>	DD
<input type="checkbox"/>	PD
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<input type="checkbox"/>	REVISION
<input type="checkbox"/>	ADDENDA

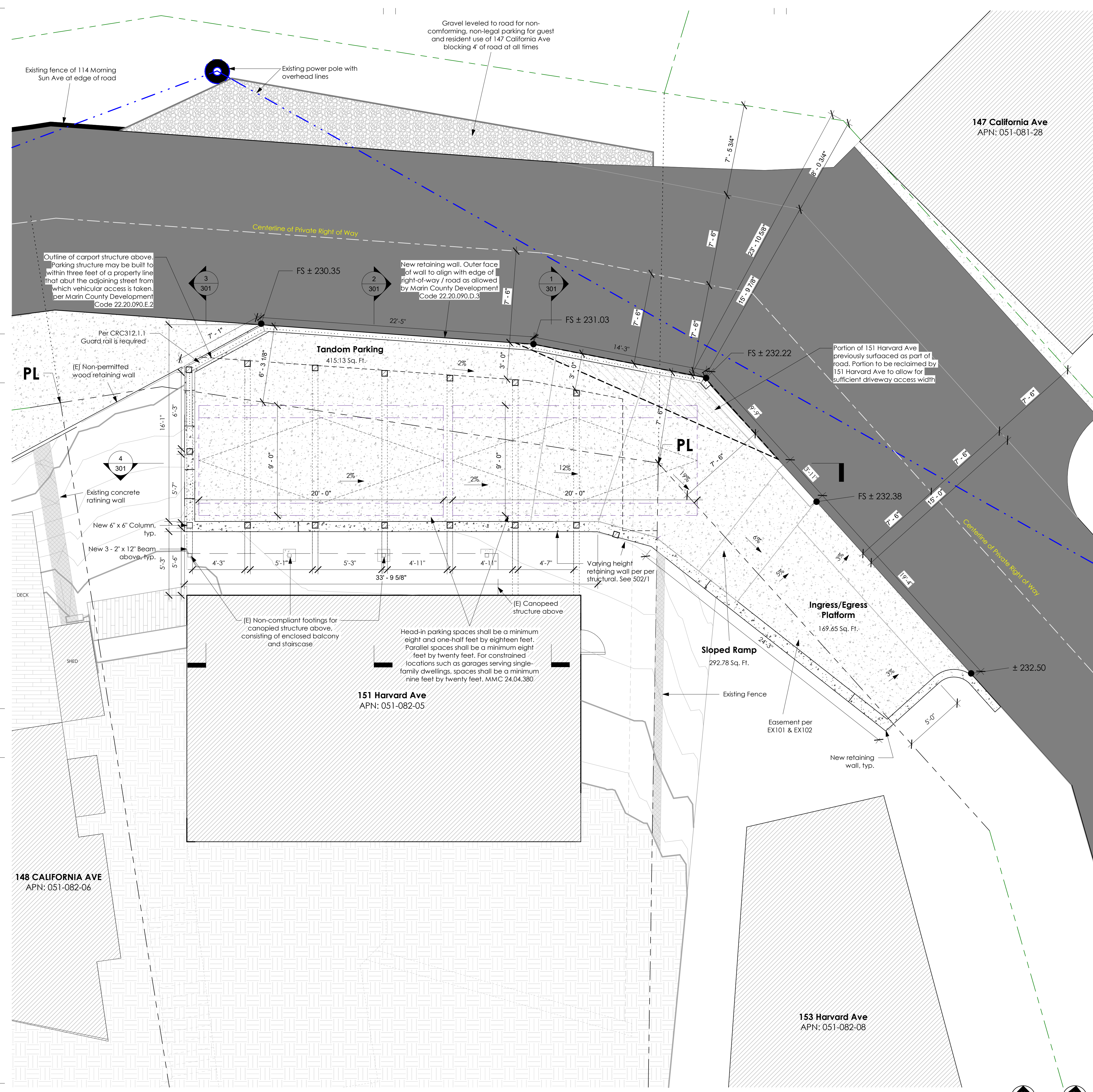
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AS BUILTS		
SITE CONDITION RESEARCH		
DESIGN DEVELOPMENT		
COST ESTIMATE		
STRUCTURAL		
PROGRESS		
TITLE 24		
BLDG. PERMIT SUBMITTAL		05/04/2023

Proposed Site Plan

DATE
11/29/2023

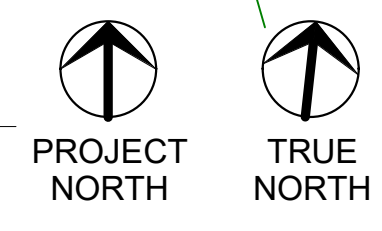
PROJECT
2020.01

SCALE
As indicated



DRIVEWAY / CARPORT PLAN
 scale 1/4" = 1'-0"

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GENERAL NOTES

- There is a 5' county easement agreement within the bounds of the surveyed property line along of the southern property line bounded by Harvard Avenue per 2075 or 377. Refer to C1 and C2. As this easement exists within the bounds of the property, it further constrains the dual facing lots between Harvard Avenue and California Ave, making the usable area smaller than neighboring parcels.
- Project Benchmark is delineated as California Ave
- Nearest FDC is 292 feet, located at the intersection of California Avenue and Yale Avenue
- Existing 15' wide California Avenue was resurfaced with private funding by adjoining lots in September of 2001. Non-permitting allowed for deviations from the actual centerline of the original 30' Private Right of Way (Refer to Road Study Exhibits - EX104 - EX106)
- Original 30' Paper Road Width per original TL&WC Subdivision Map, sold by Northwest Realty Co. Refer to title report for further information.

PROPOSED DRIVEWAY NOTES

- After addition, two tandem parkings would be available. Refer to EX108 for further explanation and applicable variance requests.
 - Existing Non-Conforming Garage Parking:** 1 spot (214 Sq. Ft.)
 - Proposed Tandem Parking:** 2 tandem spots (400 Sq. Ft.)
- Total area of proposed impervious surfaces: 928.56 Sq. Ft.
 - Tandem Parking:** 415.13 Sq. Ft.
 - Sloped Area:** 292.78 Sq. Ft.
 - Ingress/Egress Platform:** 169.65 Sq. Ft.
- Average slope of ramp is 20.2%
 - Slope Calculation:** 11% + 24% + 25% + 24% + 17% = 101 / 5 = 20.2% Avg. Slope
- Proposed temporary flower bed located within area of future equal widening of California Avenue. Refer to EX104 - EX106 for further detail regarding widening.
 - Total area of development:** 526.56 Sq. Ft. (See EX108)
 - Total area with P.R.O.W: 188.72 Sq. Ft. (35.913%)
 - Total area with in PL: 325.25 Sq. Ft. (64.087%)

General Legend

	3' from plot line per MCMC 22.20.090(E)(2)		New asphalt transition between CA Ave & Ingress/Egress platform
	Road area per actual centerline that is currently used as private property		Wood Retaining Wall
	Road area per actual centerline that is currently used as private property	Linetypes	
	Existing asphalt road		Approximate Plot Line
	Improvement area within private right of way		Surveyed Property Line
	Improvement area within property line per recorded survey		Extended Property Line
	5' County easement agreement		Road Center per Existing Road (White)
	Demolition		Road Center per Original Subdivision
	Earth (Plan & Section)		Road Center per road expansion
	Easement Recording per EX101 & EX102		Power Line
	Widening road to meet 20' width requirement per EX105 & EX106		Setback
	Existing fence		Door sill above
	Landscaping		Floor above
	Neighbor and/or 151 Harvard Ave Building Footprint		Structure above
	Build area within in property line		Demolition
	Private right of way as part of original 30' subdivision		Parking Requirement MMC24.04.380
	County right of way as part of original 40' paper road		Existing Contours
	Surface road within in private right of way (PROW)	Symbols	
	Surface road within in public right of way (ROW)		Elevations or Section Tag • Elevations: 200 Series • Sections: 300 Series
	Asphalt shingle roof		Power Supply Pole
	Existing stone retaining wall		Fire Hydrant Connection (FDC)
	Existing stone steps		Revision Tag
	Finished carport roof deck surface		Spot Elevation Tag
	Existing Deck Surface	C.O. #	Callout
		FS ±	Finished Surface

Lower Lot Development
 151 Harvard Ave,
 Mill Valley, CA 94942
 APN: 051-082-05



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REVISIONS

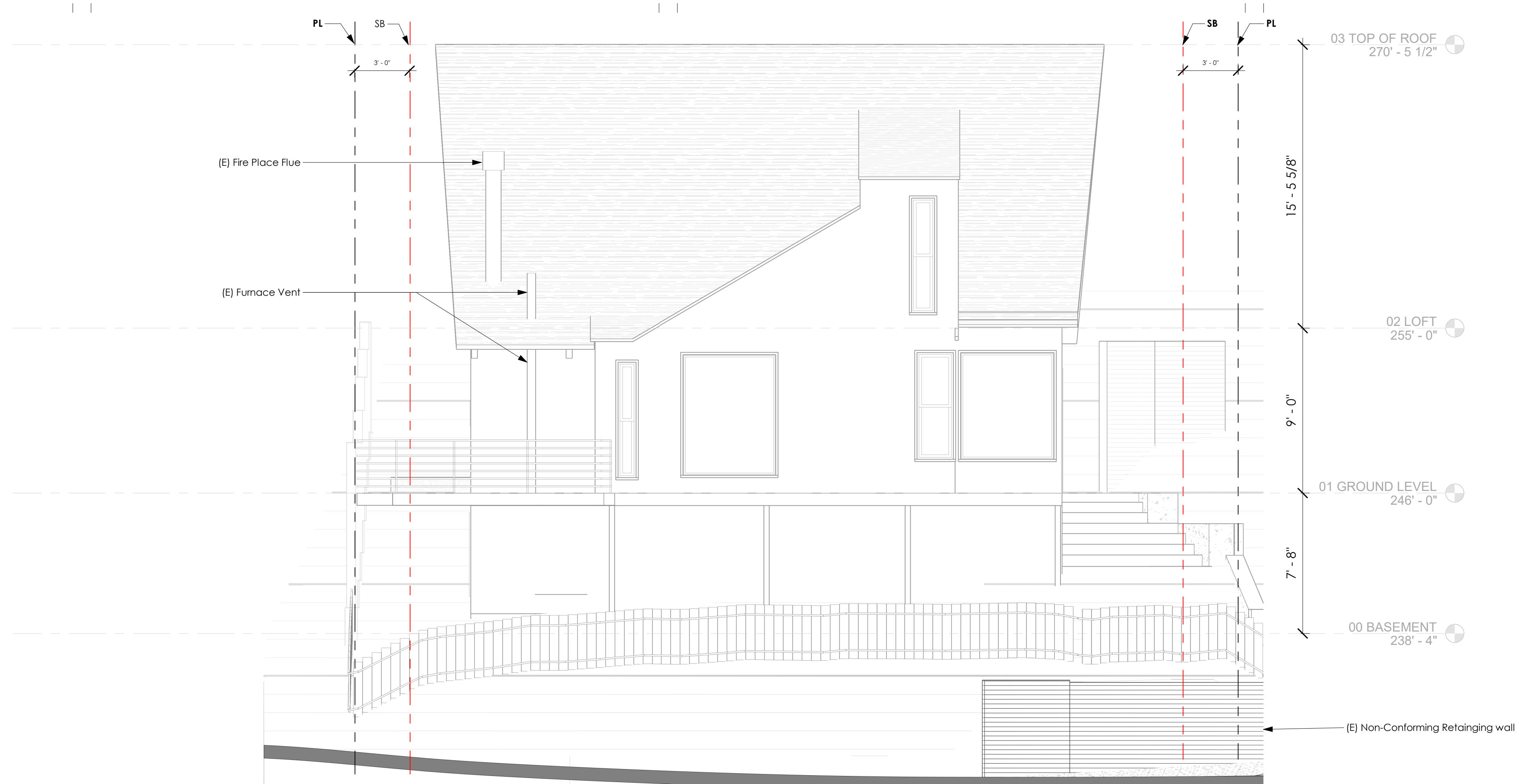
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	STRUCTURAL	
	PROGRESS	
	TITLE 24	
	BLDG. PERMIT SUBMITTAL	05/04/2023

Driveway / Carport Plan

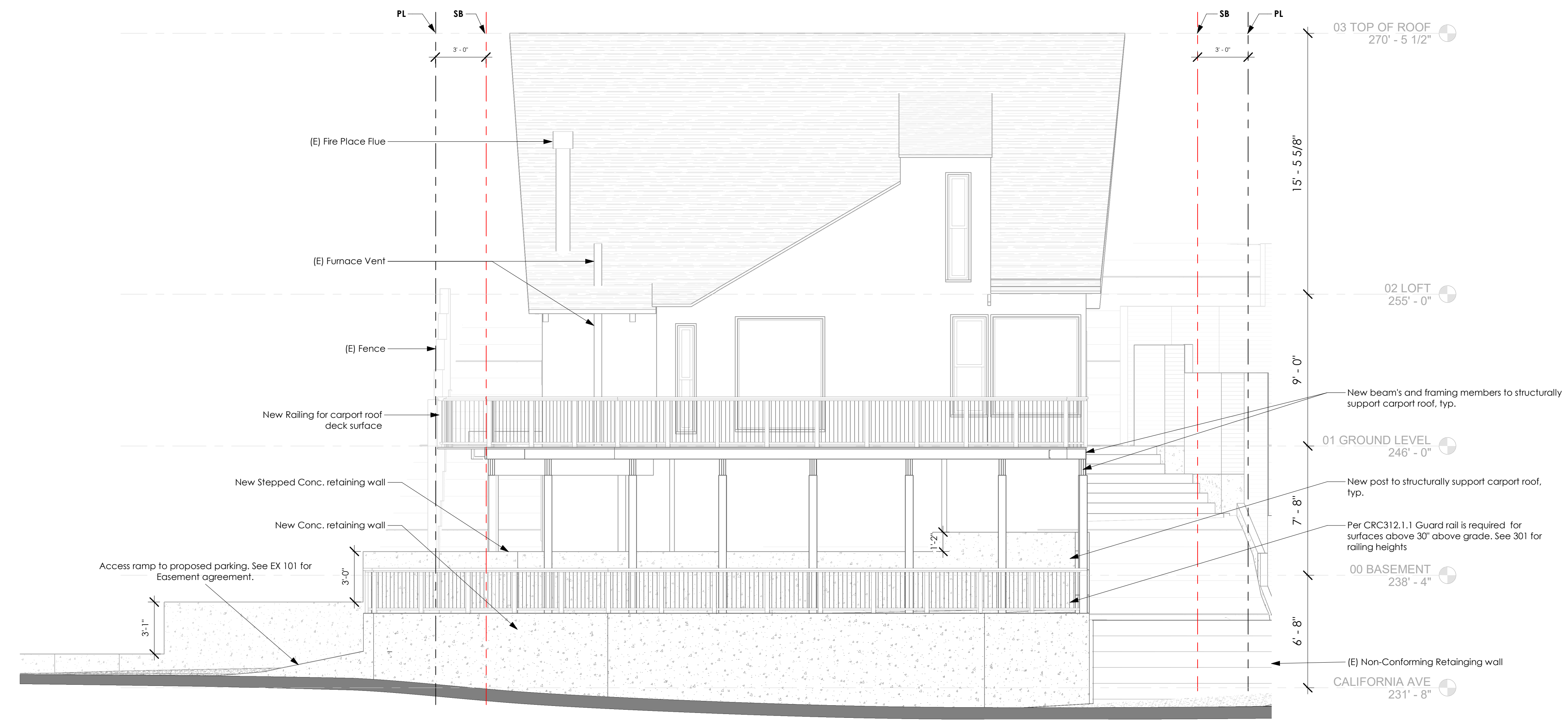
DATE
12/11/2023

PROJECT
2020.01

SCALE
As indicated



Existing North Elevation
scale 1/4" = 1'-0"



Proposed North Elevation
scale 1/4" = 1'-0"

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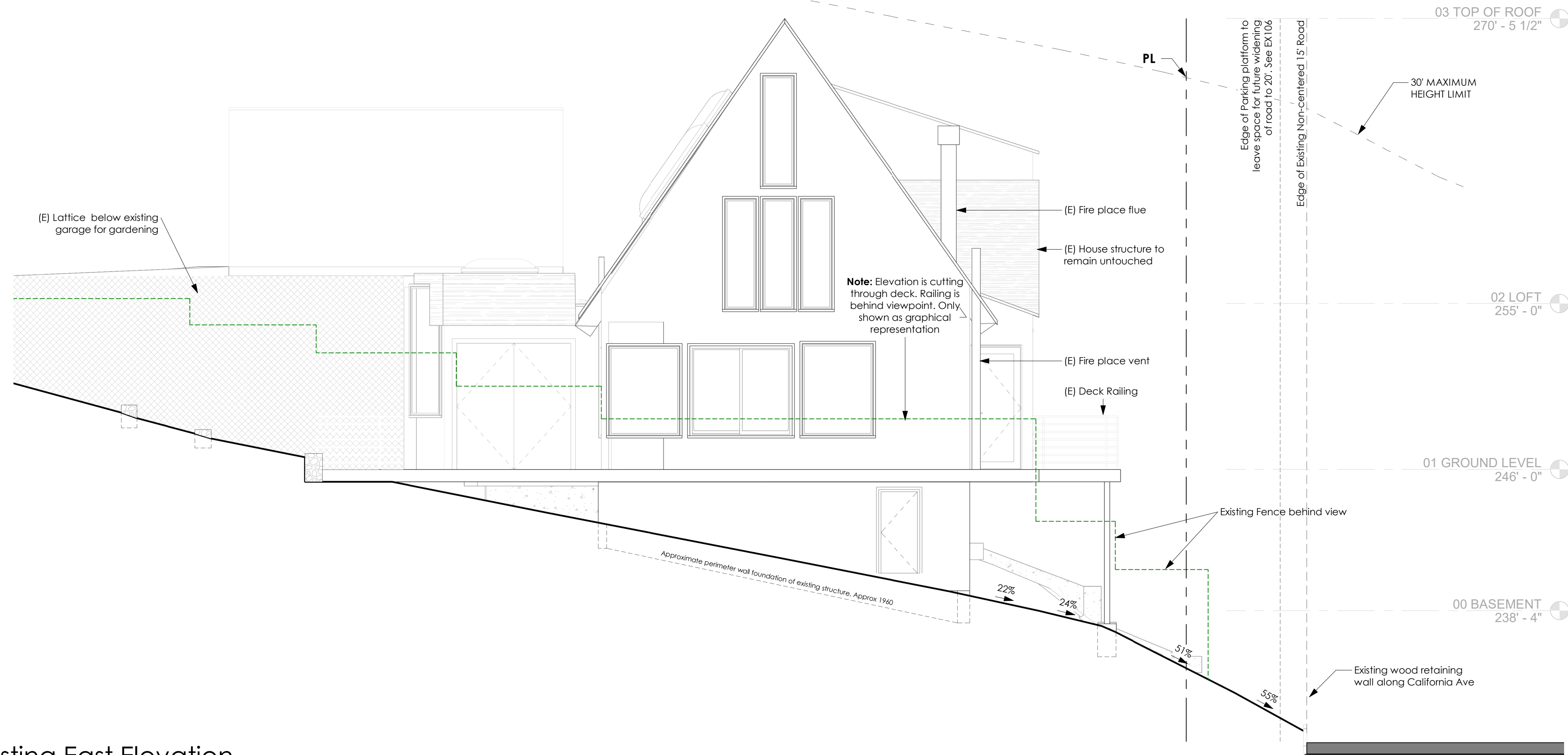
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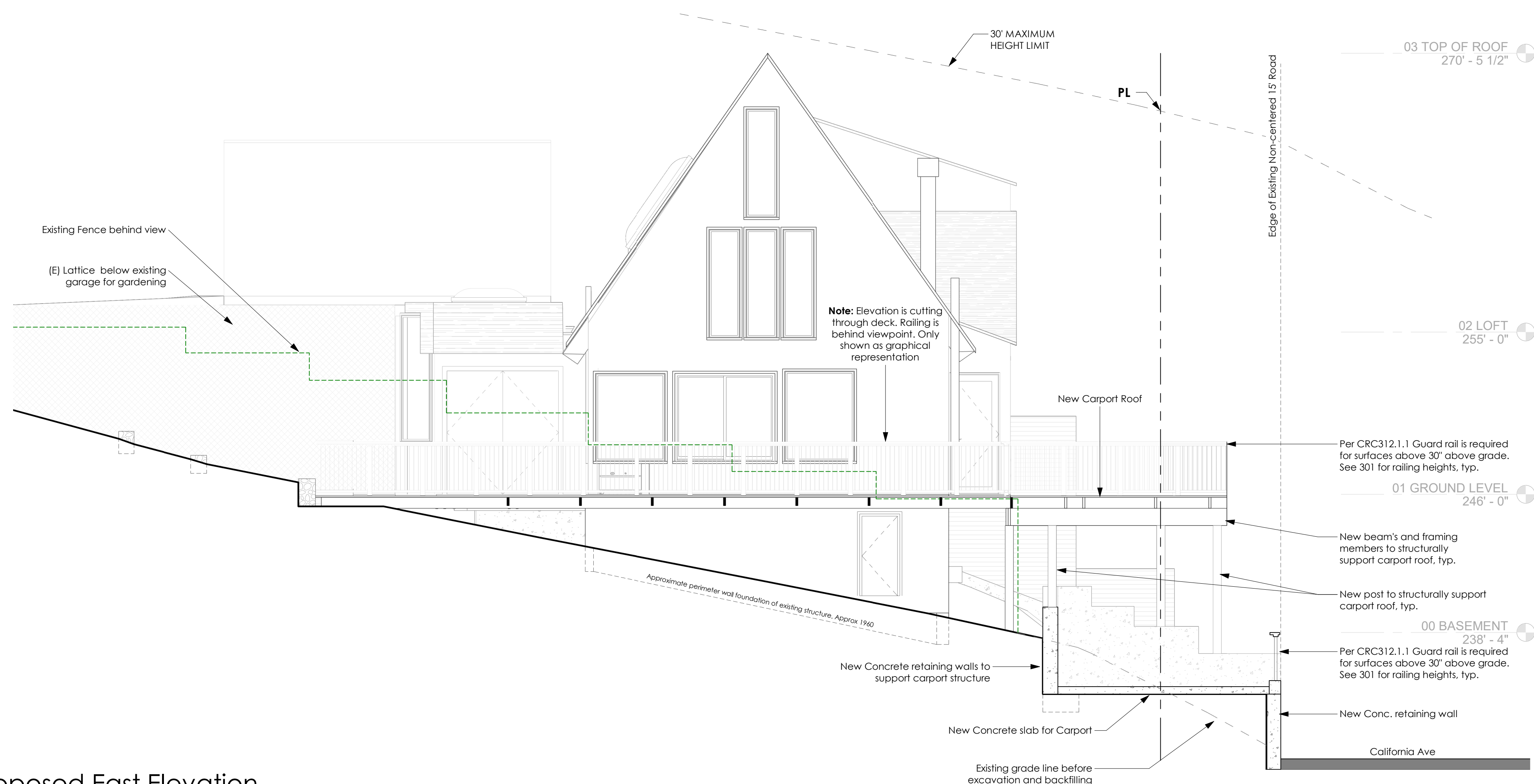
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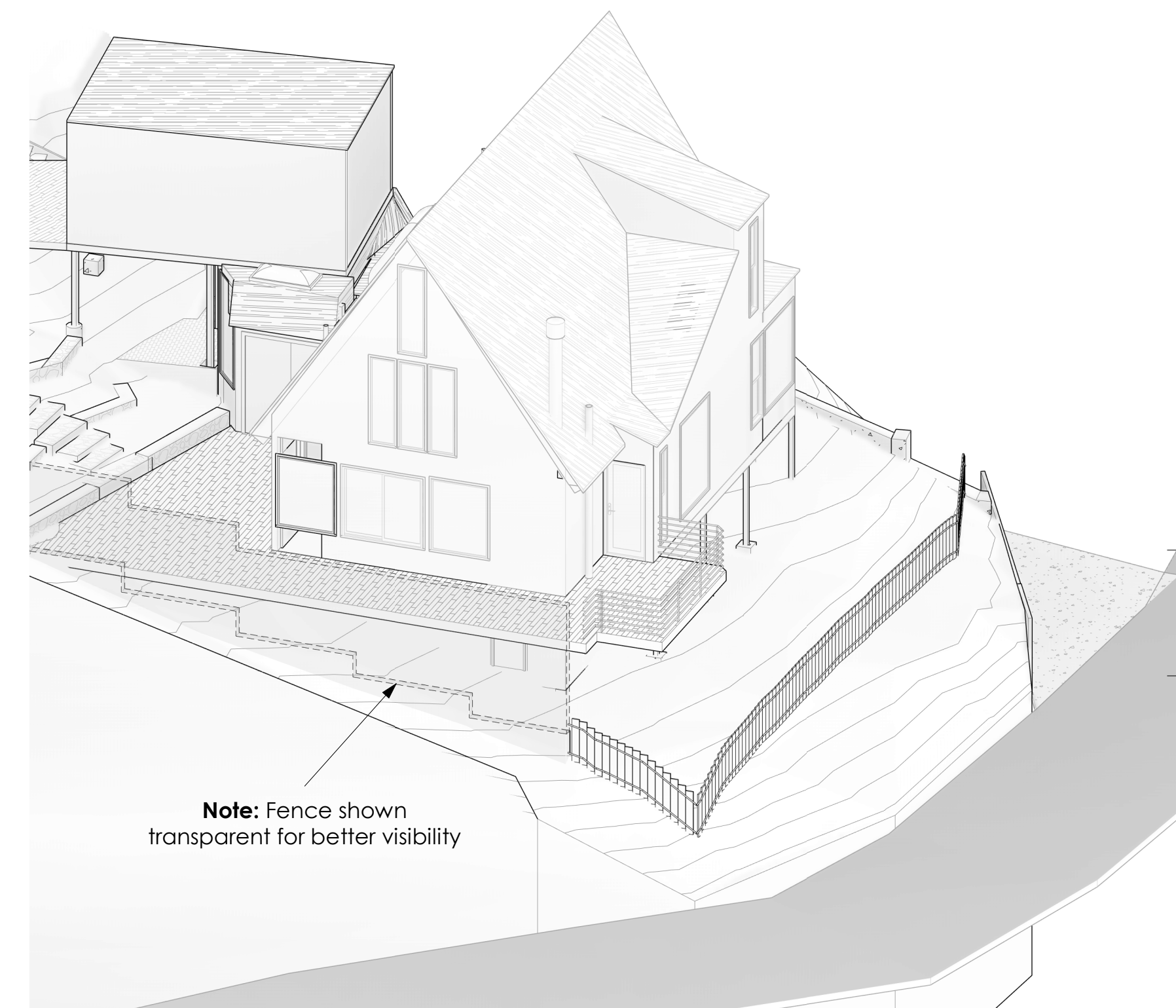
California Ave Elevation
DATE
11/29/2023
PROJECT
2020.01
SCALE
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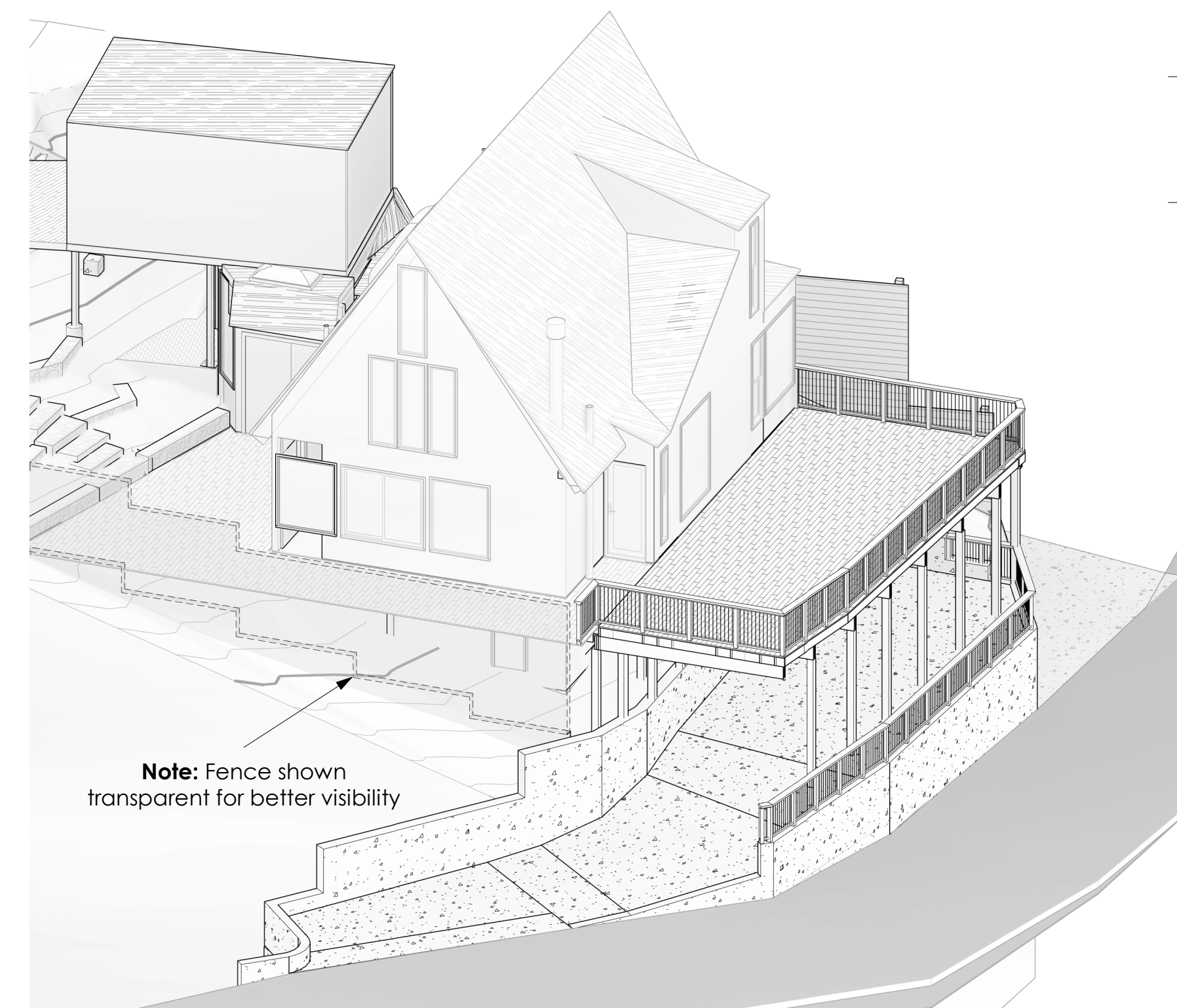
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Proposed East Elevation
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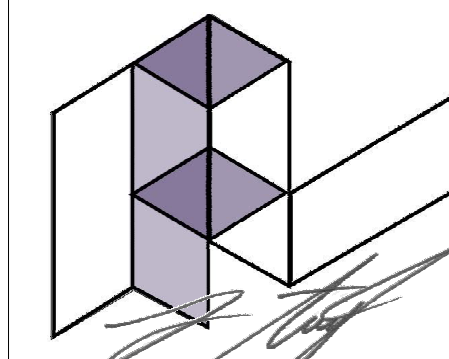


Existing Axon



Proposed Axon

Lower Lot Development
151 Harvard Ave,
Mill Valley, CA 94942
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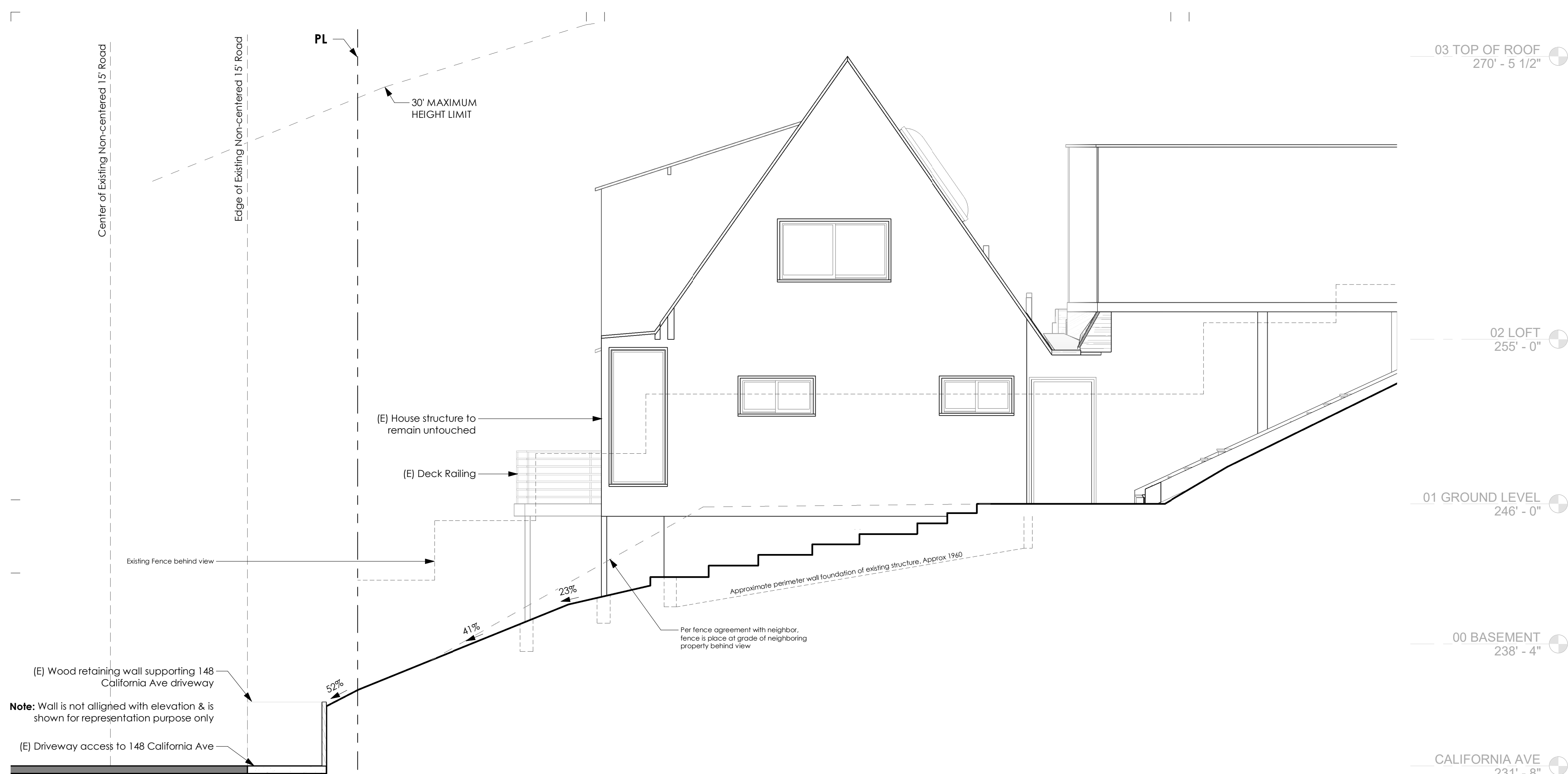
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PROGRESS		
TITLE 24		
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East Elevation

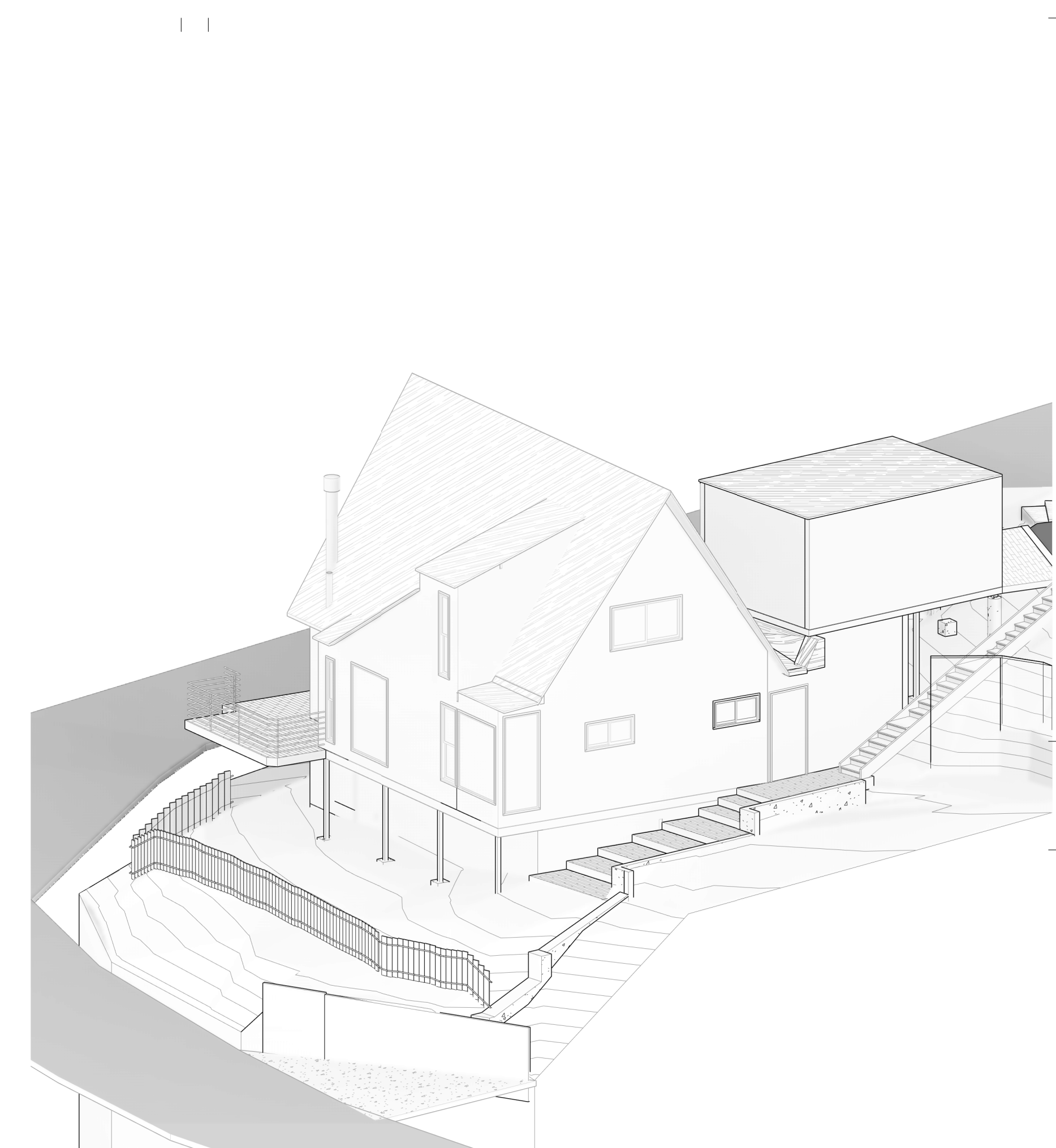
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PROJECT
2020.01

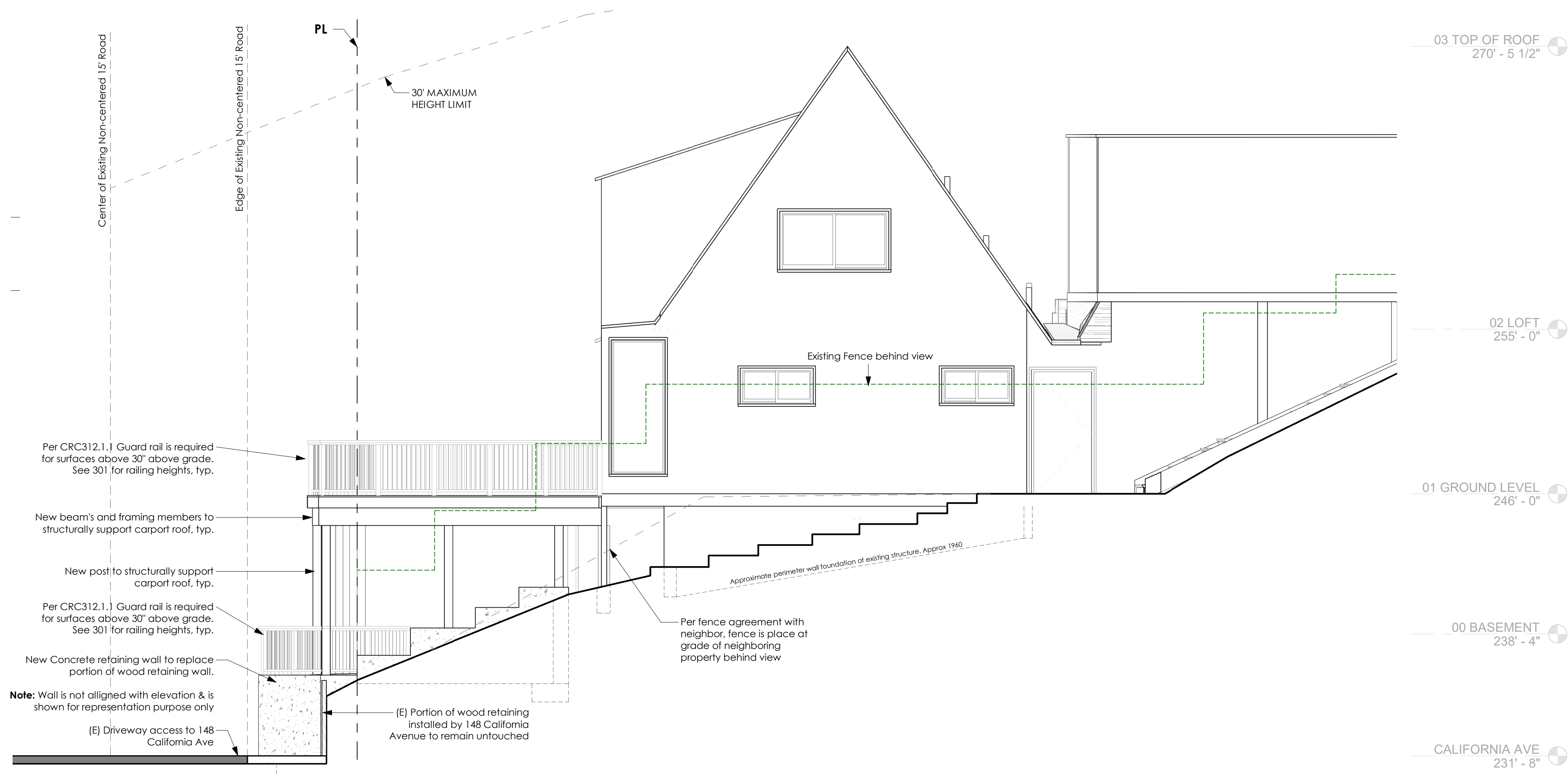
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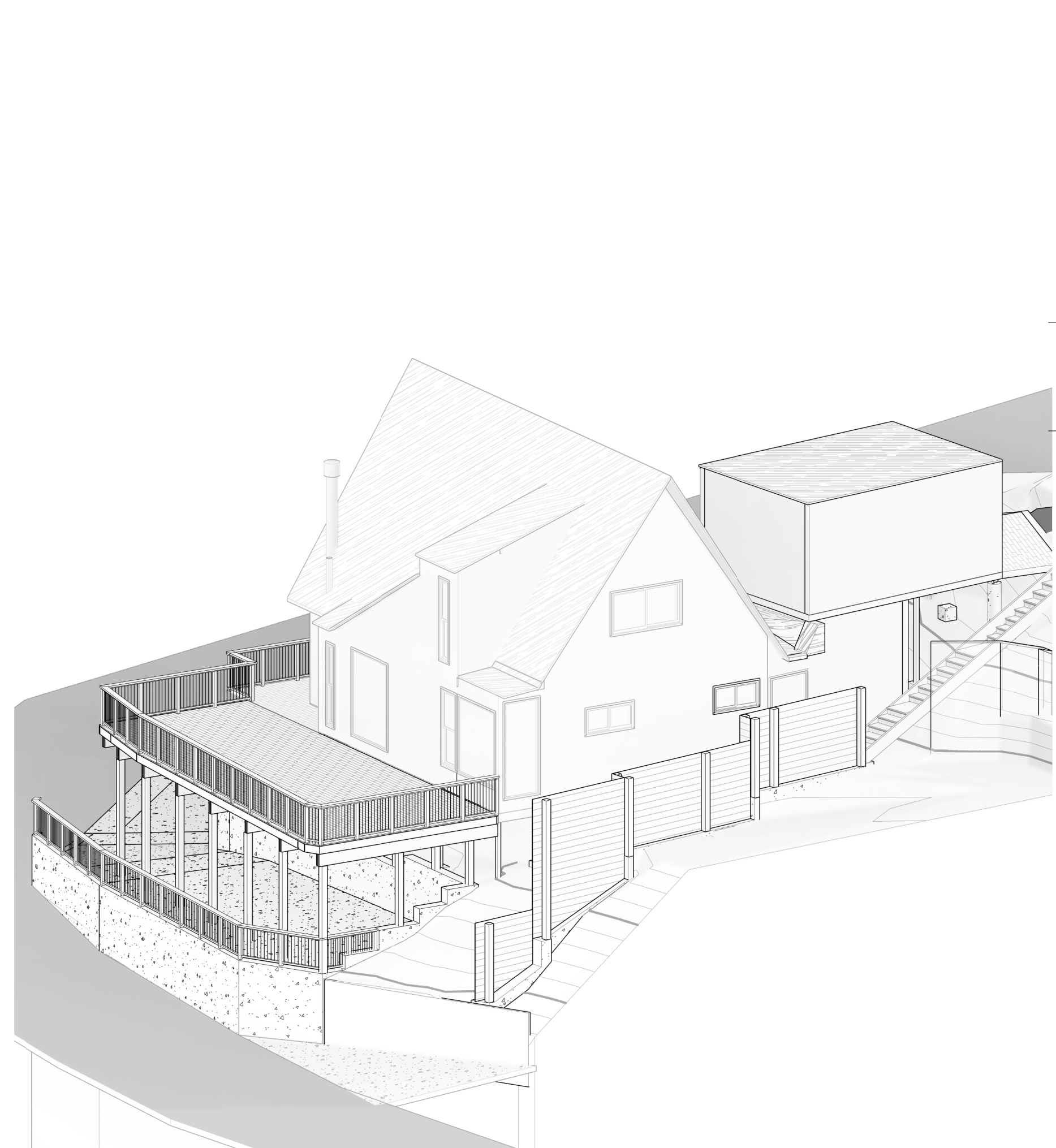
Existing West Elevation
scale 1/4" = 1'-0"



Existing Axon



Proposed West Elevation
scale 1/4" = 1'-0"



Proposed Axon

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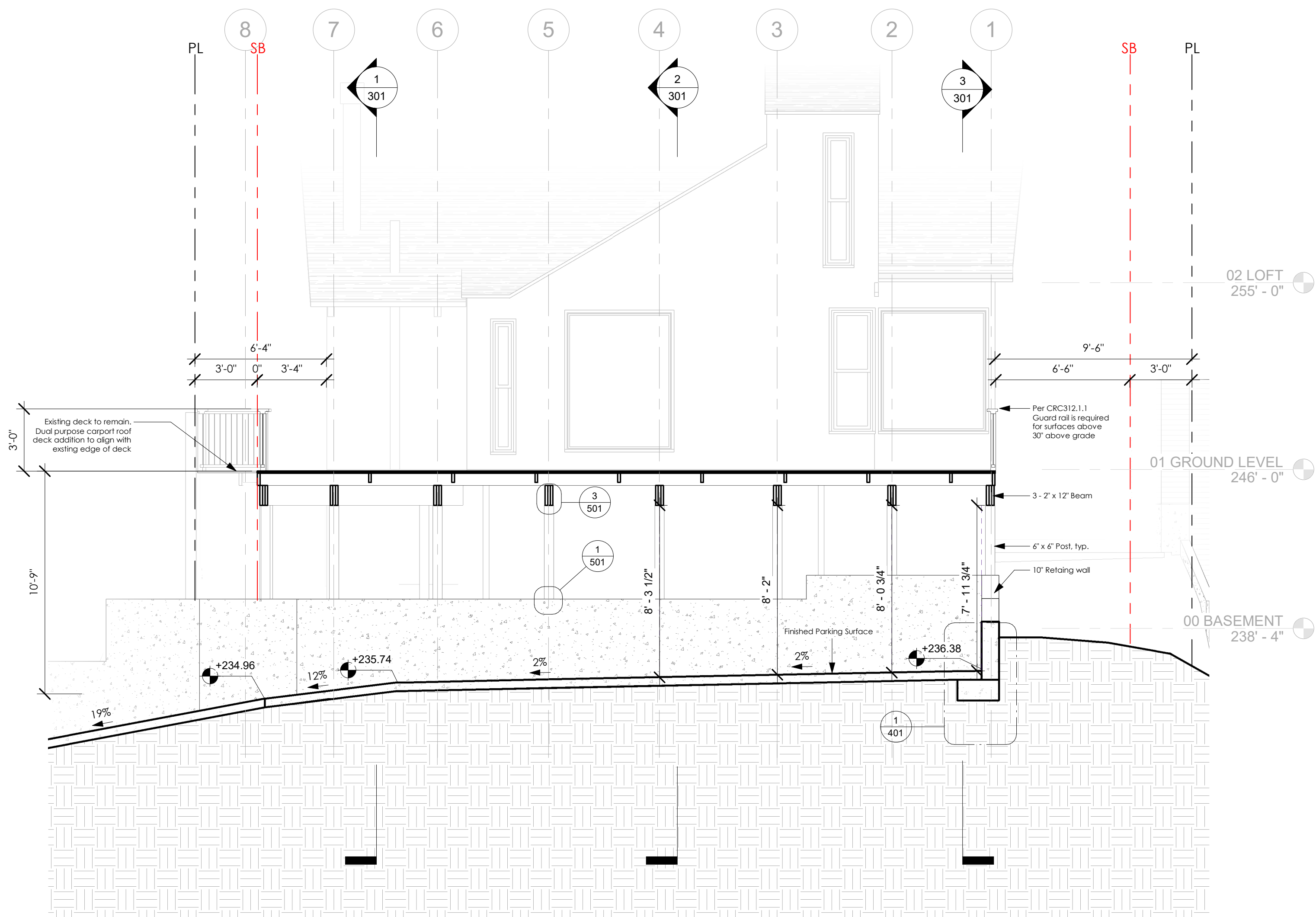
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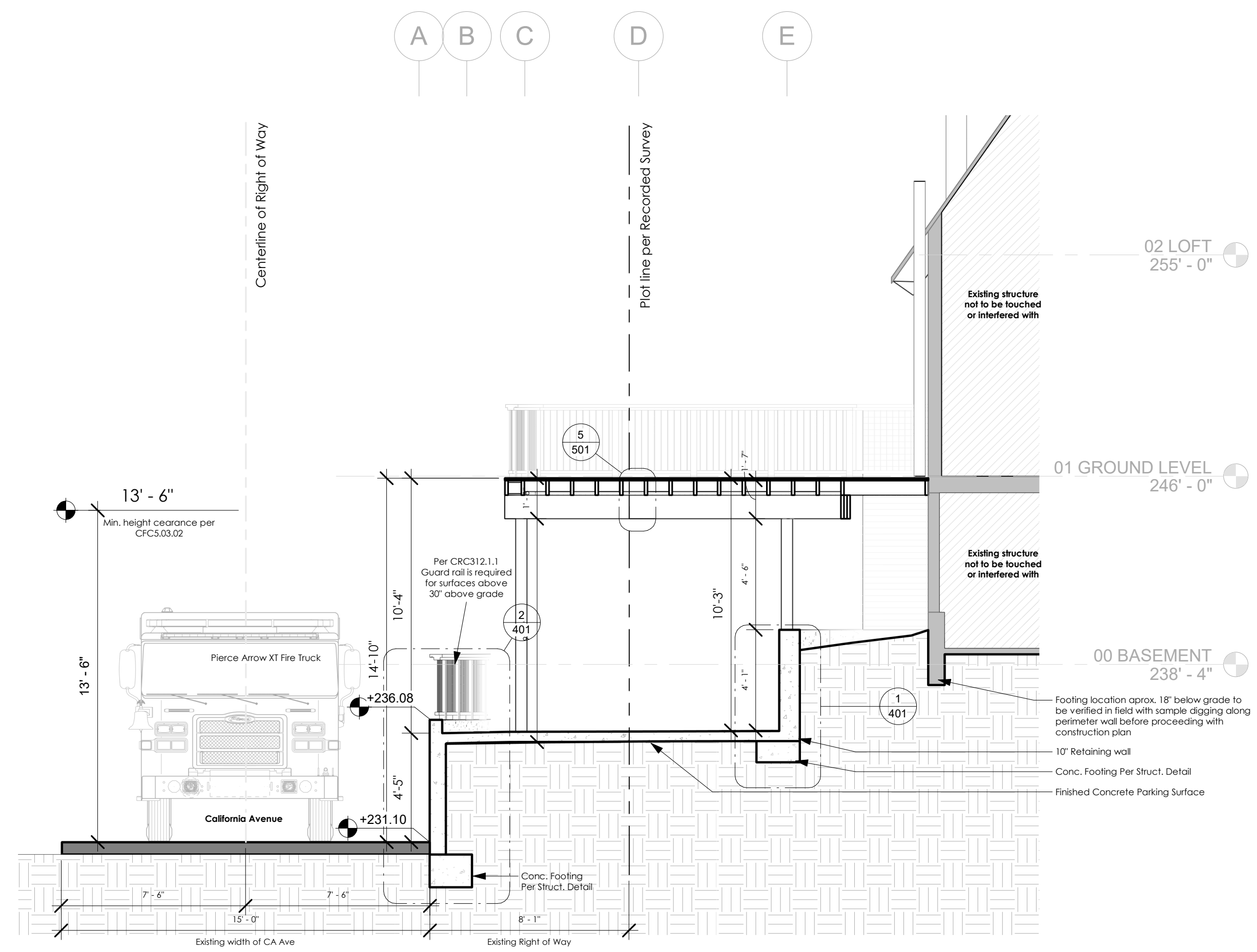
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West Elevation

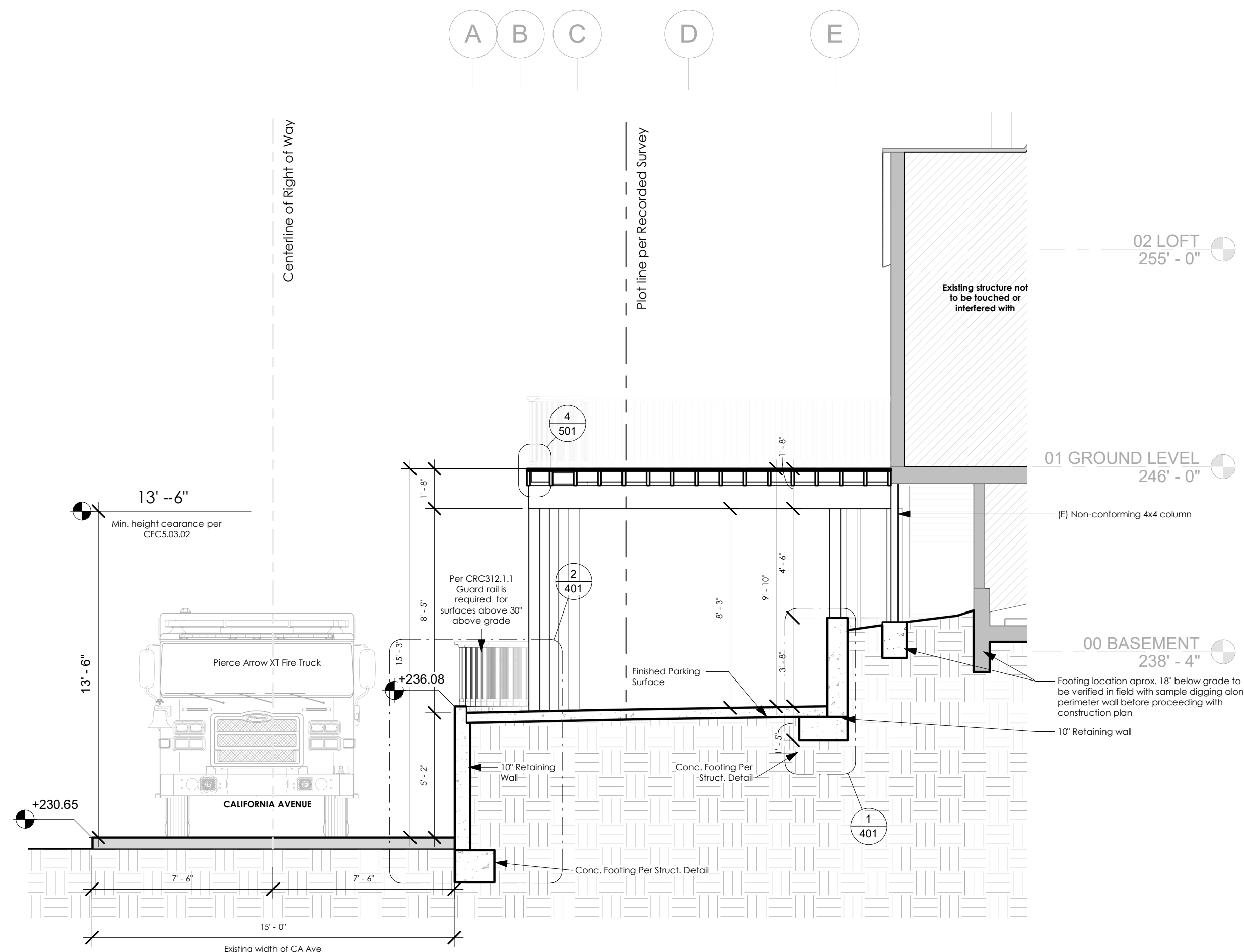
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PROJECT
2020.01
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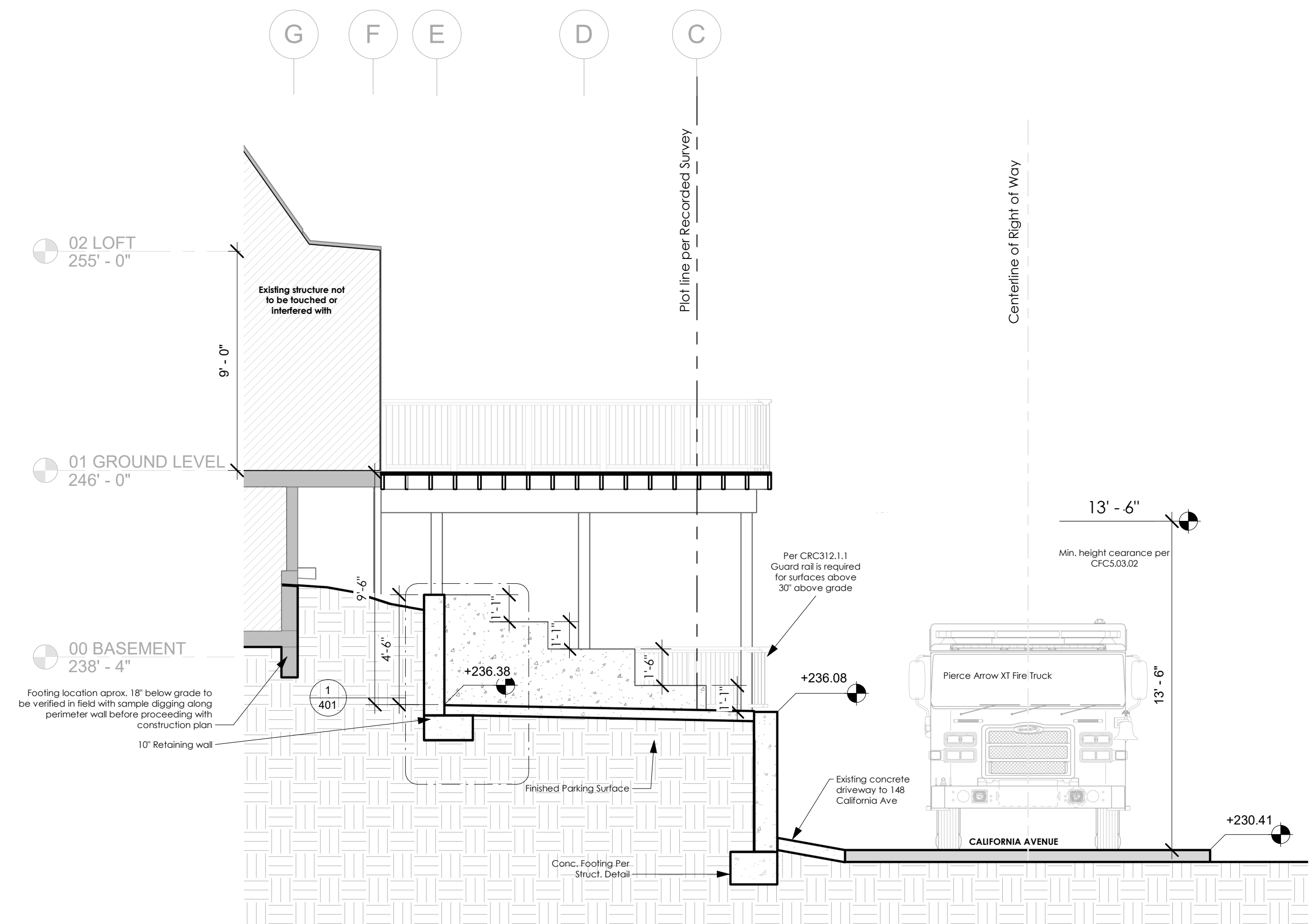
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Driveway Section - 1
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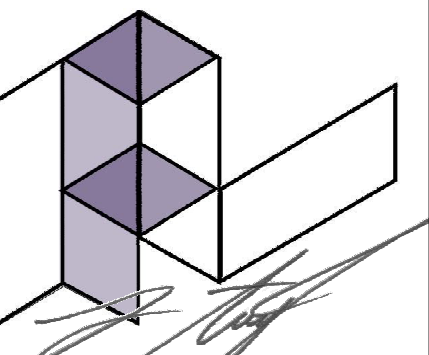
Driveway Section - 2
scale 1/4" = 1'-0"



Driveway Section - 3
scale 1/4" = 1'-0"

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Driveway Section

DATE
11/29/2023

PROJECT
2020.01

SCALE
1/4" = 1'-0"

301



GENERAL NOTES

1. There is a 5' county easement agreement within the bounds of the surveyed property line along of the southern property line bounded by Harvard Avenue per 2075 or 377. Refer to C1 and C2. As this easement exists within the bounds of the property, it further constrains the dual facing lots between Harvard Avenue and California Ave, making the usable area smaller than neighboring parcels.
2. Project Benchmark is delineated as California Ave
3. Nearest FDC is 292 feet, located at the intersection of California Avenue and Yale Avenue
4. Existing 15' wide California Avenue was resurfaced with private funding by adjoining lots in September of 2001. Non-permitting allowed for deviations from the actual centerline of the original 30' Private Right of Way (Refer to Road Study Exhibits - EX104 - EX106)
5. Original 30' Paper Road Width per original TL&WC Subdivision Map, sold by Northwest Realty Co. Refer to title report for further information.

Easement Notes

1. Easement from Property C (153 Harvard Ave) to Property A (151 Harvard Ave): 269.67 Sq. Ft

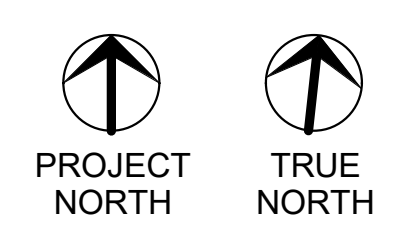
General Legend

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	Road area per actual centerline that is currently used as private property		Wood Retaining Wall
	Road area per actual centerline that is currently used as private property	Linetypes	
	Existing asphalt road		Approximate Plot Line
	Improvement area within private right of way		Surveyed Property Line
	Improvement area within property line per recorded survey		Extended Property Line
	Concrete		Road Center per Existing Road (White)
	5' County easement agreement		Road Center per Original Subdivision
	Demolition		Road Center per road expansion
	Earth (Plan & Section)		Power Line
	Easement Recording per EX101 & EX102		Setback
	Widening road to meet 20' width requirement per EX105 & EX106		Door sill above
	Existing fence		Floor above
	Landscaping		Structure above
	Neighbor and/or 151 Harvard Ave Building Footprint		Demolition
	Build area within in property line		Parking Requirement MMC24.04.380
	Private right of way as part of original 30' subdivision		Existing Contours
	County right of way as part of original 40' paper road	Symbols	
	Surface road within in private right of way (PROW)		Elevations or Section Tag • Elevations: 200 Series • Sections: 300 Series
	Surface road within in public right of way (ROW)		Power Supply Pole
	Asphalt shingle roof		Fire Hydrant Connection (FDC)
	Existing stone retaining wall		Revision Tag
	Existing stone steps		Spot Elevation Tag
	Finished carport roof deck surface		Callout
	Existing Deck Surface		Finished Surface

EASEMENTS AGREEMENTS

scale 3/16" = 1'-0"

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BLDG. PERMIT SUBMITTAL		05/04/2023

Easement Agreement

DATE 08/24/2023

PROJECT 2020.01

SCALE As indicated

EX101
Page 15 of 15