

PROJECT INFORMATION

Project Name:
Lower Lot Development
Project Address:

151 Harvard Ave, Mill Valley, Ca 94942

Assessor Parcel Number (APN): 051-082-05

Zoning Designation:

Owner:

Evenson Friedman Revocable Trust Tel: 619-809-8332

Project Design/Management

Itay Friedman 151 Harvard Ave, Mill Valley, CA 94941 Tel: 619-809-8332

PROJECT DATA

Overlay Zone:

Wildland Urban Interface Assessor Parcel Number (APN): 051-082-05

Zoning Designation:
R-1 B-1

Lot Area: Per Survey 2,817 Sq. Ft.

Lot Area: Vested Right to Middle of Road: Harvard Ave: 767.54 Sq. Ft.

California Ave: 761.92 Sq. Ft.

Total: 4,346.46 Sq. Ft.
Floor Area of Single Family Residence:

Ground Level: 916 Sq. Ft. Loft: 353 Sq. Ft. Construction Type:

V-B
Occupancy Type:

Project Benchmark
California Ave
Front Setbacks:
25'-0"

Side Yard Setback:
5'-0" (3' - 0" for Decks)

Rear Setback:
25' - 0" (Resulting in unreasonable

restriction)
Existing Deck Surface Area:

491.15 Sq. Ft. (See 101 for existing deck)
Proposed Carport/Deck Area:
928.56 Sq. Ft.

Existing Parking on Property:
One (1) Garage parking (214 Sq. Ft.)

Proposed Parking on Property:

Two (2) tandom covered carport spaces
Impervious Surfaces:

Email: Kyle@itayfriedman.com

Email: davednes@sbcdabal.net

Existing: 212.59 Sq. Ft. Proposed: 103.41 Sq. Ft. Total: 316 Sq. Ft.

SCOPE OF WORK

Lower lot development, including new tandom parking with a partial, dual acting carport and roof deck addition to the existing deck structure to allow for covered parking. Landscaping development in area between proposed parking platform and existing road reserved for future widening to 20' per EX104 - EX106

Draftsman

Soil Engineer

Olnes P.E., Inc.

Dave Olnes

7915 Crest Avenue

Oakland, CA 94605

Ph: (510) 568-2162

Project Directory

Designer

IF Bespoke Planning & Design Conultant CA

151 Harvard Ave, Mill Valley, CA94942 Itay Friedman; Principal Ph: (619) 809-8332

Client

Evenson Friedman Revocable Trust
151 Harvard Ave,

Email: Itay@itayfriedman.com

Mill Valley, CA94942 Ph: (619) 809-8332 Email: Itay@itayfriedman.com

Structual Engineer

Street Address
City, State, Zip
Company Conta

Company Contact
Ph: Company Contact Phone
Email: Company Contact Email

Civil Engineer

MCE Civil Engineering and Land Surveying 513 Center Street

Healdsburg, CA 95448 Dan Hughes, Principal Ph: (707 395-0968

CODE COMPLIANCE

2022 California Building Code 2022 California Residential Code 2022 California Mechanical Code

2022 California Electrical Code 2022 California Plumbing Code 2022 California Green Building Code

2022 California Energy Code 2022 California Fire Code

Local codes, amendments and ordinances

00 Title Sheet

TS100 Title Sheet

01 Survey

Topographic Map Record of Survey

02 Civil

C1 Cover Sheet

C2 Grading/Drainage Plan
C3 Details

03 Architectural

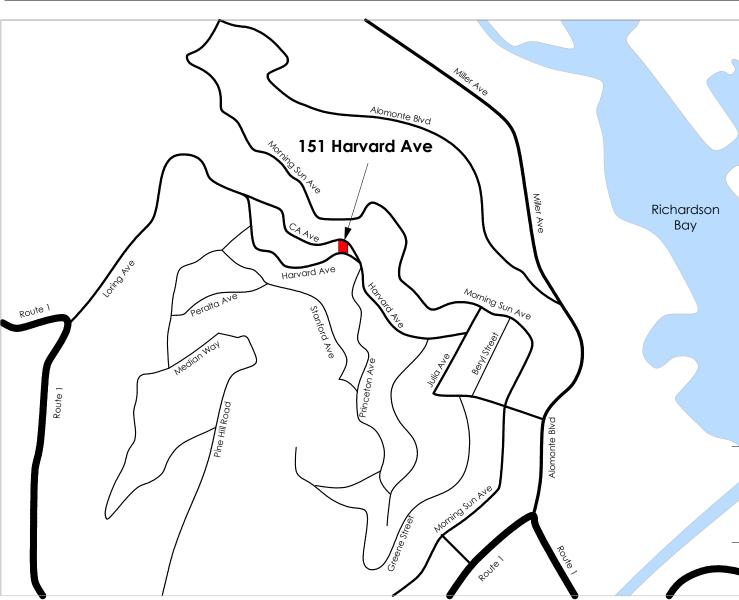
101 Existing Site Plan
102 Proposed Site Plan
112 Driveway / Carport Plan
113 Carport Roof Plan
201 California Ave Elevation
202 East Elevation

203 West Elevation
301 Driveway Section

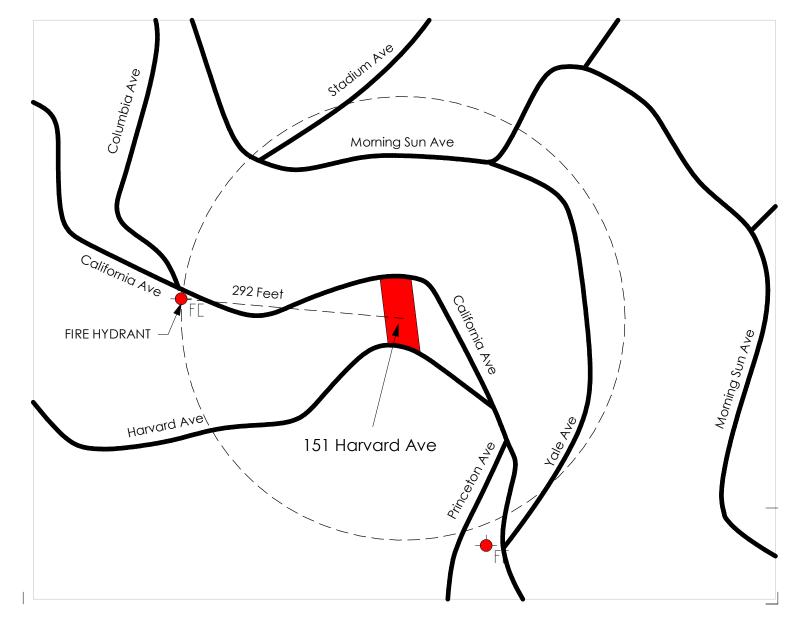
Exhibits

EX101 Easement Agreement

VICINITY MAP



PROXIMITY MAP



Lower Lot Developmen

Develo
151 Harv
Mill Valley,



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Mill Vallley CA 94941
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ITAY FRIEDMAN ARCHITECTS
Alt-Moabit 126
10557, Berlin
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For Internal Coordination

AB
SD
DD
PD
PR
REVISION

ADDENDA

REVISIONS

AS BUILTS
SITE CONDITION
RESEARCH
DESIGN
DEVELOPMENT

COST ESTIMATE

STRUCTURAL

PROGRESS

TITLE 24

BLDG. PERMIT
SUBMITTAL

DATE

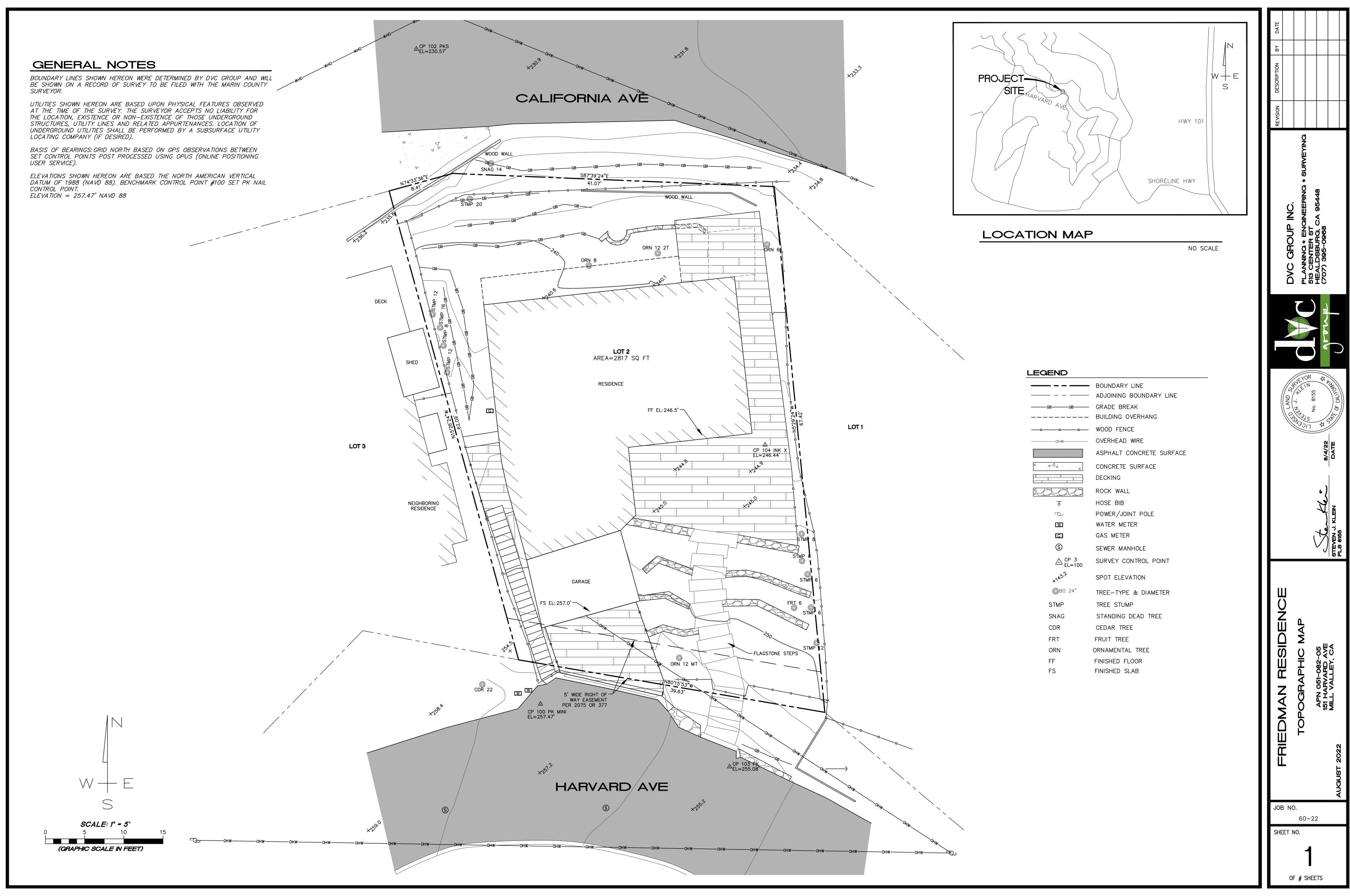
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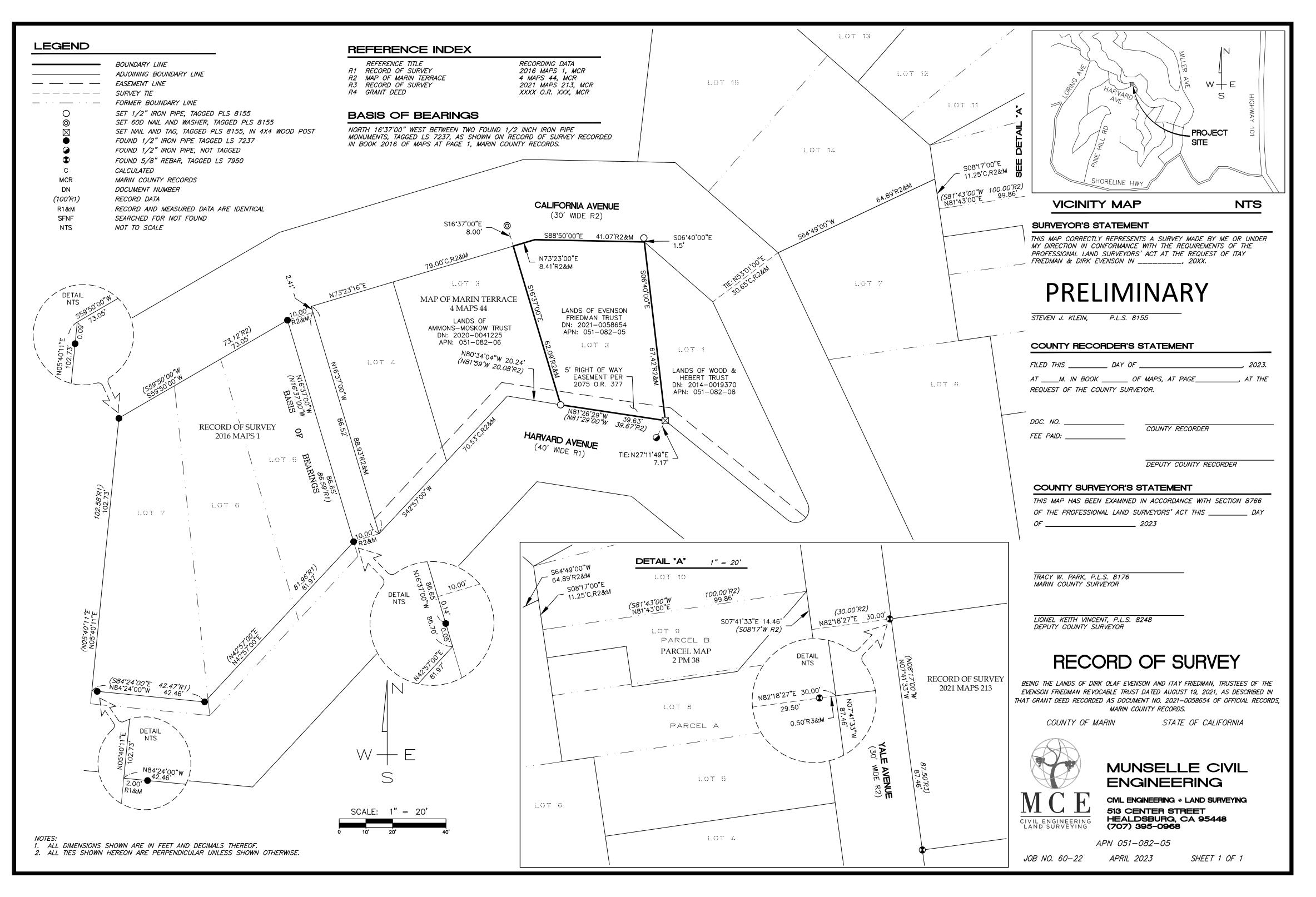
Title Sheet Driveway Addition

DATE 12/11/2023

PROJECT 2020.01 SCALE 1 1/2" = 1'-0"

TS100





- PERFORM GRADING AND DRAINAGE IMPROVEMENTS IN ACCORDANCE WITH CURRENT EDITION OF THE CALIFORNIA BUILDING CODE (CBC), APPENDIX J AND APPLICABLE COUNTY OF MARIN CODE AND REGULATIONS.
- 2. ALL WORK SHALL BE DONE IN COMPLIANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF RECORD UPON DISCOVERING DISCREPANCIES, ERRORS, OR OMISSIONS IN THE PLANS. PRIOR TO PROCEEDING, THE OWNER SHALL HAVE THE PLANS REVISED TO CLARIFY IDENTIFIED DISCREPANCIES, ERRORS, OR OMISSIONS. THE APPROVED PLANS AND SPECIFICATIONS SHALL NOT BE CHANGED WITHOUT THE WRITTEN APPROVAL OF THE MARIN COUNTY BUILDING DEPARTMENT. PROPOSED MODIFICATIONS TO THE APPROVED PLANS AND SPECIFICATIONS SHALL BE SUBMITTED TO THE PERMIT AUTHORITY IN WRITING, TOGETHER WITH ALL NECESSARY TECHNICAL INFORMATION AND DESIGN DETAILS.
- 3. THE GRADING/DRAINAGE PERMIT AND AN APPROVED COPY OF THE GRADING/DRAINAGE PLANS SHALL BE MAINTAINED ON THE PROJECT SITE THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITIES.
- 4. MARIN COUNTY BUILDING DEPARTMENT MAY ORDER THAT ANY WORK STOP IMMEDIATELY IF IT IS PERFORMED CONTRARY TO CBC APPENDIX J, MARIN COUNTY CODE AND REGULATIONS, THE APPROVED PLANS AND SPECIFICATIONS, PERMIT CONDITIONS, OR ANY WORK THAT HAS BECOME HAZARDOUS TO PROPERTY OR THE PUBLIC.
- 5. ISSUANCE OF A GRADING/DRAINAGE PERMIT BY COUNTY OF MARIN DOES NOT ELIMINATE THE RESPONSIBILITY OF THE OWNER TO SECURE PERMITS FROM OTHER AGENCIES WITH REGULATORY RESPONSIBILITIES FOR THE CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE WORK ON THESE PLANS. FAILURE TO OBTAIN ALL REQUIRED PERMITS MAY RESULT IN FINES FROM THE RESPECTIVE AGENCY.
- 7. EXISTING DRAINAGE COURSES RECEIVING WATERS FROM THIS SITE AND LOCATED THROUGHOUT THIS SITE SHALL REMAIN OPEN AND CLEAR OF DEBRIS TO PROPERLY CONVEY STORM WATER. IF EXISTING DRAINAGE COURSES RECEIVING WATERS FROM THIS SITE ARE LOCATED IN CITY RIGHT-OF-WAY AND NEED MAINTENANCE, CONTACT MARIN COUNTY DEPARTMENT OF PUBLIC WORKS AT (415) 473-6528 FOR FURTHER ASSISTANCE. IN ANY EVENT, THE OWNER AND/OR CONTRACTOR SHALL BE HELD LIABLE FOR ANY DAMAGE DUE TO OBSTRUCTING NATURAL DRAINAGE PATTERNS.
- 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UNDERGROUND SERVICE ALERT (U.S.A.), TOLL FREE AT 1-800-642-2444, AT LEAST TWO WORKING DAYS BUT NOT MORE THAN 14 CALENDAR DAYS PRIOR TO EXCAVATION . THE CONTRACTOR SHALL UNCOVER RELEVANT UTILITIES TO VERIFY THEIR LOCATION AND ELEVATION. IF UNEXPECTED OR CONFLICTING UTILITIES ARE ENCOUNTERED DURING EXCAVATION, NOTIFY U.S.A, THE UTILITY OWNER, AND/OR THE ENGINEER OF RECORD IMMEDIATELY. UTILITIES INCLUDE BUT ARE NOT LIMITED TO WATER, SEWER, ELECTRICAL, GAS, TELEPHONE, AND CABLE/TV. IF PRACTICAL, THE EXCAVATOR SHALL DELINEATE WITH WHITE PAINT OR OTHER SUITABLE MARKINGS THE AREA TO BE EXCAVATED.
- 9. IN THE EVENT CULTURAL RESDURCES (I.E., HISTORICAL, ARCHAEDLOGICAL) AND PALEONTOLOGICAL RESOURCES, AND HUMAN REMAINS) ARE DISCOVERED DURING GRADING OR OTHER CONSTRUCTION ACTIVITIES, WORK SHALL IMMEDIATELY BE HALTED WITHIN THE VICINITY OF THE FIND. THE NORTHWEST INFORMATION CENTER SHALL BE NOTIFIED AT (707) 664-0880. A QUALIFIED ARCHEOLOGIST SHALL BE CONSULTED FOR AN ON-SITE EVALUATION. ADDITIONAL MITIGATION MAY BE REQUIRED BY THE MARIN COUNTY PER THE ARCHEOLOGIST'S RECOMMENDATIONS. IF HUMAN BURIALS OR HUMAN REMAINS ARE ENCOUNTERED, THE CONTRACTOR SHALL ALSO NOTIFY THE COUNTY CORONER AT (415) 499-6043.
- 10. SHOULD GRADING OPERATIONS ENCOUNTER HAZARDOUS MATERIALS. OR WHAT APPEAR TO BE HAZARDOUS MATERIALS, STOP WORK IMMEDIATELY IN THE AFFECTED AREA AND CONTACT 911 OR THE APPROPRIATE AGENCY FOR FURTHER INSTRUCTION.
- 11. RETAINING WALLS, UNLESS EXEMPTED, ARE NOT APPROVED UNDER A GRADING PERMIT. A SEPARATE BUILDING PERMIT IS REQUIRED.
- 12.EQUIPMENT SHALL NOT CROSS OR DISTURB CHANNELS OF ACTIVELY FLOWING STREAMS WITHOUT MARIN COUNTY APPROVED PERMIT AND BEST MANAGEMENT
- 13. GRADING AND DRAINAGE IMPROVEMENTS SHALL BE SET BACK FROM STREAMS, LAKES, PONDS, AND WETLANDS IN COMPLIANCE WITH CITY REQUIREMENTS EXISTING VEGETATION SHALL BE RETAINED IN STREAM SETBACK AREAS TO FILTER SOIL AND OTHER POLLUTANTS CARRIED IN STORMWATER.
- 14. EXCESS SOIL SHALL BE REMOVED FROM THE SITE UNLESS DEPICTED TO REMAIN ON SITE PER THE APPROVED PLAN. THE SITE RECEIVING SOIL MAY REQUIRE A GRADING PERMIT UNLESS EXEMPTED.
- 15. CONTOURS, ELEVATIONS, AND SHAPES OF FINISHED SURFACES SHALL BE BLENDED WITH ADJACENT NATURAL TERRAIN TO ACHIEVE A CONSISTENT GRADE AND NATURAL APPEARANCE. THE TOP OF CUT SLOPES SHALL BE ROUNDED OFF TO BLEND WITH THE NATURAL TERRAIN. BORDERS OF CUT SLOPES AND FILLS SHALL BE ROUNDED OFF TO A MINIMUM RADIUS OF 5-FEET TO BLEND WITH THE NATURAL TERRAIN.
- 16. FILL MATERIAL SHALL NOT INCLUDE ORGANIC, FROZEN, OR OTHER DELETERIOUS MATERIALS. NO ROCK OR SIMILAR IRREDUCIBLE MATERIAL GREATER THAN 6 INCHES IN ANY DIMENSION SHALL BE INCLUDED IN FILLS EXCEPT WHERE APPROVED BY THE SOILS ENGINEER. FILLS SHALL BE CONSTRUCTED IN LIFTS NOT EXCEEDING 8 INCHES IN DEPTH. COMPLETED FILLS SHALL BE STABLE, WELL-INTEGRATED, AND BONDED TO ADJACENT MATERIALS AND THE MATERIALS ON WHICH THEY REST. FILLS SHALL BE COMPETENT TO SUPPORT ANTICIPATED LOADS AND BE STABLE AT THE DESIGN SLOPES SHOWN ON THE APPROVED PLANS AND SPECIFICATIONS OR AS DIRECTED BY THE SOILS ENGINEER.
- 17.GROUND SURFACES SHALL BE PREPARED TO RECEIVE FILL BY REMOVING VEGETATION, TOPSOIL, AND OTHER UNSUITABLE MATERIALS, AND SCARIFYING THE GROUND TO PROVIDE A BOND WITH THE FILL MATERIAL.
- 18. FILL SHALL NOT BE PLACED ON NATURAL SLOPES STEEPER THAN 2H:1(50%).
- 19. FILLS INTENDED TO SUPPORT STRUCTURES OR SURCHARGES SHALL BE COMPACTED TO A MINIMUM OF 90% OF MAXIMUM DRY DENSITY, AS DETERMINED BY ASTM D 1557, MODIFIED PROCTOR. A HIGHER COMPACTION PERCENTAGE MAY BE REQUIRED BY THE SDILS ENGINEER.
- 20. FILLS NOT INTENDED TO SUPPORT STRUCTURES OR SURCHARGES SHALL BE COMPACTED AS FOLLOWS: (1) FILL GREATER THAN 3 FEET IN DEPTH SHALL BE COMPACTED TO THE DENSITY SPECIFIED BY THE SOILS ENGINEER. (2) FILLS NO GREATER THAN 3 FEET IN DEPTH SHALL BE COMPACTED TO THE DENSITY NECESSARY FOR THE INTENDED USE OR AS DIRECTED BY THE SOILS ENGINEER.
- 21. ANY DISCREPANCY DISCOVERED BY CONTRACTOR IN THESE PLANS OR ANY FIELD CONDITIONS DISCOVERED BY CONTRACTOR THAT MAY DELAY OR DBSTRUCT THE PROPER COMPLETION OF THE WORK PER THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE CIVIL ENGINEER AND OWNER IMMEDIATELY UPON DISCOVERY, NOTIFICATION SHALL BE IN WRITING.

EROSION PREVENTION AND SEDIMENT CONTROL NOTES

- 1. PERFORM EROSION PREVENTION AND SEDIMENT CONTROL IN ACCORDANCE WITH COUNTY OF MARIN REGULATIONS, WHICH FOLLOWS BEST MANAGEMENT PRACTICES (BMPs) AS SPECIFIED IN THE CALIFORNIA STORMWATER QUALITY ASSOCIATION (CASQA) MANUAL.
- 2. EROSION/SEDIMENT CONTROL MEASURES MUST BE INSTALLED AS THE FIRST ORDER OF WORK.
- 3. THE APPROVED PLANS SHALL CONFORM WITH MARIN COUNTY EROSION CONTROL REQUIREMENTS.
- 4. THE OWNER IS RESPONSIBLE FOR PREVENTING STORM WATER POLLUTION GENERATED FROM THE CONSTRUCTION SITE YEAR ROUND. WORK SITES WITH INADEQUATE EROSION AND SEDIMENT CONTROL MAY BE SUBJECT TO A STOP WORK ORDER.
- 5. IF DISCREPANCIES OCCUR BETWEEN THESE NOTES, MATERIAL REFERENCED HEREIN OR MANUFACTURER'S RECOMMENDATIONS, THEN THE MOST PROTECTIVE SHALL APPLY.

RAINY SEASON OPERATIONS

- 1. THE OWNER MUST IMPLEMENT AN EFFECTIVE COMBINATION OF EROSION PREVENTION AND SEDIMENT CONTROL ON ALL DISTURBED AREAS DURING THE RAINY SEASON (OCTOBER 15 - APRIL 15). CONSTRUCTION GRADING AND DRAINAGE IMPROVEMENT SHALL BE PERMITTED DURING THE RAINY SEASON ONLY WHEN ON-SITE SOIL CONDITIONS PERMIT THE WORK TO BE PERFORMED IN COMPLIANCE WITH MARIN COUNTY STANDARD SPECIFICATIONS. STORM WATER BMPS REFERENCED OR DETAILED IN THE PERMIT AUTHORITY'S BEST MANAGEMENT PRACTICES GUIDE SHALL BE IMPLEMENTED AND FUNCTIONAL ON THE SITE AT ALL TIMES
- 2. THE AREA OF ERODIBLE LAND EXPOSED AT ANY ONE TIME DURING THE WORK SHALL NOT EXCEED f 1ACRE OR 20% OF THE PERMITTED WORK AREA, WHICHEVER IS GREATER, AND THE TIME OF EXPOSURE SHALL BE MINIMIZED TO THE MAXIMUM EXTENT PRACTICABLE.

YEAR ROUND REQUIREMENTS

- DURING THE NON-RAINY SEASON, ON ANY DAY WHEN THE NATIONAL WEATHER SERVICE FORECAST IS A CHANCE OF RAIN OF 30% OR GREATER WITHIN THE NEXT 24 HOURS. STORM WATER BMPS REFERENCED OR DETAILED IN BASMAA MANUAL OR WITHIN PLANS BEST MANAGEMENT PRACTICES GUIDE SHALL BE IMPLEMENTED, INSTALLED, AND FUNCTIONAL ON THE SITE TO PREVENT SOIL AND OTHER POLLUTANT DISCHARGES. AT ALL OTHER TIMES, BMPS SHOULD BE STORED ON SITE IN PREPARATION FOR INSTALLATION PRIOR TO RAIN EVENTS.
- 2. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED BY THE OWNER BEFORE FORECASTED STORM EVENTS AND AFTER STORM EVENTS TO ENSURE MEASURES ARE FUNCTIONING PROPERLY. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES THAT HAVE FAILED OR ARE NO LONGER EFFECTIVE SHALL BE PROMPTLY REPLACED. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED.
- 3. THE LIMITS OF GRADING SHALL BE DEFINED AND MARKED ON SITE TO PREVENT DAMAGE TO SURROUNDING VEGETATION. PRESERVATION OF EXISTING VEGETATION SHALL OCCUR TO THE MAXIMUM EXTENT PRACTICABLE. ANY EXISTING VEGETATION WITHIN THE LIMITS OF GRADING THAT IS TO REMAIN UNDISTURBED BY THE WORK SHALL BE IDENTIFIED AND PROTECTED FROM DAMAGE BY MARKING, FENCING, OR OTHER MEASURES.
- . CHANGES TO THE EROSION PREVENTION AND SEDIMENT CONTROL PLAN MAY BE MADE TO RESPOND TO FIELD CONDITIONS AND SHALL BE NOTED ON THE PLAN.
- 5. DISCHARGES OF POTENTIAL POLLUTANTS FROM CONSTRUCTION SITES SHALL BE PREVENTED USING SOURCE CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SEDIMENT, TRASH, NUTRIENTS, PATHOGENS, PETROLEUM HYDROCARBONS, METALS, CONCRETE, CEMENT, ASPHALT, LIME, PAINT, STAINS, GLUES, WOOD PRODUCTS, PESTICIDES, HERBICIDES, CHEMICALS, HAZARDOUS WASTE, SANITARY WASTE, VEHICLE OR EQUIPMENT WASH WATER, AND CHLORINATED WATER.
- 6. ENTRANCE(S) TO THE CONSTRUCTION SITE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF POTENTIAL POLLUTANTS OFFSITE, POTENTIAL POLLUTANTS DEPOSITED ON PAVED AREAS WITHIN THE COUNTY RIGHT-OF-WAY, SUCH AS ROADWAYS AND SIDEWALKS, SHALL BE PROPERLY DISPOSED OF AT THE END OF EACH WORKING DAY OR MORE FREQUENTLY AS NECESSARY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING CONSTRUCTION VEHICLES LEAVING THE SITE ON A DAILY BASIS TO PREVENT DUST, SILT, AND DIRT FROM BEING RELEASED OR TRACKED OFFSITE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AT THE END OF EACH WORKING DAY OR MORE OFTEN AS NECESSARY.
- 7. ALL DISTURBED AREAS SHALL BE PROTECTED BY USING EROSION PREVENTION MEASURES TO THE MAXIMUM EXTENT PRACTICABLE, SUCH AS ESTABLISHING VEGETATION COVERAGE, HYDROSEEDING, STRAW MULCH, GEDTEXTILES, PLASTIC COVERS, BLANKETS OR MATS. TEMPORARY OR PERMANENT REVEGETATION SHALL BE INSTALLED AS SOON AS PRACTICAL AFTER VEGETATION REMOVAL BUT IN ALL CASES PRIOR TO OCTOBER 15. PRIOR TO FINAL INSPECTION, ALL DISTURBED AREAS SHALL BE REVEGETATED OR LANDSCAPING SHALL BE INSTALLED.
- 8. WHENEVER IT IS NOT POSSIBLE TO USE EROSION PREVENTION MEASURES ON EXPOSED SLOPES. SEDIMENT CONTROL DEVICES SUCH AS FIBER ROLLS AND SILT FENCES SHALL BE INSTALLED TO PREVENT SEDIMENT MIGRATION. FIBER ROLLS AND SILT FENCES SHALL BE TRENCHED AND KEYED INTO THE SOIL AND INSTALLED ON CONTOUR. SILT FENCES SHALL BE INSTALLED APPROXIMATELY 2 TO 5 FEET FROM TOE OF SLOPE.
- 9. HYDROSEEDING SHALL BE CONDUCTED IN A THREE STEP PROCESS. FIRST, EVENLY APPLY SEED MIX AND FERTILIZER TO THE EXPOSED SLOPE. SECOND, EVENLY APPLY MULCH OVER THE SEED AND FERTILIZER. THIRD, STABILIZE THE MULCH IN PLACE. AN EQUIVALENT SINGLE STEP PROCESS, WITH SEED, FERTILIZER, WATER, AND BONDED FIBERS IS ACCEPTABLE.
- APPLICATIONS SHALL BE BROADCASTED MECHANICALLY OR MANUALLY AT THE RATES SPECIFIED BELOW. SEED MIX AND FERTILIZER SHALL BE WORKED INTO THE SOIL BY ROLLING OR TAMPING. IF STRAW IS USED AS MULCH, STRAW SHALL BE DERIVED FROM WHEAT, RICE, OR BARLEY AND BE APPROXIMATELY 6 TO 8 INCHES IN LENGTH. STABILIZATION OF MULCH SHALL BE DONE HYDRAULICALLY BY APPLYING AN EMULSION OR MECHANICALLY BY CRIMPING OR PUNCHING THE MULCH INTO THE SOIL, EQUIVALENT METHODS AND MATERIALS MAY BE USED ONLY IF THEY ADEQUATELY PROMOTE VEGETATION GROWTH AND PROTECT EXPOSED SLOPES.

APPLICATION RATE (POUNDS PER ACRE) SEED MIX

Bromus mollis (BLANDO BROME) Trifolium hirtum (HYKON ROSE CLOVER) <u>FERTILIZER</u> 16-20-0 & 15% SULPHUR STRAW M-BINDER OR SENTINEL EQUIVALENT MATERIAL PER MANUFACTURER

*NON-ASPHALTIC, DERIVED FROM PLANTS

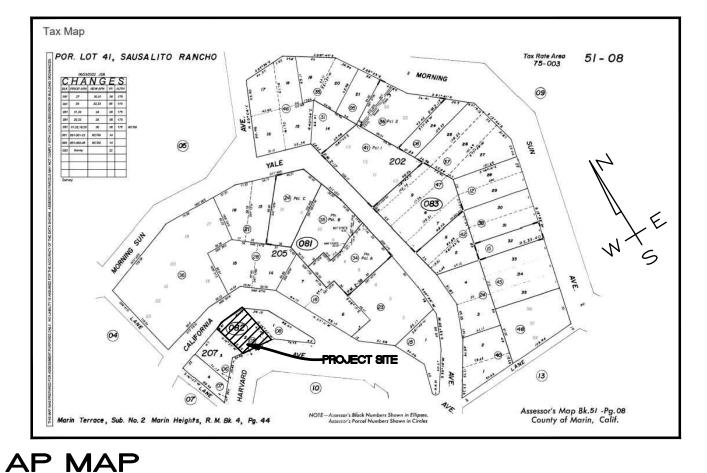
COORDINATED BY THE CONTRACTOR.

- 10. DUST CONTROL SHALL BE PROVIDED BY CONTRACTOR DURING ALL PHASES OF CONSTRUCTION.
- 11. STORM DRAIN INLETS SHALL BE PROTECTED FROM POTENTIAL POLLUTANTS UNTIL DRAINAGE CONVEYANCE SYSTEMS ARE FUNCTIONAL AND CONSTRUCTION HAS BEEN COMPLETED.
- 12.ENERGY DISSIPATERS SHALL BE INSTALLED AT STORM DRAIN DUTLETS WHICH MAY CONVEY EROSIVE STORM WATER FLOW.
- 13. SDIL, MATERIAL STOCKPILES, AND FERTILIZING MATERIAL SHALL BE PROPERLY PROTECTED TO MINIMIZE SEDIMENT AND POLLUTANT TRANSPORT FROM THE CONSTRUCTION SITE.
- 14. SOLID WASTE, SUCH AS TRASH, DISCARDED BUILDING MATERIALS AND DEBRIS, SHALL BE PLACED IN DESIGNATED COLLECTION AREAS OR CONTAINERS. THE CONSTRUCTION SITE SHALL BE CLEARED OF SOLID WASTE DAILY OR AS NECESSARY. REGULAR REMOVAL AND PROPER DISPOSAL SHALL BE
- 15.A CONCRETE WASHOUT AREA, SUCH AS A TEMPORARY PIT, SHALL BE DESIGNATED TO CLEAN CONCRETE TRUCKS AND TOOLS. AT NO TIME SHALL CONCRETE PRODUCTS AND WASTE BE ALLOWED TO ENTER COUNTY WATERWAYS SUCH AS CREEKS OR STORM DRAINS. NO WASHOUT OF CONCRETE, MORTAR MIXERS, OR TRUCKS SHALL BE ALLOWED ON SOIL.
- 16.PROPER APPLICATION, CLEANING, AND STORAGE OF POTENTIALLY HAZARDOUS MATERIALS, SUCH AS PAINTS AND CHEMICALS, SHALL BE CONDUCTED TO PREVENT THE DISCHARGE OF POLLUTANTS.
- 17. TEMPORARY RESTROOMS AND SANITARY FACILITIES SHALL BE LOCATED AND MAINTAINED DURING CONSTRUCTION ACTIVITIES TO PREVENT THE DISCHARGE OF POLLUTANTS.
- 18. APPROPRIATE VEHICLE STORAGE, FUELING, MAINTENANCE, AND CLEANING AREAS SHALL BE DESIGNATED AND MAINTAINED TO PREVENT DISCHARGE OF POLLUTANTS.

GRADING AND DRAINAGE PLAN FOR

151 HARVARD AVE

MILL VALLEY, CA 94941 APN 051-082-05



NO SCALE

PDE PRIVATE STORM DRAIN EASEMENT ____ _ RECORD BOUNDARY LINE

NEIGHBORING PROPERTY

BUILDING LINE

GRAVEL DRIVEWAY

EDGE □F PAVING

STRAW WATTLE

CONCRETE CURB &

SANITARY SEWER LINE &

EXISTING OVER HEAD

EXISTING FENCE LINE

DRIP LINE OF TREE OR

(TYPE VARIES)

BRUSH LINE

DIRECTION

LINE

GUTTER

WIRES

——GAS——GAS——UNDERGROUND GAS LINE

PROPOSED STORM DRAIN

PROPOSED ROOF DRAIN

->->->->->->

----- CENTERLINE

OWNER

ITAY FRIEDMAN AND DIRK D. EVENSON 151 HARVARD AVE., MILL VALLEY, CA 94941 (619) 909-8332

CONTACT DVC GROUP, INC.

513 CENTER STREET HEALDSBURG, CA 95448 (707) 395-0968

PROJECT DESCRIPTION

CONSTRUCTION OF NEW DRIVEWAY, DECK, AND ASSOCIATED NECESSARY GRADING AND DRAINAGE IMPROVEMENTS.

SURVEY NOTES

TOPOGRAPHIC INFORMATION SHOWN HEREON IS FROM A TOPOGRAPHICAL SURVEY BY DVC GROUP ENGINEERING, DATED AUGUST 04, 2022.

- 1. BOUNDARY LINES SHOWN HEREON WERE DETERMINED BY DVC GROUP AND WILL BE SHOWN ON A RECORD OF SURVEY TO BE FILED WITH THE MARIN COUNTY SURVEYOR.
- 2. UTILITIES SHOWN HEREON ARE BASED UPON PHYSICAL FEATURES OBSERVED AT THE TIME OF THE SURVEY. THE SURVEYOR ACCEPTS NO LIABILITY FOR THE LOCATION, EXISTENCE OR NON-EXISTENCE OF THOSE UNDERGROUND STRUCTURES, UTILITY LINES AND RELATED APPURTENANCES. LOCATION OF UNDERGROUND UTILITIES SHALL BE PERFORMED BY A SUBSURFACE UTILITY LOCATING COMPANY (IF DESIRED).
- 3. BASIS OF BEARINGS: GRID NORTH BASED ON GPS OBSERVATIONS BETWEEN SET CONTROL POINTS POST PROCESSED USING OPUS (ONLINE POSITIONING USER SERVICE).
- 4. ELEVATIONS SHOWN HEREON ARE BASED THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

POST INDICATOR VALVE

PRIVATE SEWER EASEMENT

REINFORCED CONCRETE PIPE

RETAINING RETAINING WALL

RPBP REDUCED PRESSURE BACK FLOW

STORM DRAIN DROP INLET

PUBLIC STORM DRAIN EASEMENT

S.A.D. SEE ARCHITECTURAL DESIGN

POINT OF CONNECTION

PDINT DF TANGENCY

PUE PUBLIC UTILITY EASEMENT

PVC POLYVINYLCHLORIDE PIPE

BENCHMARK CONTROL POINT #100 SET PK NAIL CONTROL POINT. 5. ELEVATION = 257.47' NAVD 88

PSE

R=

RFT

2=

SD

22

SWE

TW

W

PVT PRIVATE

RADIUS

SLOPE

NOITAT2 AT2

STD STANDARD

TYP TYPICAL

WATER

WATER LINE

WS WATER SERVICE VC VERTICAL CURVE

WATER METER

SIDEWALK

TOP OF CURB

TOP OF GRATE

R/W RIGHT OF WAY

PREVENTER

STORM DRAIN

SDCO STORM DRAIN CLEANOUT

SDMH STORM DRAIN MANHOLE

S.L.D SEE LANDSCAPE DESIGN

SANITARY SEWER

S.S.D. SEE STRUCTURAL DESIGN

SSCO SANITARY SEWER CLEANOUT

SSMH SANITARY SEWER MANHULE

SIDEWALK EASEMENT

UND UNLESS NOTED OTHERWISE

TOP OF RETAINING WALL

ABBREVIATIONS/LEGEND

AGGREGATE BASE

BEGIN CUR∨E

CATCH BASIN

CURB RETURN

DROP INLET

DRIVEWAY

ELEV ELEVATION

ESMT EASEMENT

(E),EX. EXISTING

FC FACE OF CURB

FG FINISH GRADE

HFIGHT

EASEMENT

END CURVE

EP EDGE OF PAVEMENT

EVC END VERTICAL CURVE

FINISH SURFACE

MMWD MARIN MUNICIPAL WATER

PAE STANDARD CITY MONUMENT

PRIVATE ACCESS,

HDPE HIGH DENSITY POLYETHYLENE

MARIN CO. SEWER DISTRICT

MAINTENANCE, DRAINAGE,

SIDEWALK, AND UTILITY

POINT OF CURVATURE

PCC PORTLAND CEMENT CONCRETE

GRADE BREAK

CONCRETE

BLOW-OFF

ANGLE

BVC

DWY

ASPHALT CONCRETE

BACK OF SIDEWALK

DUCTILE IRON PIPE

EXISTING GROUND

BUILDING SETBACK LINE

BEGIN VERTICAL CURVE

BOTTOM OF RETAINING WALL

CORRUGATED PLASTIC PIPE

PROJECT HWY 101 SHORELINE HWY

LOCATION MAP

ND SCALE

PROJECT SPECIFIC NOTES

- 1. ALL IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE UNIFORM CONSTRUCTION STANDARDS OF ALL CITIES AND COUNTY OF MARIN UNLESS NOTED
- 2. ALL CRACKED, BROKEN OR UPLIFTED SIDEWALK AND/OR CURB/GUTTER FRONTING THE PROPERTY SHALL BE REPLACED, APPLICANT SHALL COURDINATE WITH THE DEPARTMENT OF PUBLIC WORKS PRIOR TO START OF THE PROJECT IMPROVEMENTS TO IDENTIFY THE EXTENTS AND LIMITS OF SIDEWALK REPLACEMENT. CONTACT DPW AT (415) 473-6530 FOR FURTHER INFORMATION.
- 3. SHOULD CURB/GUTTER REQUIRE REPLACEMENT, CURB/GUTTER SHALL BE REPLACED WITH NEW CONCRETE CURB, GUTTER AND/OR DRIVEWAY APRON TO ENSURE PROPER DRAINAGE IS MAINTAINED. NEW CONCRETE GUTTER TO MATCH EXISTING CONCRETE GUTTER AND MAY REQUIRE ADDITIONAL ASPHALT TO MATCH EXISTING FLOW LINE. DRIVEWAY, CURB AND GUTTER ARE TO BE COORDINATED WITH DEPARTMENT OF PUBLIC WORKS PRIOR TO START OF CONSTRUCTION, CONTACT DPW AT (415)
- 4. AN ENCROACHMENT PERMIT (REVOCABLE) IS REQUIRED FROM THE PUBLIC WORKS DEPARTMENT FOR ALL WORK WITHIN THE RIGHT-OF-WAY. SHOULD A REVOCABLE ENCROACHMENT PERMIT BE REQUIRED, IT SHALL BE RECORDED AT THE MARIN COUNTY RECORDER'S OFFICE PRIOR TO ANY CONSTRUCTION IN THE RIGHT-OF-WAY.
- 5. AN ENCROACHMENT SECURITY IN THE FORM OF A CERTIFICATE OF DEPOSIT (CD) OR CASH IN THE AMOUNT OF WORK TO BE CONSTRUCTED IN THE RIGHT-OF-WAY SHALL BE SUBMITTED TO THE PUBLIC WORKS DEPARTMENT WITH THE ENCROACHMENT PERMIT.
- 6. APPLICANT IS RESPONSIBLE FOR USING BEST MANAGEMENT PRACTICES FOR THE CONSTRUCTION INDUSTRY ("GENERAL CONSTRUCTION AND SITE SUPERVISION" BROCHURE AVAILABLE AT THE DEPARTMENT OF PUBLIC WORKS) TO PREVENT STORM WATER POLLUTION. APPLICANT SHALL BE RESPONSIBLE FOR ALL ENVIRONMENTAL DAMAGE RESULTING FROM THE CONSTRUCTION OF THIS PROJECT.
- 7. ALL CONSTRUCTION MATERIAL, DEBRIS AND EQUIPMENT SHALL BE STORED ON SITE. IF THAT IS NOT PHYSICALLY POSSIBLE, AN ENCROACHMENT PERMIT SHALL BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS PRIOR TO PLACING ANY CONSTRUCTION MATERIALS, DEBRIS, DEBRIS BOXES OR UNLICENSED EQUIPMENT IN THE RIGHT-OF-WAY. THE FEE FOR USING THE RIGHT-OF-WAY FOR STORAGE OF CONSTRUCTION MATERIALS OR EQUIPMENT IS \$10.00 PER DAY IN RESIDENTIAL AREAS, AND \$20,00 PER DAY IN COMMERCIAL AREAS. A MINIMUM OF 12' PASSABLE AUTO TRAFFIC CLEARANCE (PAVED TRAVEL WAY) SHALL BE MAINTAINED AT ALL TIMES ALONG THE ROADWAY. THE PLACING OF PORTABLE REST ROOM FACILITIES IN THE CITY RIGHT-OF-WAY WILL NOT BE PERMITTED.
- 8. ALL SITE DRAINAGE SHALL BE DISSIPATED IN A MANNER THAT PREVENTS EROSION AND CONFORMS TO CURRENT STORM WATER PRACTICES IN MARIN COUNTY, THE APPLICANT IS RESPONSIBLE FOR ENSURING STORM WATER RUNDFF IS MAINTAINED IN ITS NATURAL PATH.
- 9. DESIGN ENGINEER/ARCHITECT SHALL CERTIFY TO THE COUNTY IN WRITING UPON THE COMPLETION OF WORK THAT ALL GRADING AND DRAINAGE IMPROVEMENTS WERE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND FIELD DIRECTION. BE AWARE THAT A DPW ENGINEER WILL NEED TO INSPECT AND ACCEPT WORK AFTER RECEIPT OF CERTIFICATION LETTER, CERTIFICATION LETTERS SHALL REFERENCE BUILDING PERMIT NUMBER OR NUMBERS FOR SPECIFIC WORK BEING CERTIFIED, THE ADDRESS OF THE PROPERTY AND THE ASSESSOR'S PARCEL NUMBER (APN), AND SHALL BE SIGNED AND STAMPED BY THE CERTIFYING PROFESSIONAL.

EARTHWORK:

FILL = 12 CY 29 CY (CUT)

1. THE QUANTITIES LISTED ARE THE ENGINEER'S ESTIMATE OF SURFACE GRADING ONLY, ADDITIONAL SUBSURFACE GRADING WILL BE REQUIRED FOR BENCHING, KEYWAYS, ETC.

2. CONTRACTOR IS RESPONSIBLE FOR THEIR OWN EARTHWORK QUANTITIES.

3. NO EXPANSION/CONTRACTION FACTORS HAVE BEEN APPLIED. EXPANSION AND/OR CONTRACTION MAY BE EXPERIENCED DUE TO ACTUAL FIELD CONDITIONS.

UNDER THE DIRECTION OF THE PROJECT SOILS ENGINEER AND COORDINATED WITH THE PROJECT CIVIL ENGINEER.

4. ANY EXCESS MATERIAL SHALL BE DISPOSED OF ONSITE

5. APPROX. DISTURBED AREA INCLUDING ALL GRADED AREAS, PROPOSE EROSION CONTROL MEASURES, STOCKPILES AND ANY PROPOSED FEATURE OF THE SITE 0.02 AC.

ASSUME 12" SDG FOR CONCRETE

INDEX OF DRAWINGS

C1 COVER SHEET C2 GRADING/DRAINAGE PLAN C3 DETAILS

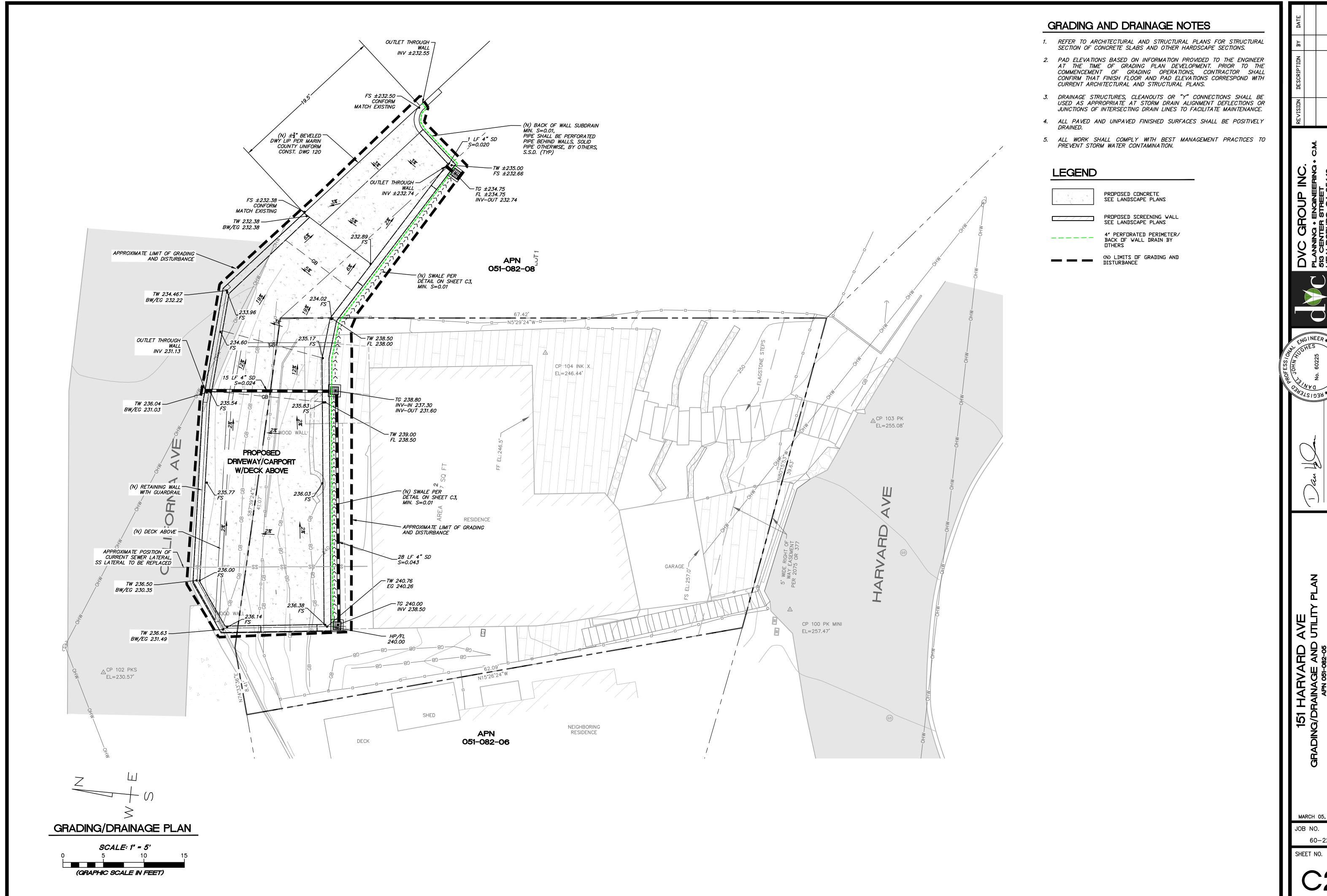
MARCH 05, 2024 JOB NO. 60-22

SHEET NO.

* REGISTER

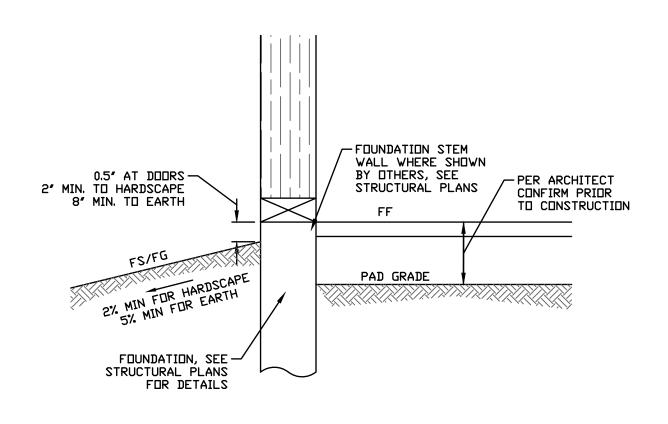
GINEER

Page 04 of 15



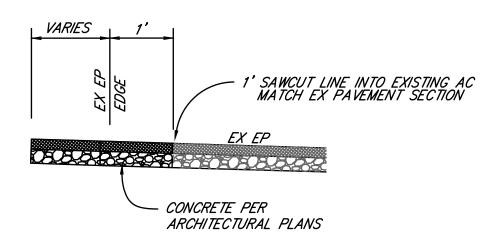
Page 05 of 15

MARCH 05, 2024 JOB NO.

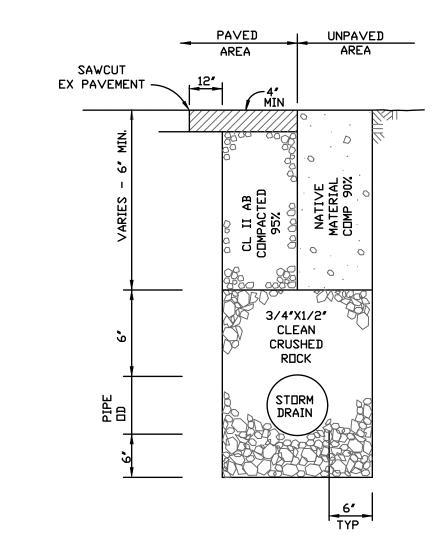


TYPICAL GRADING AT ADDITION EXTERIOR

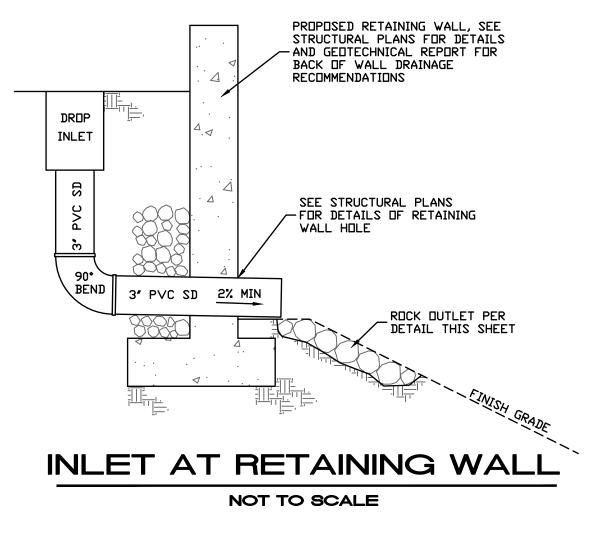
NO SCALE

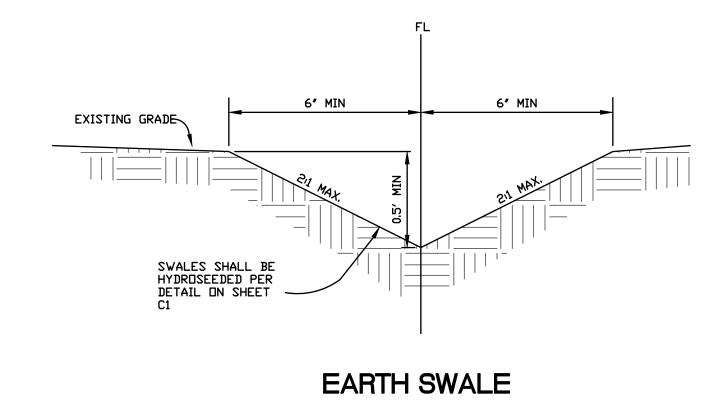


1' SAWCUT AND CONFORM DETAIL

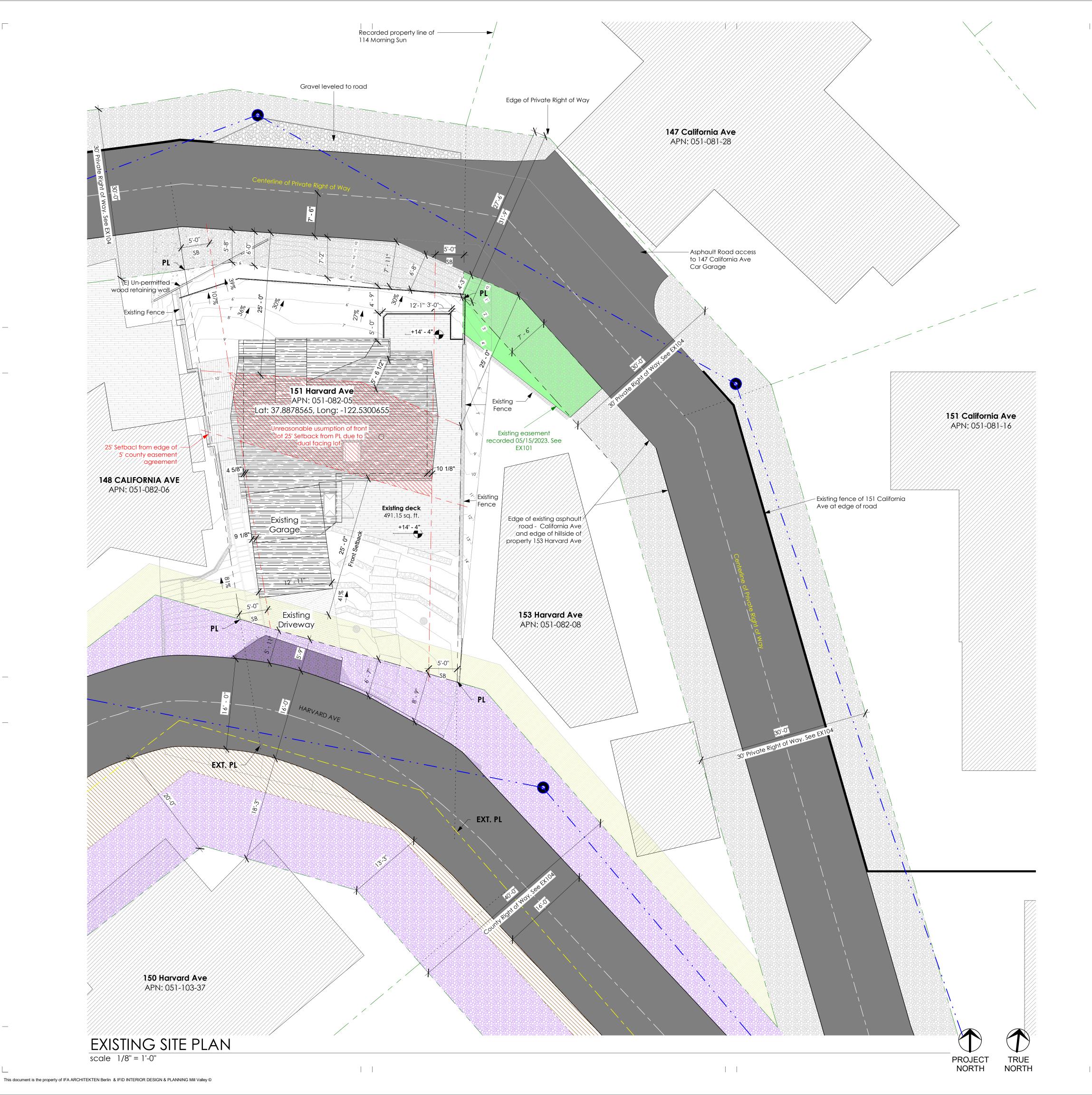








Page 06 of 15



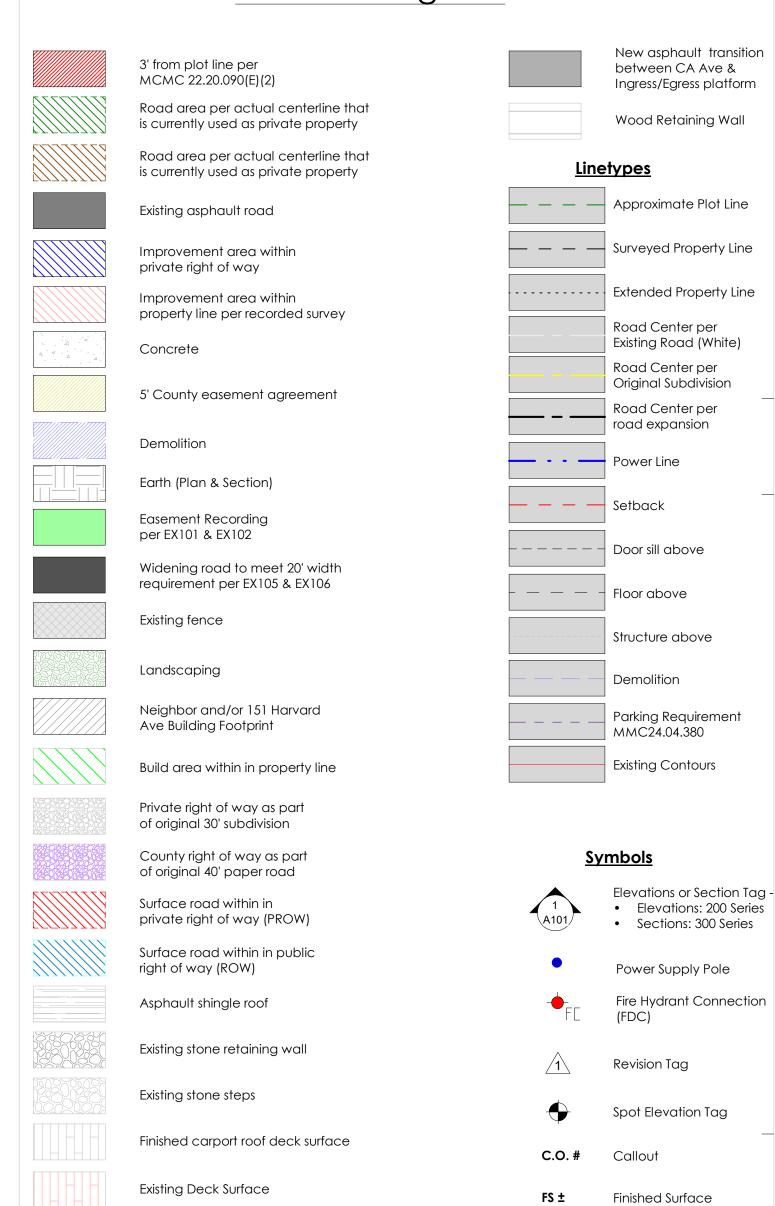
GENERAL NOTES

- 1. There is a 5' county easement agreement within the bounds of the surveyed property line along of the southern property line bounded by Harvard Avenue per 2075 or 377. Refer to C1 and C2. As this easement exists within the bounds of the property, it further constrains the dual facing lots between Harvard Avenue and California Ave, making the usable area smaller than neighboring parcels.
- Project Benchmark is deliniated as California Ave
 Nearest FDC is 292 feet, located at the intersection of California Avenue and yale
- 4. Existing 15' wide California Avenue was resurfaced with private funding by adjoining lots in September of 2001. Non-permitting allowed for devations from the actual centerline of the original 30' Private Right of Way (Refer to Road Study Exhibits EX104 EX106)
- Original 30' Paper Road Width per original TL&WC Subdivision Map, sold by Northwest Realty Co. Refer to title report for further infomation.

EXISTING SITE PLAN NOTES

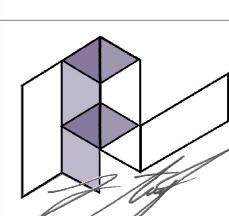
- Current available parking includes 1 existing garage parking spot (214 Sq. Ft.)
 302.6 Sq. Ft. of the existing 370.20 Sq. Ft. deck will remain. Refer to sheets 113 & 901 for further detail regarding demolition of portion of existing deck
- 3. 269.67 Sq. easement agreement between APN: 051-082-05 & APN: 051-082-08 for proposed tandom driveway access as shown on sheets 102 and 112

General Legend



ot nent

151 Harvard Ave Mill Valley, CA 949



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10557, Berlin
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For Internal Coordination

AB
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ADDENDA

REVISIONS

NO. DESCRIPTION

AS BUILTS
SITE CONDITION
RESEARCH
DESIGN
DEVELOPMENT
COST ESTIMATE
STRUCTURAL
PROGRESS

SUBMITTAL 05/04/2023

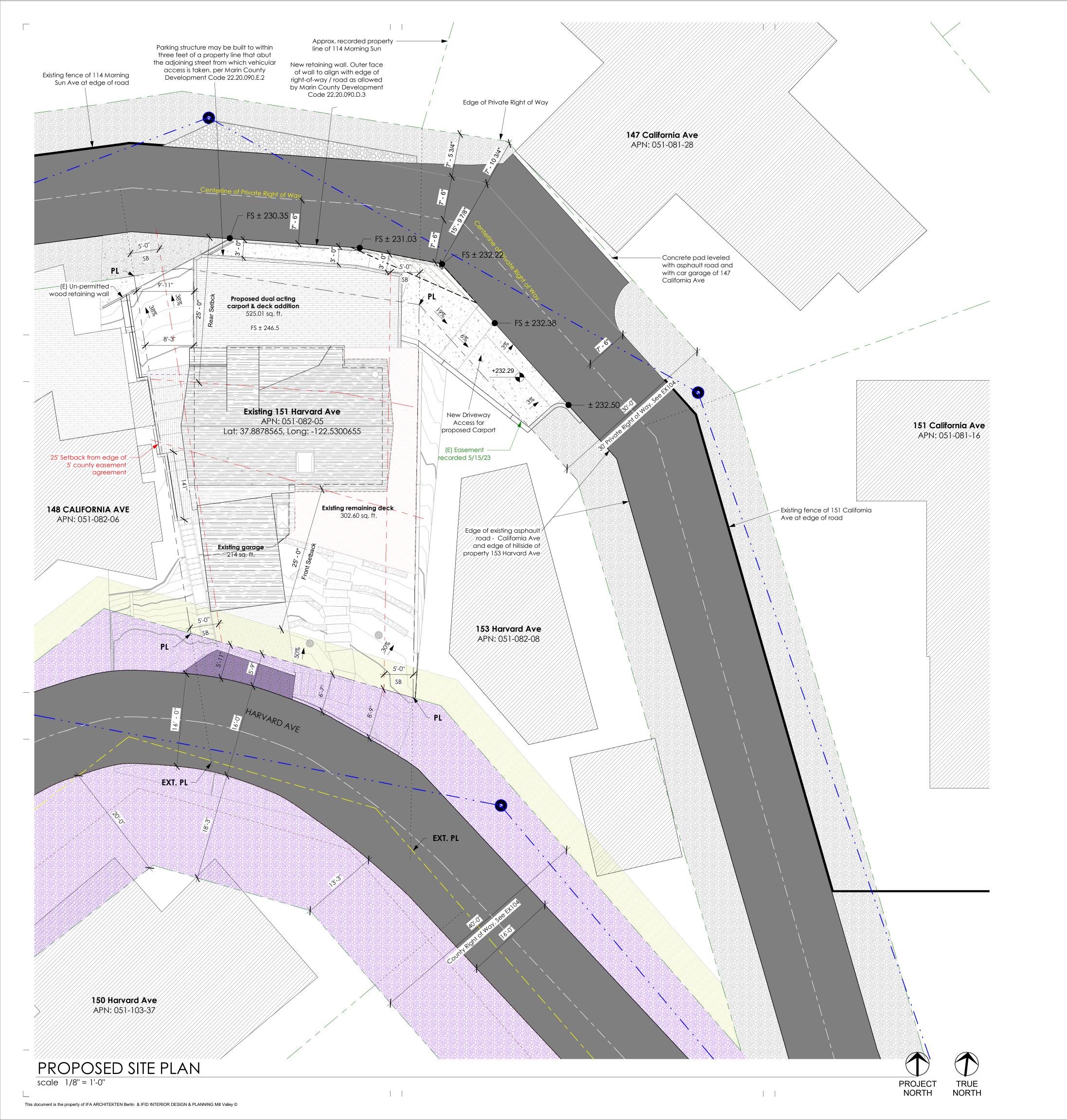
Existing Site Plan

DATE 11/29/2023

TITLE 24

BLDG. PERMIT

PROJECT 2020.01 SCALE As indicated



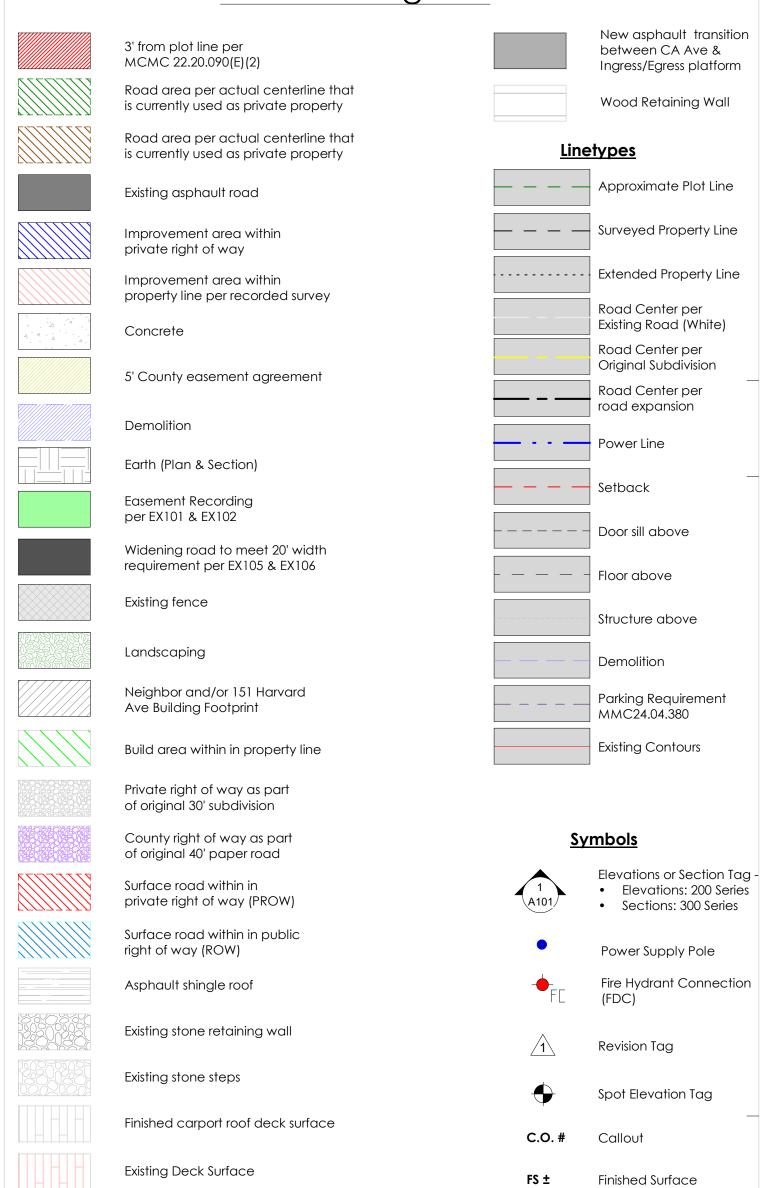
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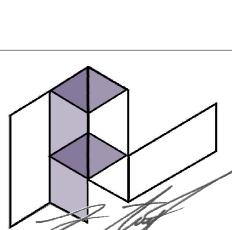
PROPOSED SITE PLAN NOTES

- After addition, available parking would increase by 2 total tandom parking spots enabling 151 Harvard Ave to enjoy similar private parking luxaries as neighboring properties and allow for conformance with parking requirements in Schedule 24.04.340-A of the Marin County Development Code. Refer to EX108 for further explanation and applicable variance requirements.
 - Existing Non-Conforming Garage Parking: 1 spot (214 Sq. Ft.)
- Proposed Tandom Parking: 2 tandom spots (400 Sq. Ft.)
- Total area of proposed impervious surfaces: 316 Sq. Ft.
- **Existing:** 212.59 Sq. Ft.
- **Proposed:** 103.41 Sq. Ft.

General Legend



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enliste No **Itay Friedman**

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For Internal Coordination AB SD PDPR REVISION

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REVISIONS

NO. DESCRIPTION AS BUILTS SITE CONDITION RESEARCH DESIGN DEVELOPMENT COST ESTIMATE STRUCTURAL PROGRESS

Proposed Site Plan

05/04/2023

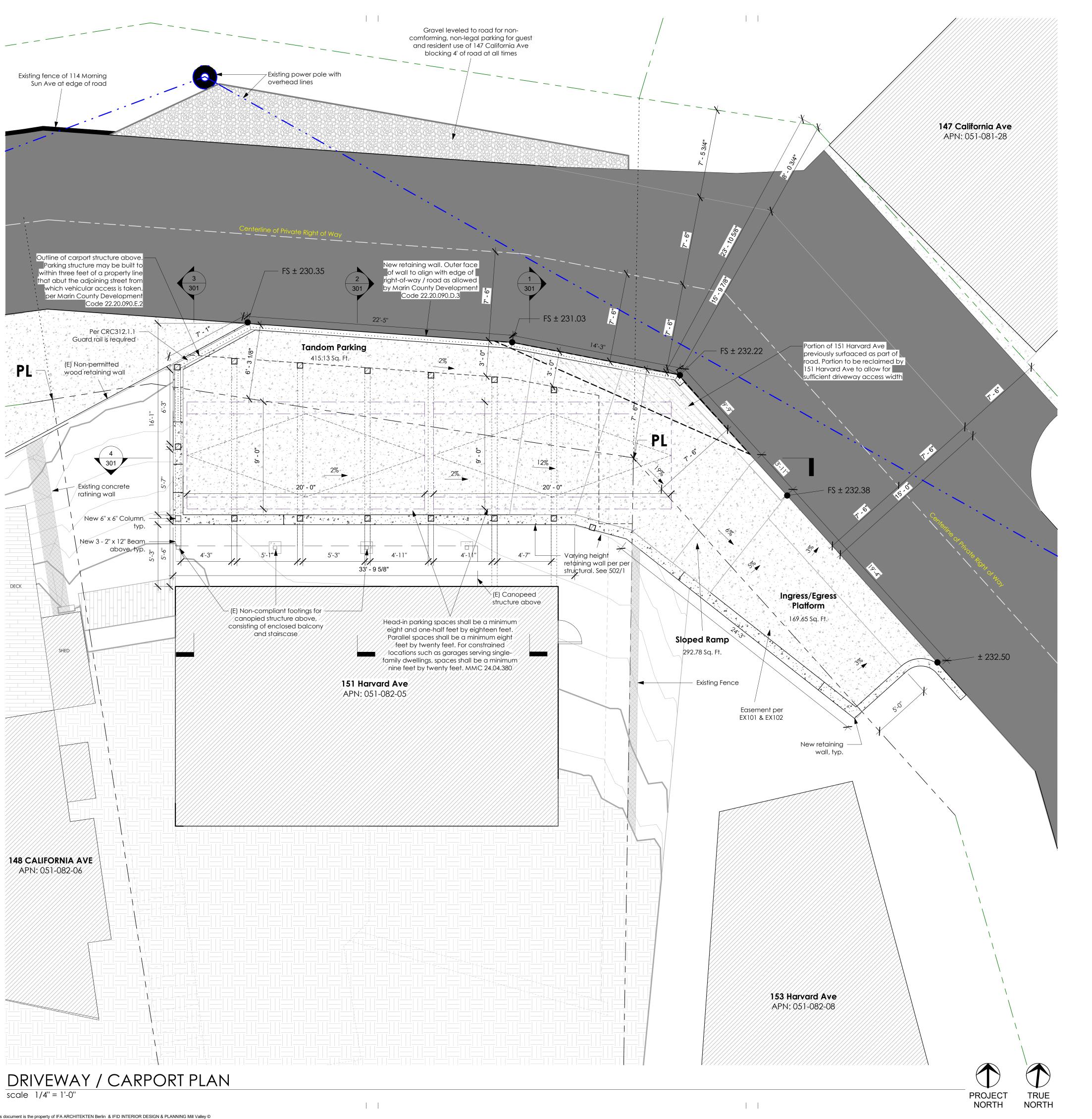
TITLE 24

SUBMITTAL

BLDG. PERMIT

11/29/2023 PROJECT 2020.01 SCALE

As indicated



GENERAL NOTES

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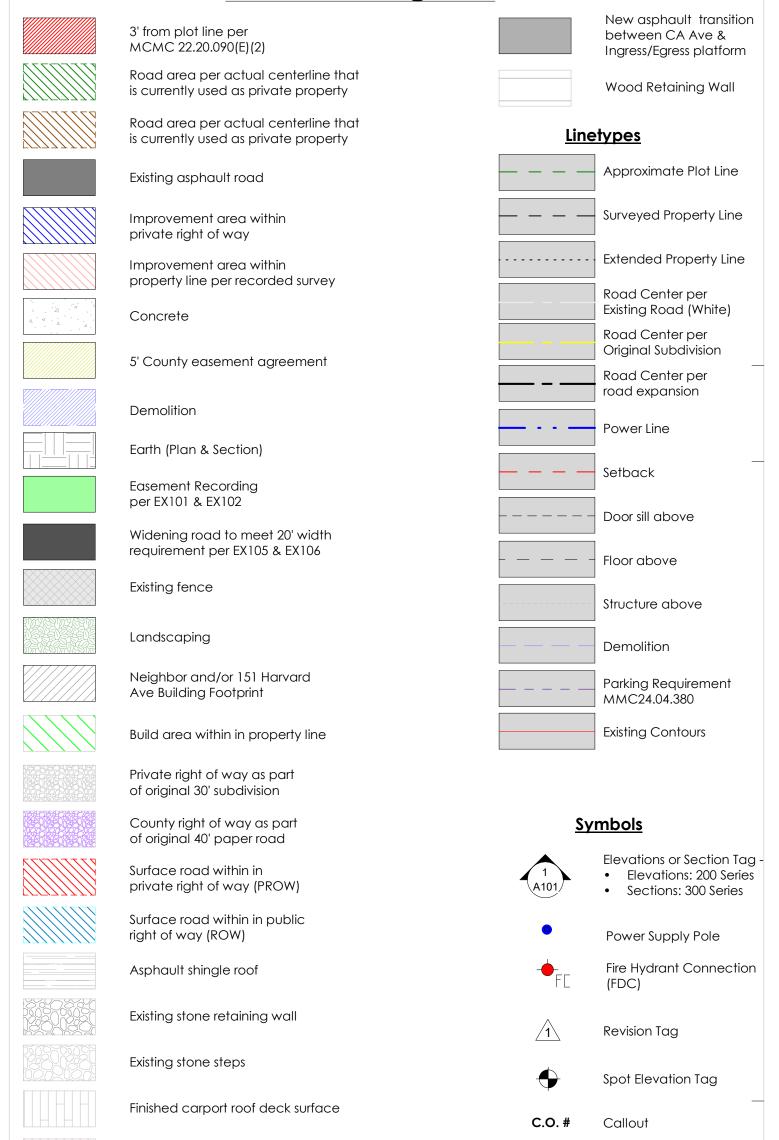
PROPOSED DRIVEWAY NOTES

- After addition, two tandom parkings would be available. Refer to EX108 for further explanation and applicable variance requests.
- Existing Non-Conforming Garage Parking: 1 spot (214 Sq. Ft.)
- Proposed Tandom Parking: 2 tandom spots (400 Sq. Ft.) Total area of proposed impervious surfaces: 928.56 Sq. Ft.
 - **Tandom Parking:** 415.13 Sq. Ft.
 - Sloped Area: 292.78 Sq. Ft.
 - Ingress/Egress Platform: 169.65 Sq. Ft.

Existing Deck Surface

- Average slope of ramp is 20.2%
- a. **Slope Calculation:** 11% + 24% + 25% + 24% + 17% = 101 / 5 = 20.2% Avg. Slope Proposed temporary flower bed located within area of future equal widening of
- California Avenue. Refer to EX104 EX106 for further detail regarding widening. Total area of development: 526.56 Sq. Ft. (See EX108)
- a. Total area with P.R.O.W: 188.72 Sq. Ft. (35.913%)
- b. Total area with in PL: 325.25 Sq. Ft. (64.087%)

General Legend



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REVISIONS NO. DESCRIPTION AS BUILTS SITE CONDITION RESEARCH DESIGN DEVELOPMENT

COST ESTIMATE

STRUCTURAL

PROGRESS TITLE 24 BLDG. PERMIT 05/04/2023 SUBMITTAL

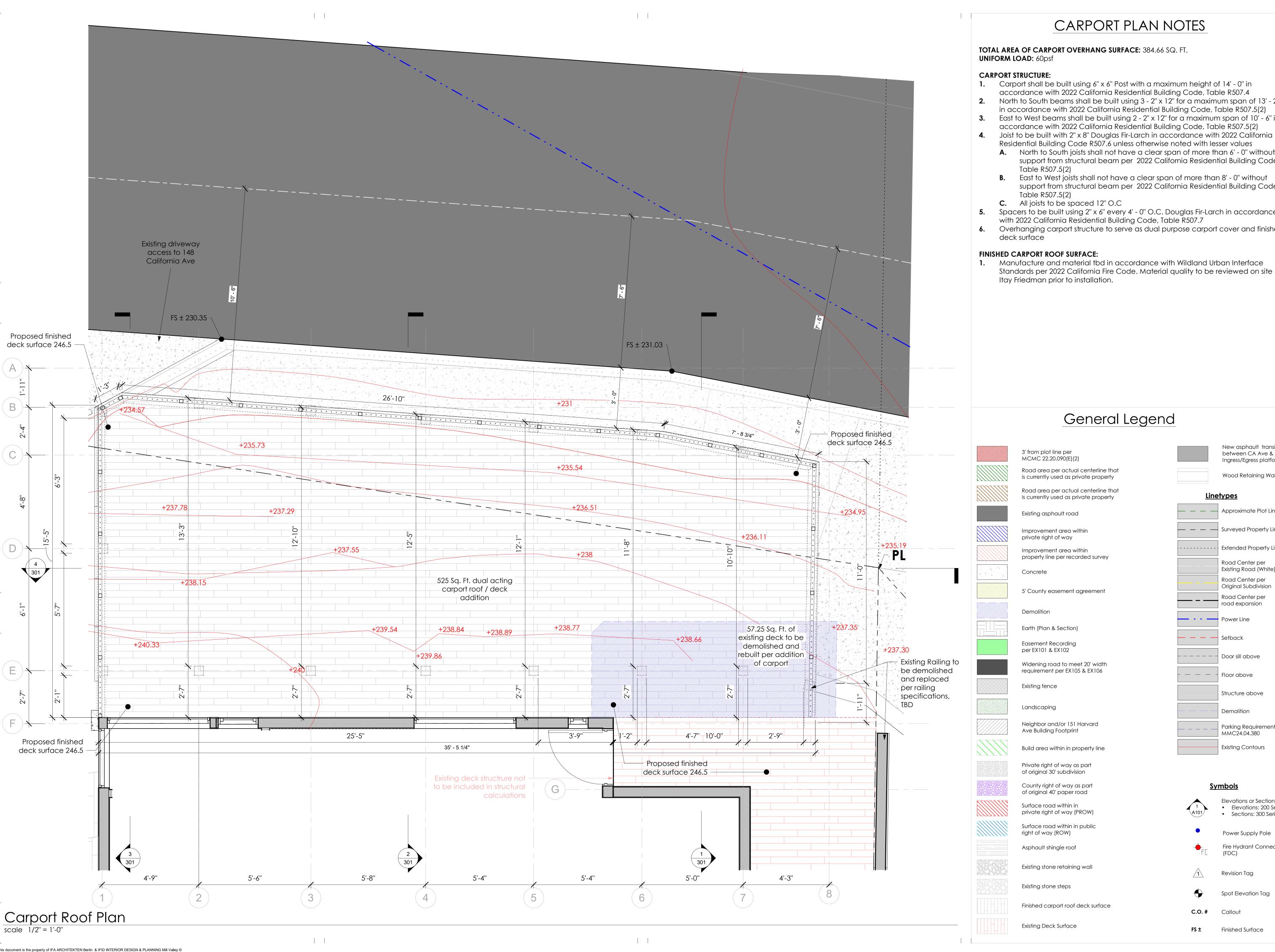
Driveway / Carport Plan

12/11/2023

PROJECT 2020.01 SCALE

As indicated

Finished Surface



CARPORT PLAN NOTES

TOTAL AREA OF CARPORT OVERHANG SURFACE: 384.66 SQ. FT. **UNIFORM LOAD:** 60psf

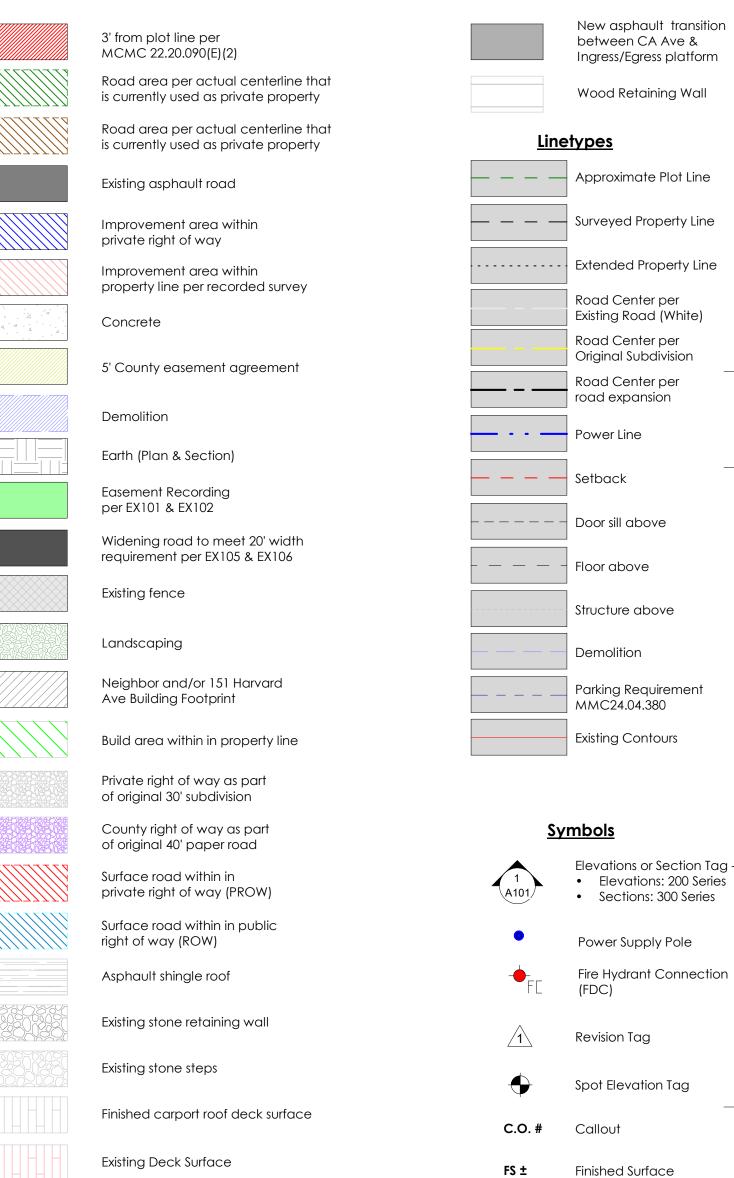
CARPORT STRUCTURE:

- 1. Carport shall be built using 6" x 6" Post with a maximum height of 14' 0" in accordance with 2022 California Residential Building Code, Table R507.4
- North to South beams shall be built using 3 2" x 12" for a maximum span of 13' 2" in accordance with 2022 California Residential Building Code, Table R507.5(2)
- 3. East to West beams shall be built using 2 2" x 12" for a maximum span of 10' 6" in accordance with 2022 California Residential Building Code, Table R507.5(2)
- Residential Building Code R507.6 unless otherwise noted with lesser values A. North to South joists shall not have a clear span of more than 6' - 0" without support from structural beam per 2022 California Residential Building Code,
- Table R507.5(2) B. East to West joists shall not have a clear span of more than 8' - 0" without
- support from structural beam per 2022 California Residential Building Code, Table R507.5(2)
- C. All joists to be spaced 12" O.C
- 5. Spacers to be built using 2" x 6" every 4' 0" O.C. Douglas Fir-Larch in accordance with 2022 California Residential Building Code, Table R507.7
- Overhanging carport structure to serve as dual purpose carport cover and finished deck surface

FINISHED CARPORT ROOF SURFACE:

Manufacture and material tbd in accordance with Wildland Urban Interface Standards per 2022 California Fire Code. Material quality to be reviewed on site by Itay Friedman prior to installation.

General Legend





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For Internal Coordination AB SD PD PR REVISION

REVISIONS NO. DESCRIPTION AS BUILTS SITE CONDITION RESEARCH DESIGN DEVELOPMENT COST ESTIMATE STRUCTURAL

ADDENDA

BLDG. PERMIT 05/04/2023 SUBMITTAL

Carport Roof Plan

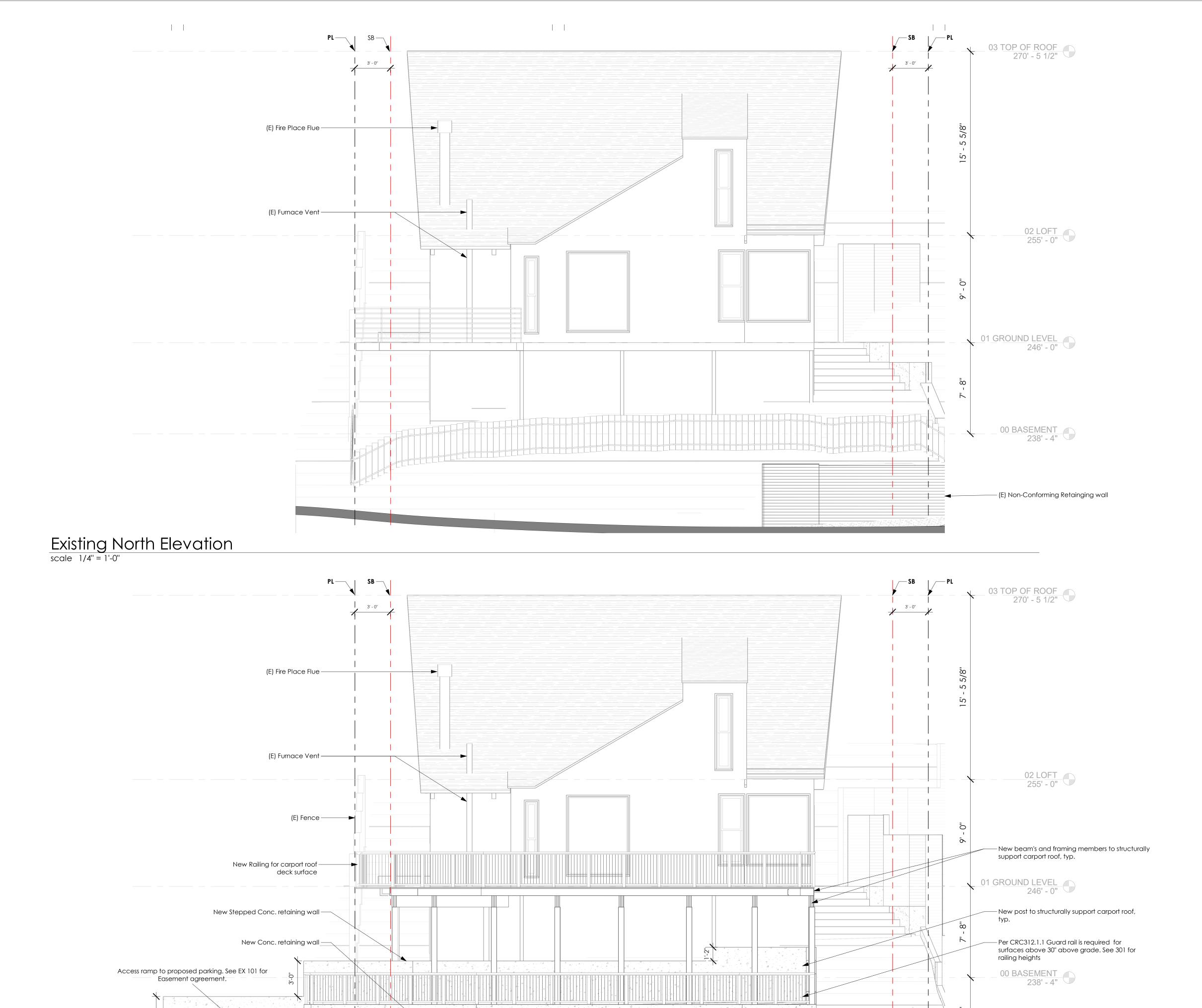
PROGRESS

TITLE 24

DATE 11/29/2023

PROJECT 2020.01 SCALE

As indicated



Proposed North Elevation

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— (E) Non-Conforming Retainging wall

CALIFORNIA AVE 231' - 8"

ower Lot velopment

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Itay Friedman
Freischaffender
Architekt

Architektenkenkamme

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For Internal Coordination

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ADDENDA

REVISIONS

NO. DESCRIPTION

AS BUILTS

SITE CONDITION
RESEARCH
DESIGN
DEVELOPMENT

COST ESTIMATE

STRUCTURAL

PROGRESS

TITLE 24

TITLE 24

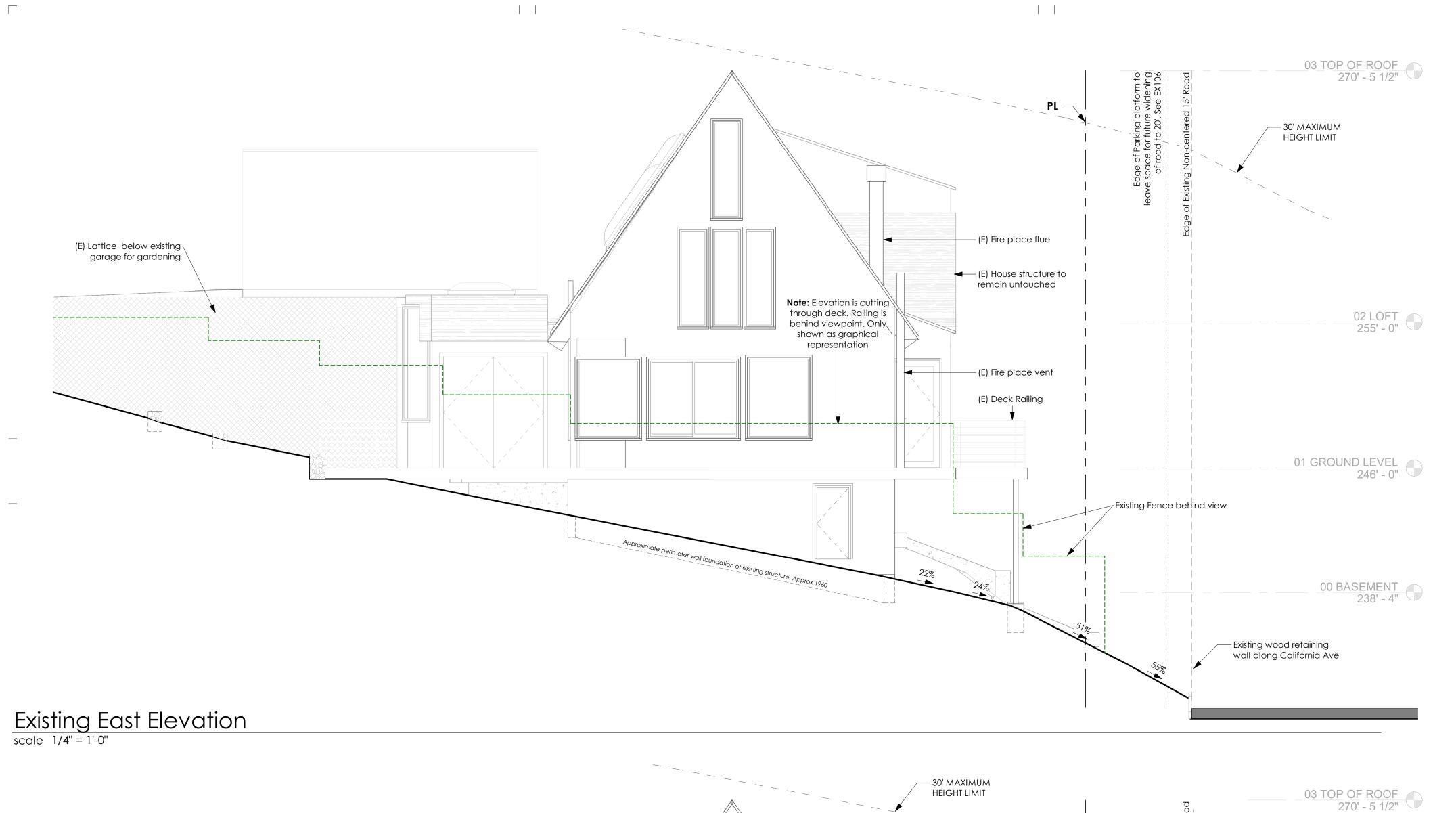
BLDG. PERMIT SUBMITTAL 05/04/2023

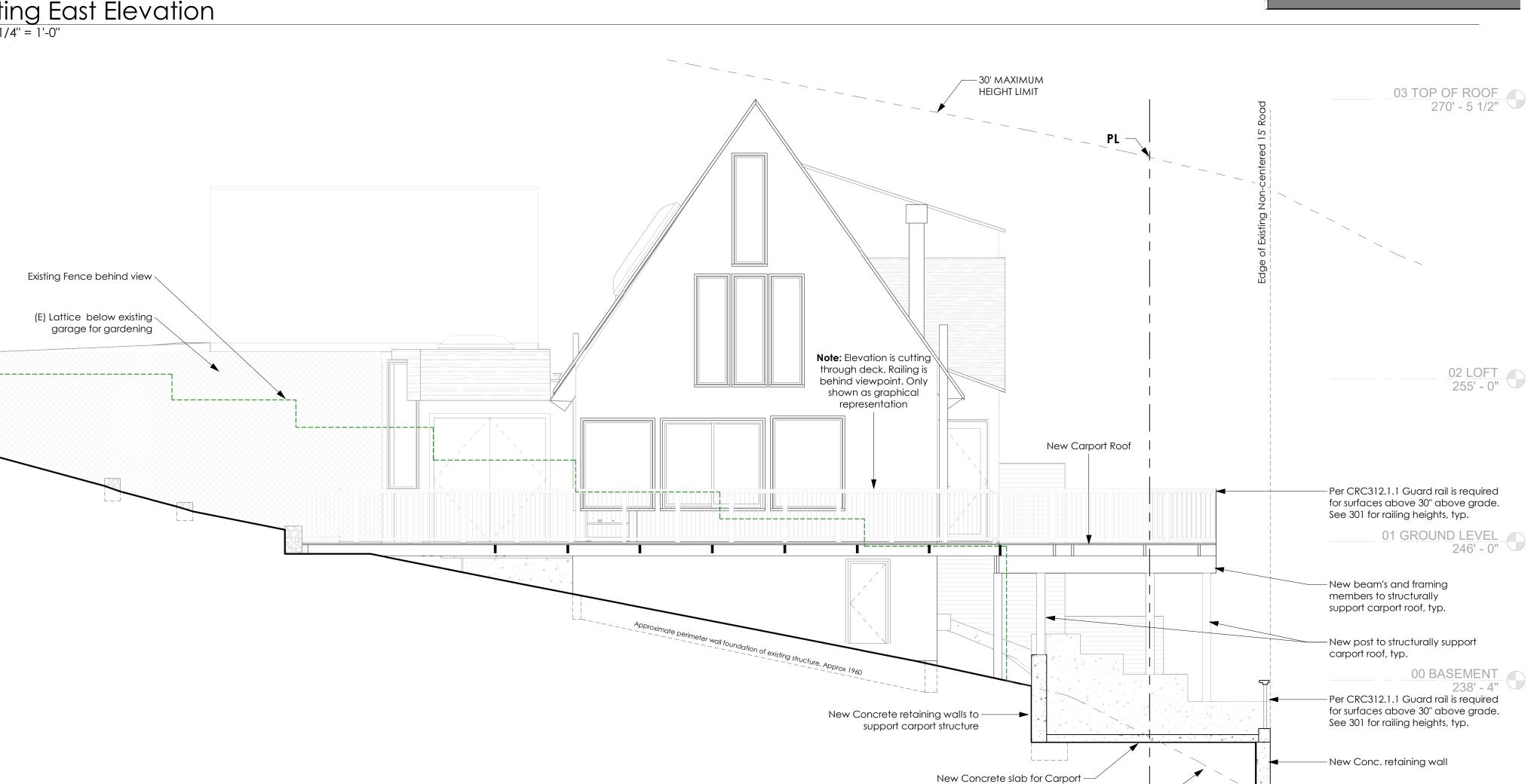
California Ave Elevation

DATE 11/29/2023

PROJECT 2020.01

1/4" = 1'-0"

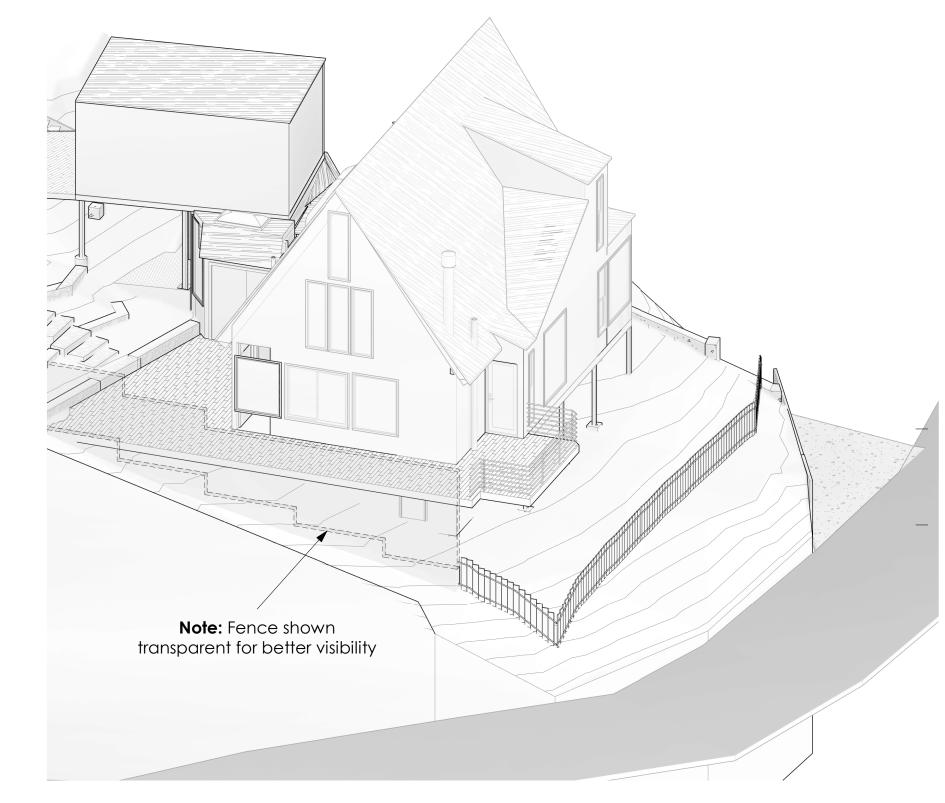




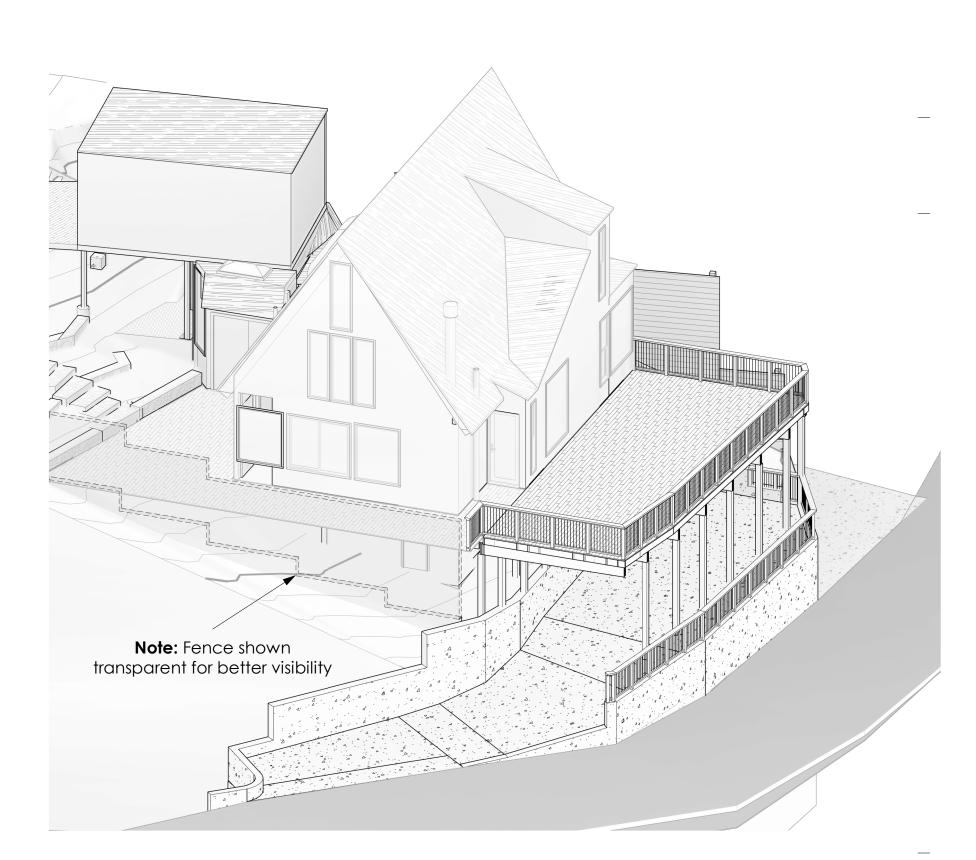
Proposed East Elevation scale 1/4" = 1'-0"

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Existing grade line before – excavation and backfilling



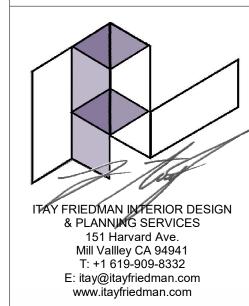
Existing Axon



Proposed Axon

California Ave

Lower Lot
Development
151 Harvard Ave,





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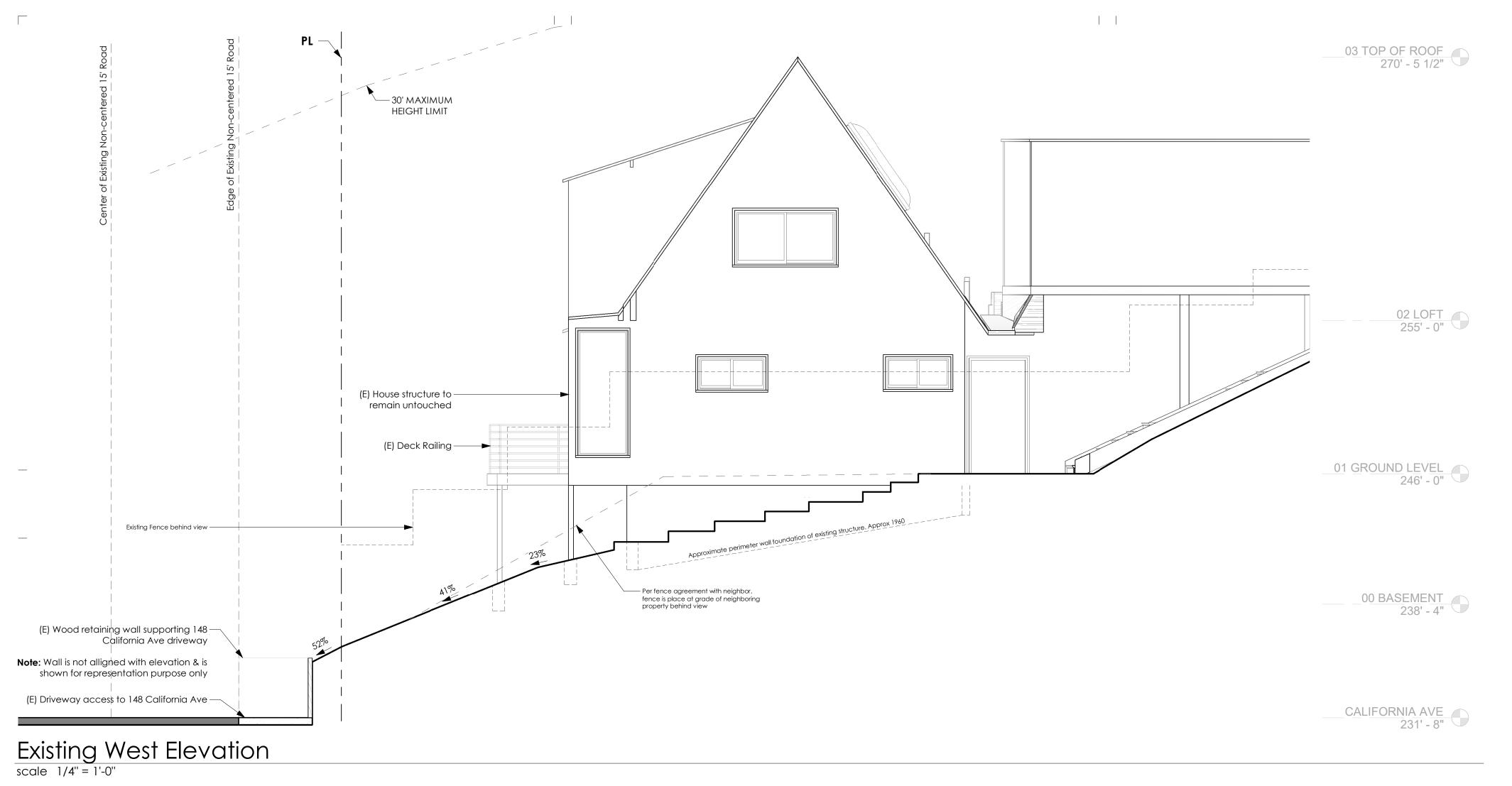
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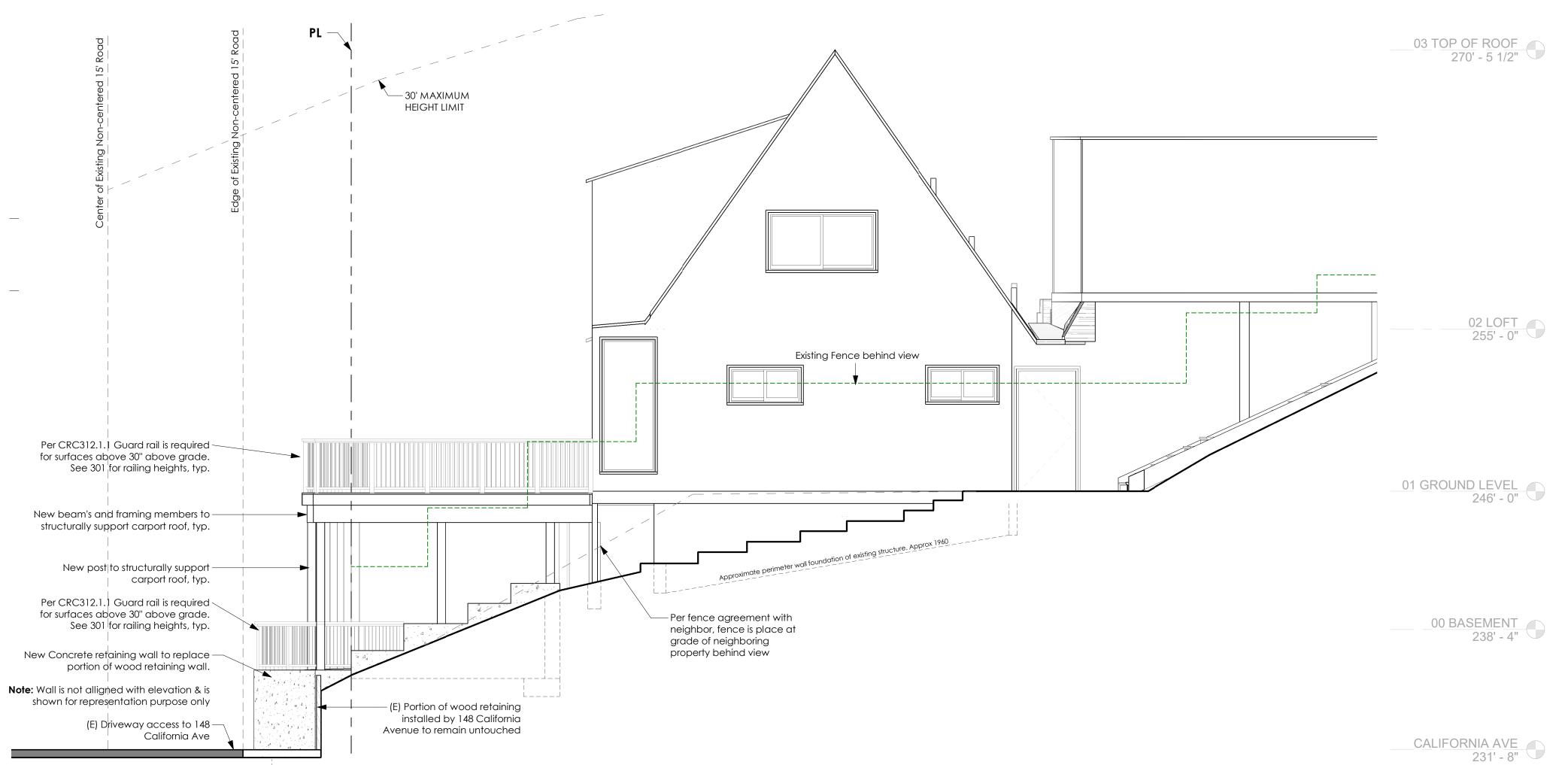
REVISIONS

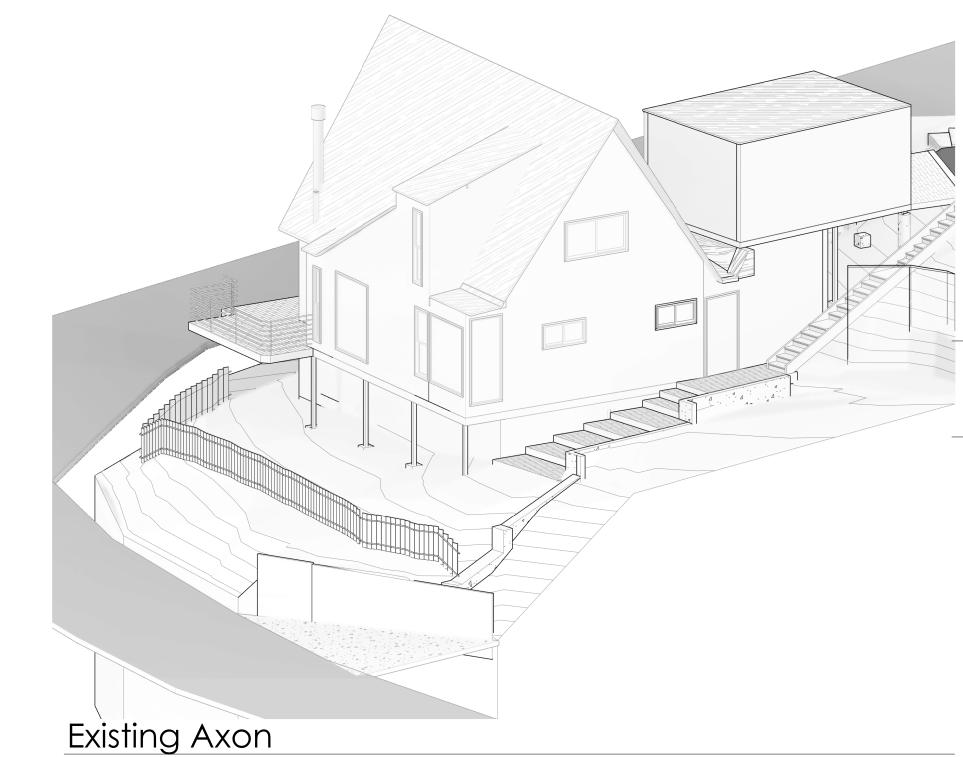
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	STRUCTURAL	
	PROGRESS	
	TITLE 24	
	BLDG. PERMIT SUBMITTAL	05/23/2023

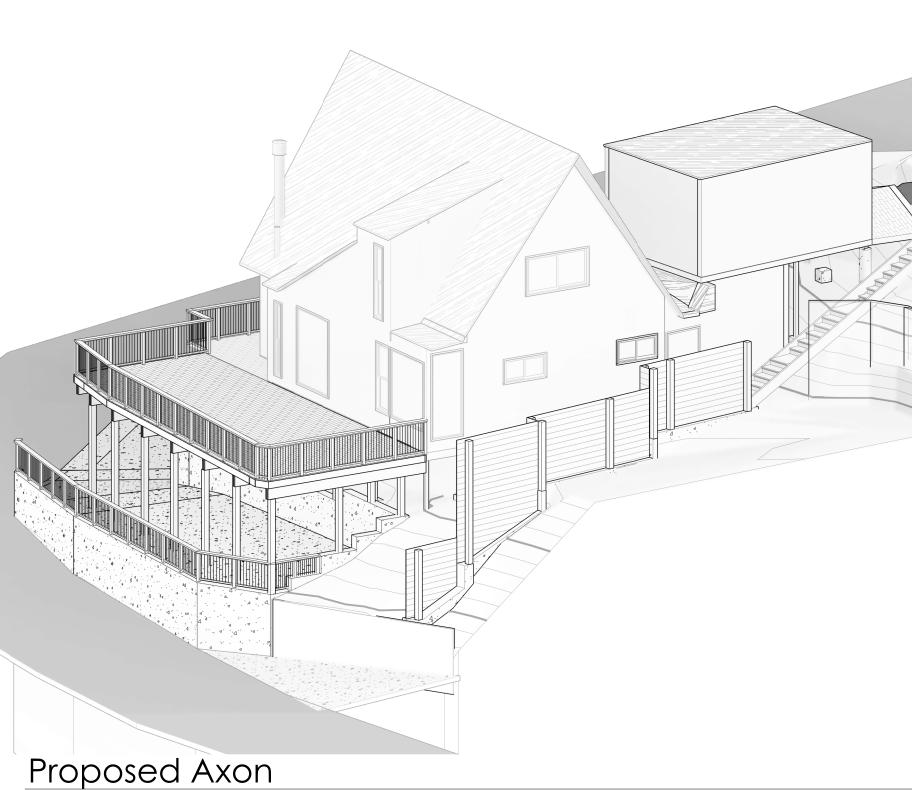
East Elevation

DATE 11/29/2023 PROJECT 2020.01 SCALE 1/4" = 1'-0"









Proposed West Elevation

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Itay Friedman Freischaffender

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For Internal Coordination

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NO. DESCRIPTION

AS BUILTS

SITE CONDITION RESEARCH DESIGN DEVELOPMENT

COST ESTIMATE

STRUCTURAL

PROGRESS

BLDG. PERMIT

West Elevation

SUBMITTAL

DATE 11/29/2023

PROJECT

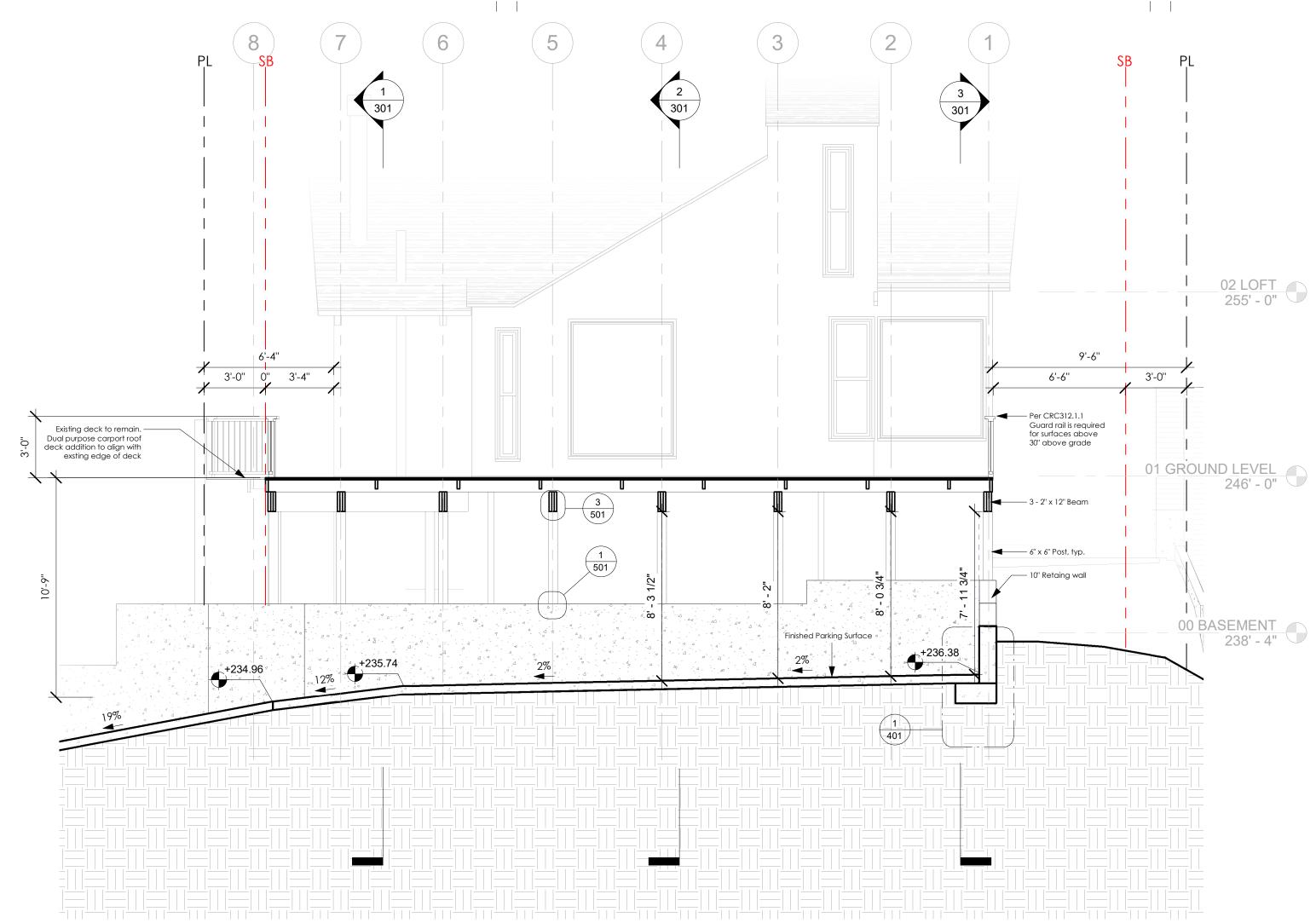
2020.01

1/4" = 1'-0"

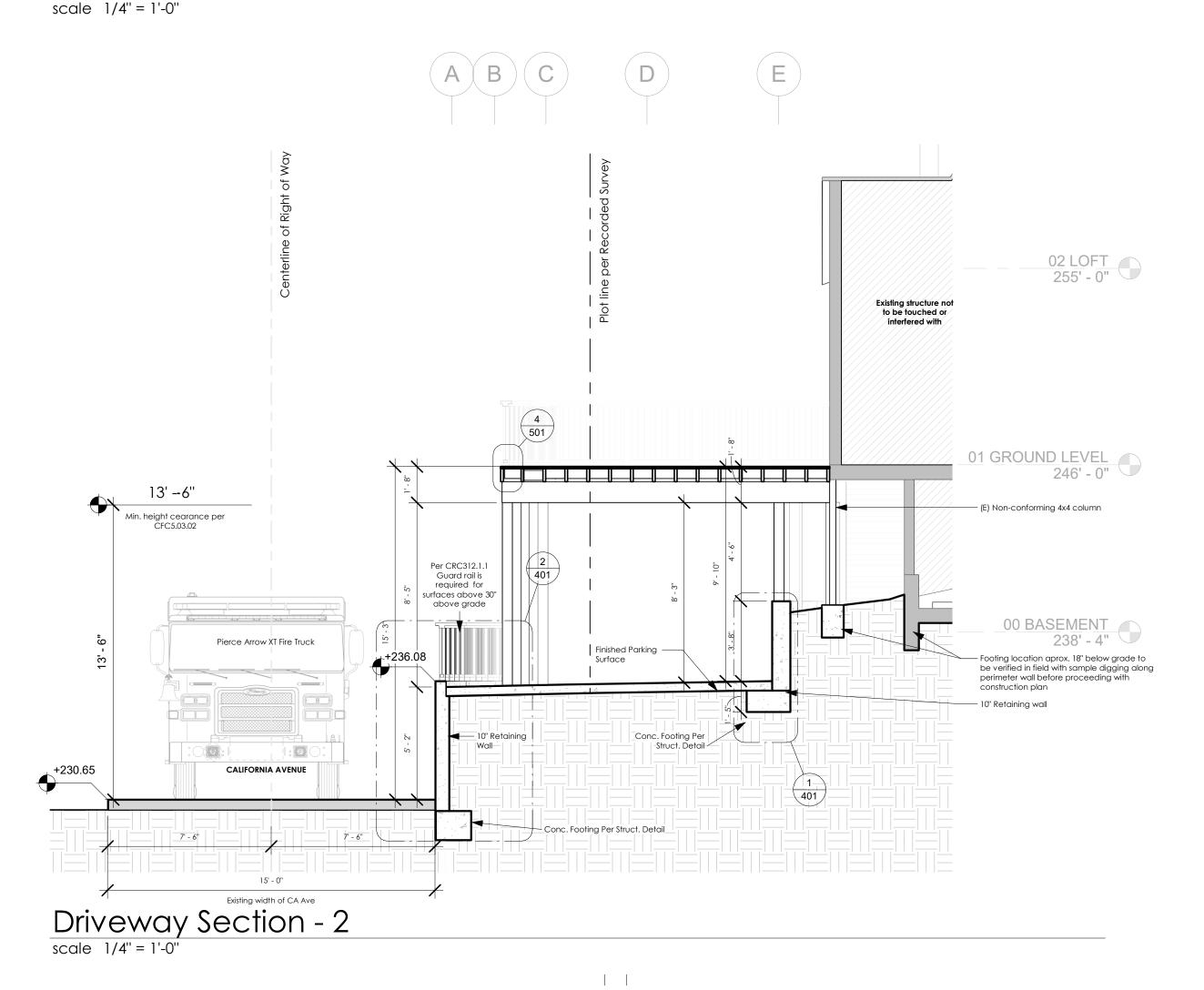
SCALE

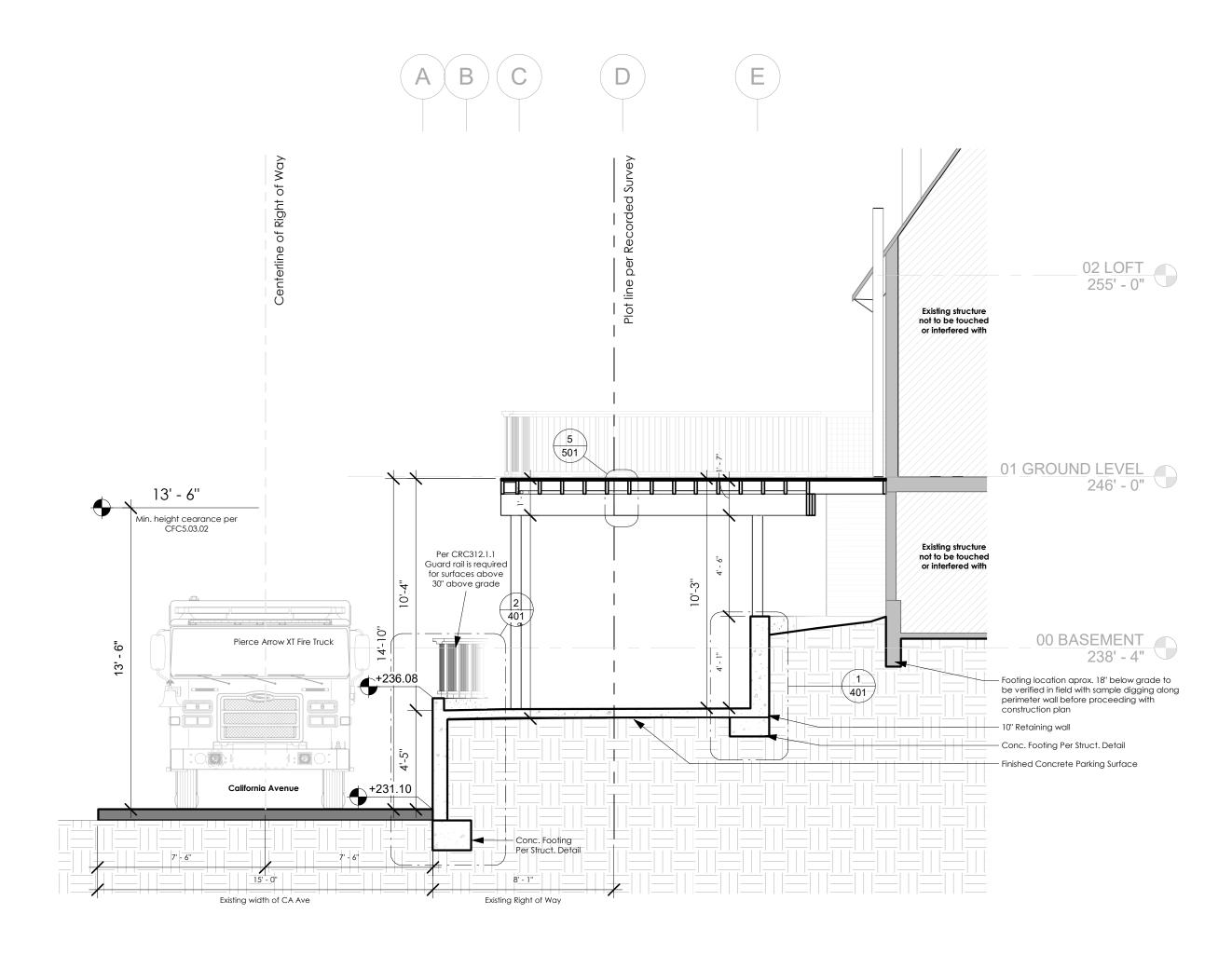
05/23/2023

TITLE 24

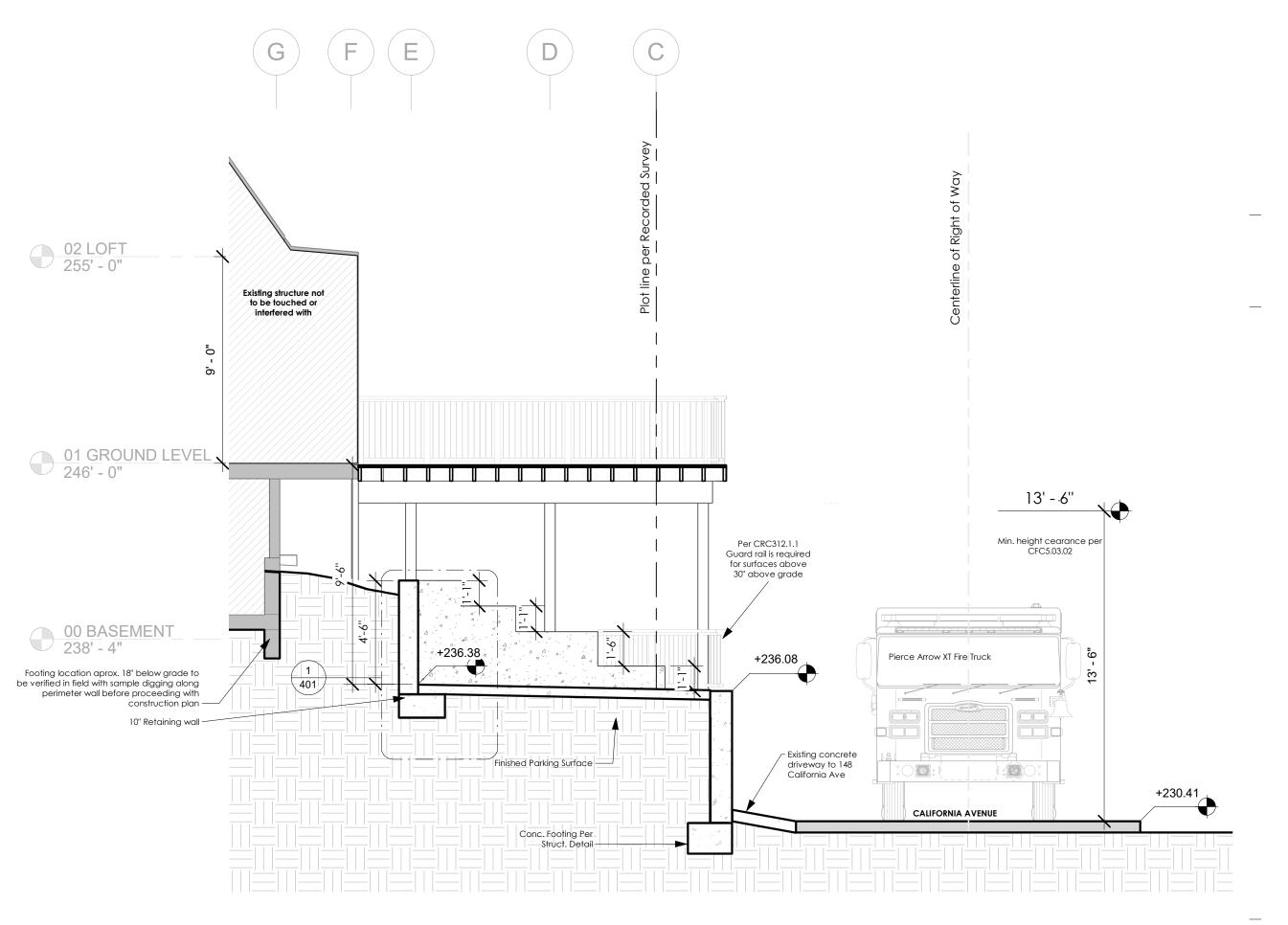


Driveway Cross Section scale 1/4" = 1'-0"





Driveway Section -1



Driveway Section - 3
scale 1/4" = 1'-0"

Lower Lot
Development





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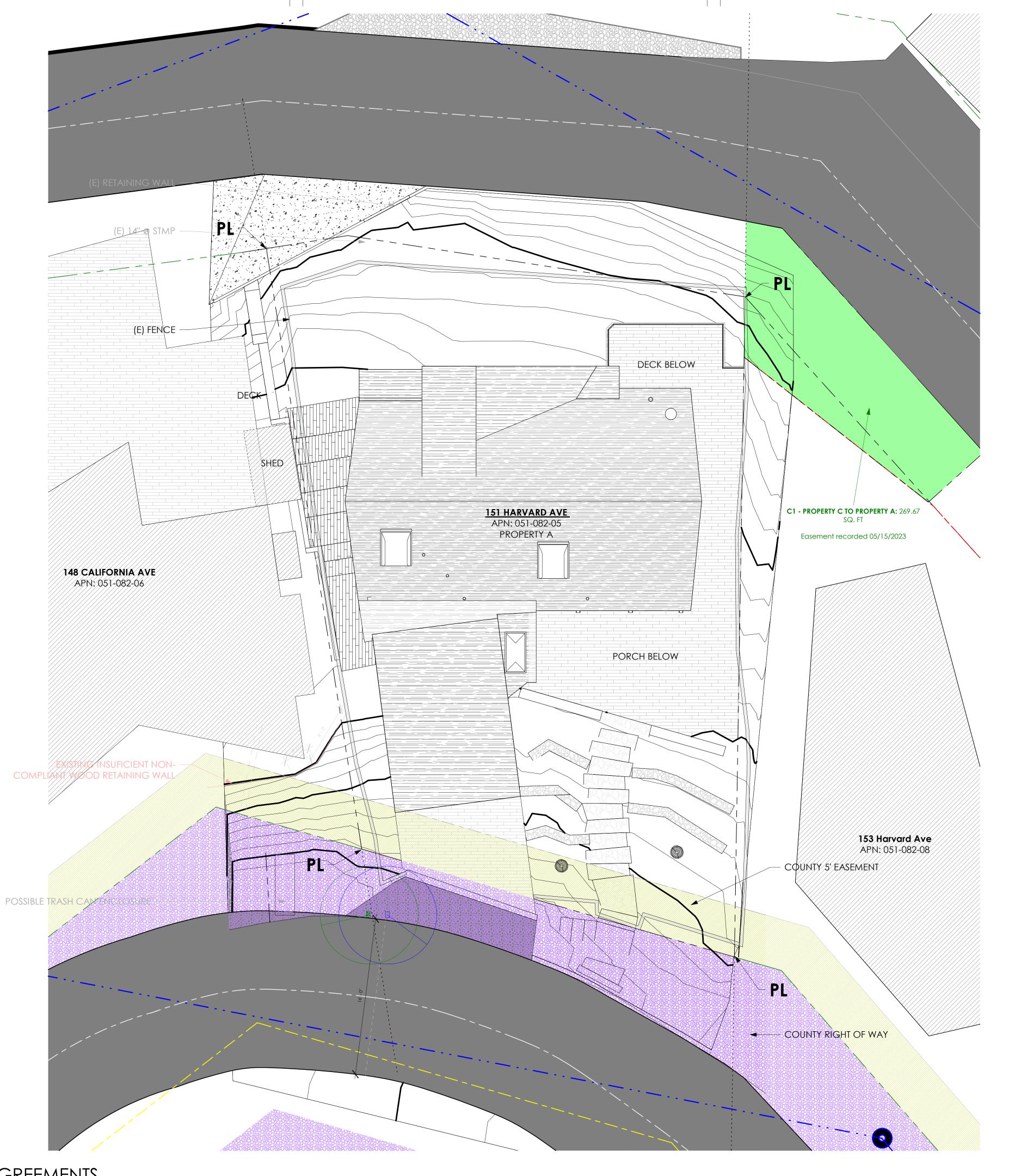
REVISIONS

Э.	DESCRIPTION	DATE
	AS BUILTS	
	SITE CONDITION RESEARCH	
	DESIGN DEVELOPMENT	
	COST ESTIMATE	
	STRUCTURAL	
	PROGRESS	
	TITLE 24	
	BLDG. PERMIT SUBMITTAL	05/04/2023

Driveway Section

DATE 11/29/2023 PROJECT

2020.01 SCALE 1/4" = 1'-0"



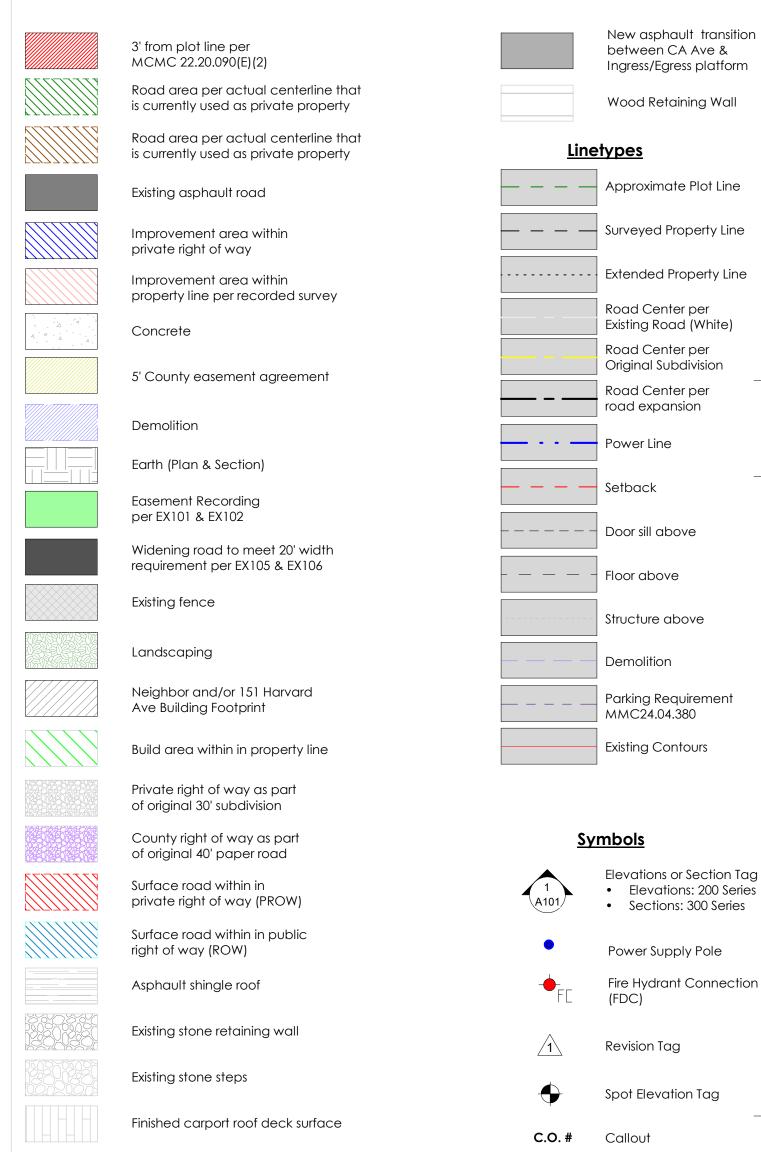


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Easement Notes

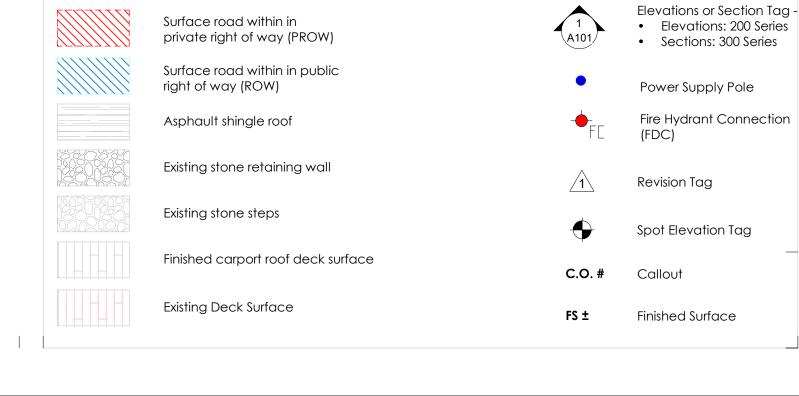
1. Easement from Property C (153 Harvard Ave) to Property A (151 Harvard Ave): 269.67 Sq. Ft

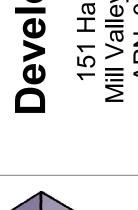
General Legend













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ADDENDA

REVISIONS

NO. DESCRIPTION AS BUILTS SITE CONDITION RESEARCH DESIGN DEVELOPMENT COST ESTIMATE STRUCTURAL PROGRESS TITLE 24

Easement

Agreement

05/04/2023

BLDG. PERMIT

SUBMITTAL

DATE 08/24/2023

PROJECT 2020.01 SCALE As indicated