

NEW GARAGE & HARDSCAPE FOR: THE BUGATTO RESIDENCE

REVISIONS	
NO.	DATE
05/30/24	DESIGN REVIEW
07/19/24	DR. RESUBMITTAL
-	-
-	-
-	-

SYMBOLS LEGEND / ABBREVIATIONS

<p>● FINISHED FLOOR ELEVATION (LESS THAN 1/2" DIFF.)</p> <p>⊙ ← DETAIL NUMBER ⊙ ← SHEET NUMBER DETAIL REFERENCE</p> <p>⊙ ← WALL SECTION NUMBER ⊙ ← SHEET NUMBER WALL SECTION REFERENCE</p> <p>⊙ ← BUILDING SECTION NUMBER ⊙ ← SHEET NUMBER BUILDING SECTION REFERENCE</p> <p>⊙ ENLARGED ELEVATION NUMBER ⊙ ← SHEET NUMBER ENLARGED ELEVATION REFERENCE</p> <p>⊙ ← PLAN DETAIL NUMBER ⊙ ← SHEET NUMBER DETAIL REFERENCE</p> <p>⊙ ← PLAN DETAIL NUMBER ⊙ ← SHEET NUMBER ENLARGED PLAN OR ELEVATION REFERENCE</p> <p>⊙ ← DOOR NUMBER DOOR REFERENCE</p> <p>⊙ ← ROOM NUMBER ROOM REFERENCE</p> <p>⊙ ← WINDOW LETTER WINDOW REFERENCE</p> <p>⊙ ← WALL TYPE DESIGNATION WALL TYPE REFERENCE</p> <p>⊙ ← GRID IDENTIFIER GRID IDENTIFIER</p> <p>— ELEVATED ELEMENT EL: 116.00 ELEVATION OF ELEMENT DATUM REFERENCE</p>	<p>● AT AREA DRAIN</p> <p>ADDN ADDITION</p> <p>ADJ ADJUSTABLE</p> <p>AFF ABOVE FINISH FLOOR</p> <p>ALT ALTERNATE</p> <p>ALUM ALUMINUM</p> <p>ANOD ANODIZED</p> <p>ARCH ARCHITECTURAL</p> <p>BD BOARD</p> <p>BLD'G BUILDING</p> <p>BLK'G BLOCKING</p> <p>BM BEAM</p> <p>B.O. BY OWNER/BY OTHERS</p> <p>CAB CABINET</p> <p>C.J. CEILING JOIST</p> <p>CLS CLEAR</p> <p>CLR CLEAN OUT</p> <p>CLO CLOSET</p> <p>C.O. CLEAN OUT</p> <p>COMP COMPOSITION</p> <p>CONC CONCRETE</p> <p>CONT CONTINUOUS</p> <p>COB COUBLE</p> <p>DF DOUGLAS FIR</p> <p>DIA DIAMETER</p> <p>DIM DIMENSION</p> <p>D.J. DECK JOIST</p> <p>DN DOWN</p> <p>DOWNPOUT DOWNPOUT</p> <p>DH DIMENSION</p> <p>DWG DRAWING</p> <p>(E) EXISTING</p> <p>EA EACH</p> <p>ELEC ELECTRIC</p> <p>ELEV ELEVATION</p> <p>EQAL EQUAL</p> <p>EXT EXTERIOR</p> <p>FDN FOUNDATION</p> <p>FIN FINISH</p> <p>FIXT FIXTURE</p> <p>F.J. FLOOR JOIST</p> <p>FLR FLOOR</p> <p>F.O.C. FACE OF CONCRETE</p> <p>F.O.F. FACE OF FINISH</p> <p>F.O.S. FACE OF STUD</p> <p>FT FEET</p> <p>FTG FOOTING</p> <p>FURN FURNACE/FURNITURE</p> <p>G GAS OUTLET/METER</p> <p>GA GAUGE</p> <p>GA.V GALVANIZED</p> <p>GFI GROUND FAULT INTERRUPT</p> <p>GLB GLUE LAMINATED BEAM</p> <p>GR GRADE</p> <p>GSM GALVANIZED SHEET METAL</p> <p>GYP. BD GYPSUM BOARD</p> <p>HB HOSE BIB</p> <p>HDR HEIGHT</p> <p>HT HEIGHT</p> <p>INC INCLUDE</p> <p>INCAN INCANDESCENT</p> <p>INSUL INSULATION</p> <p>LIGHT LIGHT</p> <p>MAX MAXIMUM</p> <p>MECH MECHANICAL</p> <p>MFR MANUFACTURER</p> <p>MIN MINIMUM</p> <p>MTD MOUNTED</p> <p>MTL METAL</p> <p>(N) NEW</p> <p>N.T.S. NOT TO SCALE</p> <p>O.C. ON CENTER</p> <p>OVERHANG OVERHANG</p> <p>O.V. OVER</p> <p>PART PARTIAL</p> <p>PLYWD PLYWOOD</p> <p>PTD PAINTED</p> <p>PT. GR. PAINT GRADE</p> <p>P.T. PRESSURE TREATED</p> <p>R. RADIUS/RISER</p> <p>R.D. ROOF DRAIN</p> <p>RDW REDWOOD</p> <p>REFR REFRIGERATOR</p> <p>REINF REINFORCED</p> <p>REQD REQUIRED</p> <p>RM ROOM</p> <p>R.O. ROUGH OPENING</p> <p>R.W.L. RAIN WATER LEADER</p> <p>SCHED SCHEDULE</p> <p>S.D. SMOKE DETECTOR</p> <p>SECT SECTION</p> <p>SHT SHEET</p> <p>SHTG SHEATHING</p> <p>SIM SIMILAR</p> <p>SKYLT SKYLIGHT</p> <p>SLD SEE LANDSCAPE DRAWINGS</p> <p>S.O.S. SLAB ON GRADE</p> <p>SPEC SPECIFICATIONS</p> <p>SSD SEE STRUCTURAL DRAWINGS</p> <p>ST. GR. STAIN GRADE</p> <p>STL STEEL</p> <p>T4&6 TONGUE & GROOVE</p> <p>TEMP TEMPERED</p> <p>T.O.C. TOP OF CONCRETE</p> <p>T.O.D. TOP OF PLATE</p> <p>TR TREAD</p> <p>TYP TYPICAL</p> <p>UNLESS OTHERWISE NOTED</p> <p>V.I.F. VERIFY IN FIELD</p> <p>V.B. VAPOR BARRIER</p> <p>W/ WITH</p> <p>W/O WITHOUT</p> <p>WH WATER HEATER</p> <p>W.P. WATER PROOF</p> <p>W.I.C. WALK-IN CLOSET</p>
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SECTION 1

SCALE: 1/4"=1'-0"

GENERAL NOTES

CODES
THE WORK SHALL CONFORM TO THE CALIFORNIA TITLE 24:
PART 2 2022 CALIFORNIA BUILDING CODE
PART 2.5 2022 CALIFORNIA RESIDENTIAL CODE
PART 3 2022 CALIFORNIA ELECTRICAL CODE
PART 4 2022 CALIFORNIA MECHANICAL CODE
PART 5 2022 CALIFORNIA PLUMBING CODE
PART 6 2022 CALIFORNIA ENERGY CODE
PART 9 2022 CALIFORNIA FIRE CODE
PART 11 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
AND THE MARIN COUNTY MUNICIPAL CODE

DRAWINGS
1. GENERAL CONDITIONS, THE STANDARD A.I.A. GENERAL CONDITIONS ARE HEREBY MADE A PART OF THESE DRAWINGS.
2. DIMENSIONS, WRITTEN DIMENSIONS SHALL GOVERN. DO NOT SCALE THE DRAWINGS.
3. DIMENSIONS, ALL DIMENSIONS ARE TO THE FACE OF STUD OR FACE OF CONCRETE, OR TO THE CENTERLINE OF GRIDS, COLUMNS, WINDOWS, DOORS, AND FIXTURES, UNLESS OTHERWISE NOTED.
4. DIMENSIONS, 'CLR' DENOTES MEASUREMENT FROM FINISH SURFACES, TYP.
5. COMPLETION, THESE DRAWINGS INCLUDE THE GENERAL EXTENT OF NEW CONSTRUCTION NECESSARY FOR THE WORK, BUT ARE NOT INTENDED TO BE ALL-INCLUSIVE.

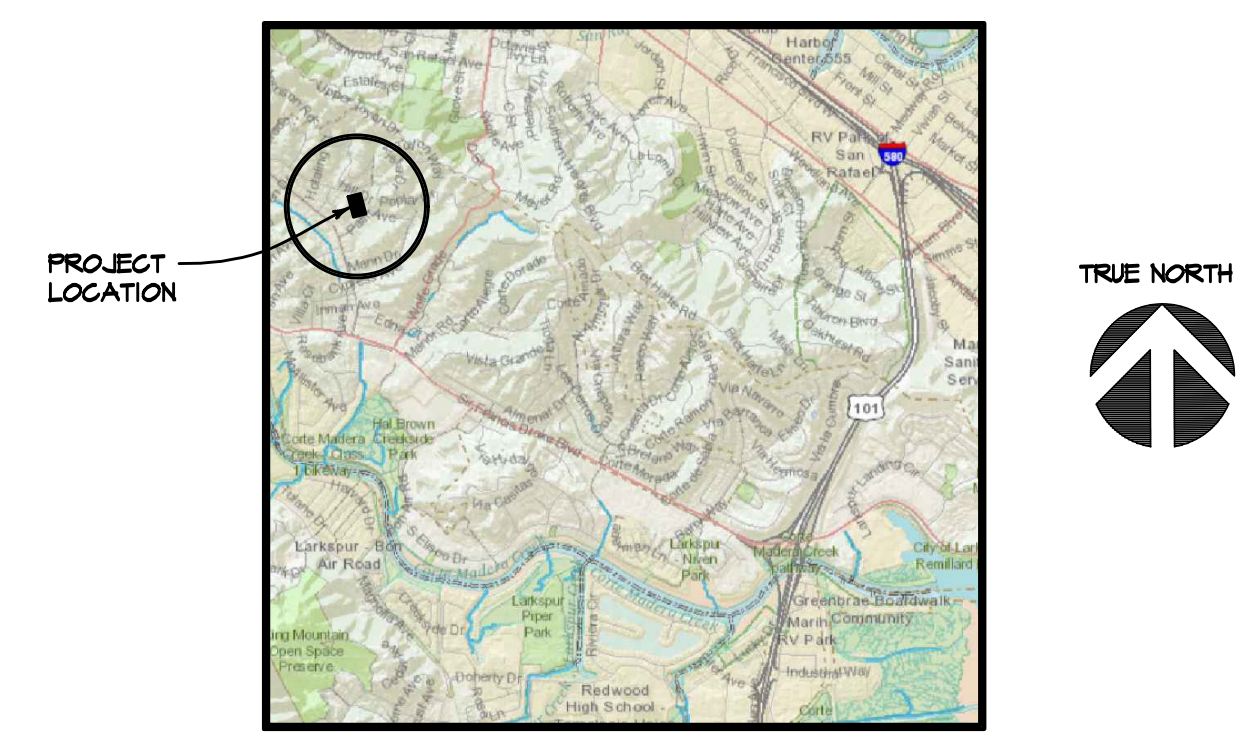
GENERAL CONTRACTOR'S RESPONSIBILITIES
1. PLANS ON SITE, THE GENERAL CONTRACTOR (HEREAFTER G.C.) SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DRAWINGS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE BY ALL TRADES AND SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DRAWINGS.
2. DISCREPANCIES, G.C. IS RESPONSIBLE FOR THOROUGH REVIEW OF THESE DOCUMENTS AND EXISTING FIELD CONDITIONS PRIOR TO THE COMMENCEMENT OF ANY WORK. ANY ERRORS, OMISSIONS, OR CONFLICTS FOUND ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT IN WRITING FOR CLARIFICATION.
3. SUBSTITUTIONS, THE G.C. IS REQUIRED TO NOTIFY ARCHITECT IN WRITING OF ANY SUBSTITUTION, REVISION OR PROPOSED ALTERNATE AT LEAST TWO WEEKS PRIOR TO THE ORDER OR INSTALLATION OF SAID ALTERNATE IN ORDER TO ALLOW FOR NECESSARY COORDINATION AND APPROVALS.
4. INSPECTIONS, THE G.C. IS RESPONSIBLE FOR THOROUGH REVIEW OF THE ARCHITECTURAL AND STRUCTURAL DRAWINGS, GEOTECHNICAL REPORT, AND THE ENERGY AND GREEN COMPLIANCE MANDATORY MEASURES AND IS RESPONSIBLE FOR SCHEDULING AND BEING PRESENT FOR ANY INSPECTIONS OR OBSERVATIONS REQUIRED. (MIN. 48 HOURS NOTICE FOR SITE VISITS)
5. SAFETY, THE G.C. SHALL BE SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE AND ADHERE TO ALL FEDERAL, STATE, LOCAL AND OSHA SAFETY REGULATIONS.
6. DEFERRED SUBMITTALS, DEFERRED SUBMITTAL DOCUMENTATION SHALL BE SUBMITTED TO THE ARCHITECT NOT LATER THAN 10 BUSINESS DAYS PRIOR TO THE COMMENCEMENT OF THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE PROJECT. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.
7. WORKMANSHIP, ALL WORKMANSHIP IN ALL TRADES SHALL BE OF THE HIGHEST QUALITY, BY PERSONS ESPECIALLY SKILLED AT ASSIGNED TASKS, AND SHALL RESULT IN A NEAT AND CLEAN INSTALLATION. ALL WORK SHALL BE INSTALLED TRUE, PLUMB, LEVEL, SQUARE, AND IN PROPER ALIGNMENT. NOTIFY ARCHITECT AND OWNER OF EXISTING CONDITIONS WHICH DO NOT MEET THESE EXPECTATIONS.
8. MANUFACTURER'S REQUIREMENTS, THE G.C. SHALL INSTALL ALL MATERIALS, EQUIPMENT, AND FIXTURES IN CONFORMANCE WITH THE REQUIREMENTS OF THE MANUFACTURER.
9. BRACING AND SHORING, DESIGN AND INSTALLATION OF ALL TEMPORARY BRACING AND SHORING IS THE SOLE RESPONSIBILITY OF THE G.C.

MARIN COUNTY GREEN BUILDING STANDARDS
DIVISION 4.4 MATERIAL CONSERVATION & RESOURCE EFFICIENCY
4.4.02.3 MATERIAL SOURCES:
POSTCONSUMER OR PRECONSUMER RECYCLED CONTENT VALUE (RCV) MATERIALS ARE USED ON THE PROJECT, NOT LESS THAN A 10% RECYCLED CONTENT VALUE
4.4.06.1 ENHANCED DURABILITY & REDUCED MAINTENANCE:
ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.
4.4.08.1 CONSTRUCTION WASTE REDUCTION, DISPOSAL, AND RECYCLING:
RECYCLE AND/OR SALVAGE A MINIMUM OF 65% OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH THE REPORTING STANDARDS OUTLINED IN 'ZERO WASTE MARIN'
4.4.08.1 CONSTRUCTION WASTE REDUCTION, DISPOSAL, AND RECYCLING:
CONSTRUCTION WASTE GENERATED AT THE SITE IS DIVERTED TO RECYCLE OR SALVAGE IN COMPLIANCE WITH AT LEAST A 65% REDUCTION. ANY MIXED RECYCLABLES THAT ARE SENT TO MIXED-WASTE RECYCLING FACILITIES SHALL INCLUDE A QUALIFIED THIRD PARTY VERIFIED FACILITY AVERAGE DIVERSION RATE. VERIFICATION OF DIVERSION RATES SHALL MEET MINIMUM CERTIFICATION ELIGIBILITY GUIDELINES, ACCEPTABLE TO THE LOCAL ENFORCING AGENCY.
4.4.10.1 BUILDING MAINTENANCE AND OPERATION:
AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER.
DIVISION 4.5 ENVIRONMENTAL QUALITY
4.5.04.2.1 POLLUTANT CONTROL:
ADHESIVES, SEALANTS, AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS.
4.5.04.2.2 POLLUTANT CONTROL:
PAINT, STAINS, AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS.
4.5.04.2.3 POLLUTANT CONTROL:
AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR VOC AND OTHER TOXIC COMPOUNDS.
4.5.04.2.4 POLLUTANT CONTROL:
DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED.
4.5.04.4 POLLUTANT CONTROL:
80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH SPEC'D VOC CRITERIA.
4.5.04.5 POLLUTANT CONTROL:
PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF), AND HARDWOOD PLYWD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS.
4.4.5.04.2 POLLUTANT CONTROL:
INSTALL VOC COMPLIANT RESILIENT FLOORING SYSTEMS. 90% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH THE VOC-EMISSION LIMITS ESTABLISHED IN SEC. 4.4.5.04.2
4.4.5.04.3 POLLUTANT CONTROL:
THERMAL INSULATION INSTALLED IN THE BUILDING SHALL BE IN COMPLIANCE WITH VOC LIMITS
4.5.05.3 INTERIOR MOISTURE CONTROL:
MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING IS CHECKED BEFORE ENCLOSURE.

PROJECT DATA

APN:	071-062-27, -28
ZONE:	RR-B3
COMMUNITY PLAN:	KENTFIELD/GREENBRAE
COUNTY PLAN DESIGNATION:	SF4
OCCUPANCY:	R-3
CONSTRUCTION TYPE:	V-B
AUTOMATIC SPRINKLERS:	YES - NEM
STORIES:	1
LOT AREA:	33,342 SF
EXISTING BUILDING AREA:	4,474 SF
PROPOSED BUILDING AREA:	4,084 SF
EXISTING FLOOR AREA:	3,934 SF
PROPOSED FLOOR AREA:	4,084 SF
EXISTING FIRST FLOOR AREA:	2,641 SF
EXISTING SECOND FLOOR AREA:	1,062 SF
BASEMENT (NOT HABITABLE):	204 SF
EXISTING GARAGE (148 SF - *540 SF):	258 SF
PROPOSED GARAGE (143 SF - *540 SF):	403 SF
EXISTING FLOOR AREA RATIO: (3,934 / 33,342)	11.8%
PROPOSED FLOOR AREA RATIO: (4,084 / 33,342)	12.2%
EXISTING LOT COVERAGE:	10.460 SF
PROPOSED LOT COVERAGE:	11.625 SF
GRADING CALCULATIONS:	SEE SHEET C1
MINIMUM SETBACKS FOR EXTERIOR WALLS:	
FRONT YARD:	30'
SIDE YARDS:	15'
REAR YARD:	25'
ACTUAL SETBACKS FOR EXTERIOR WALLS:	
FRONT YARD:	6'-0"
SIDE YARD LEFT:	6'-0"
SIDE YARD RIGHT:	8'-6"
REAR YARD:	16'-0"
MAXIMUM PROPOSED BLDG HEIGHT:	15'-8"

VICINITY MAP



SCOPE OF WORK

1. NEW GARAGE TO REPLACE EXISTING
2. NEW HARDSCAPE, RETAINING WALLS, AND ARBOR IN BACKYARD
3. NEW DRIVENWAY TO REPLACE EXISTING
4. NEW ELECTRICAL AND GAS SERVICE LOCATIONS

CONSULTANTS

ARCHITECT:	VIOTTI ARCHITECTS 1300 INDUSTRIAL ROAD - SUITE 14 SAN CARLOS, CA 94070 T: 650-595-2455
STRUCTURAL ENGINEER:	MORRIS SHAFFER ENGINEERING 1300 INDUSTRIAL ROAD - SUITE 14 SAN CARLOS, CA 94070 T: 650-595-2475
CIVIL ENGINEER:	MUNSELLE CIVIL ENGINEERING 513 CENTER STREET HEALDSBURG, CA 95448 T: 707-345-0968
GEOTECHNICAL ENGINEER:	PJC & ASSOCIATES, INC. 600 MARTIN AVE - SUITE 240 ROHNERT PARK, CA 94428 T: 707-584-4804
SURVEYOR:	MJR CONSULTING, INC. 139 CHURCH AVENUE OAKDALE, CA 95361 T: 209.845.2630
TITLE 24 ENERGY & GREEN BUILDING:	A PLUS GREEN ENERGY SERVICES 41 C HANGAR WAY WATSONVILLE, CA 95076 T: 831-728-7111

DEFERRED SUBMITTALS

FIRE SPRINKLERS: THIS BUILDING SHALL BE EQUIPPED THROUGHOUT WITH AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM PER CRC SECTION R313 AND SECTION 19.04.065 OF THE MARIN COUNTY CODE. A HOLD ON FRAMING INSPECTION SHALL BE PLACED ON THIS PROJECT FOR COMPLIANCE WITH THIS ITEM. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL DRAWINGS, FORMS, AND APPROVALS AS REQUIRED BY MARIN COUNTY AND THE KENTFIELD FIRE DISTRICT.

SHEET INDEX

TO	TITLE SHEET
I/1	TOPOGRAPHIC SURVEY
C1	COVER SHEET
C2	OVERALL SITE PLAN
C3	GRADING AND DRAINAGE PLAN (1/4)
C4	GRADING AND DRAINAGE PLAN (2/4)
C5	GRADING AND DRAINAGE PLAN (3/4)
C6	GRADING AND DRAINAGE PLAN (4/4)
C7	EROSION CONTROL AND OVERALL SITE PLAN
C8	DETAILS
A0.1	SITE PLAN
A0.2	PROPOSED HARDSCAPE PLAN - NORTH
A0.3	PROPOSED HARDSCAPE PLAN - SOUTH
A0.4	HARDSCAPE ELEVATIONS
A1.0	EXISTING GARAGE TO BE DEMOLISHED
A1.1	PROPOSED FLOOR PLAN & ROOF PLAN
A2.0	PROPOSED EXTERIOR ELEVATIONS & SECTIONS
A2.1	EXTERIOR MATERIALS AND COLORS

VIOTTI ARCHITECTS
650.595.2955 F
650.595.2980 F
1300 INDUSTRIAL RD, SUITE 14
SAN CARLOS, CA 94070
VIOTTIARCHITECTS.COM

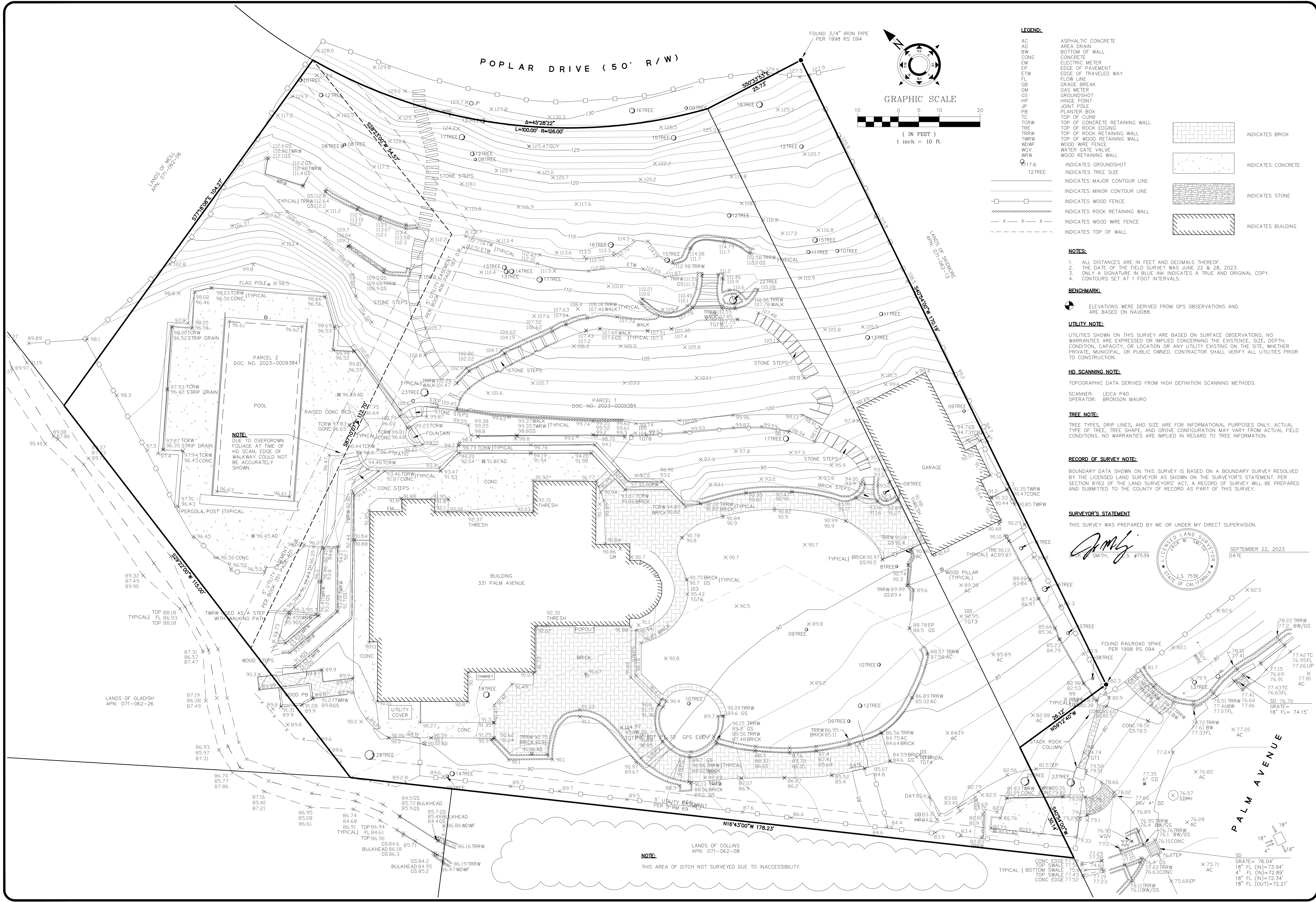
NEW GARAGE & HARDSCAPE FOR:
THE BUGATTO RESIDENCE
331 PALM AVENUE
KENTFIELD, CA 94904

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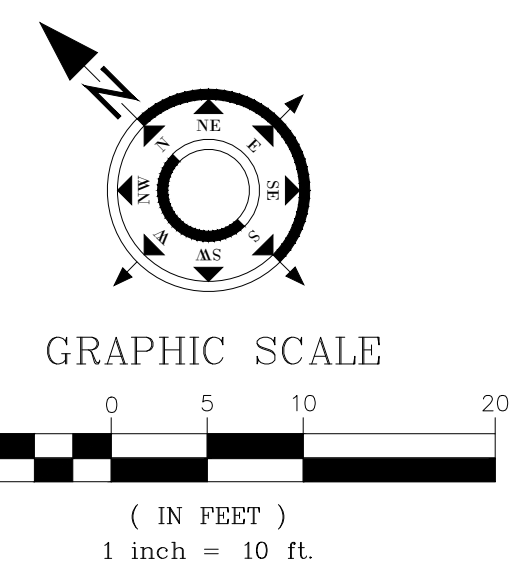
TITLE SHEET

DATE: 07/19/2024
DRAWN BY: HL
JOB#: 2315

TO



POPLAR DRIVE (50' R/W)



LEGEND:

- AC ASPHALTIC CONCRETE
- AD AREA DRAIN
- BW BOTTOM OF WALL
- CONC CONCRETE
- EM ELECTRIC METER
- EP EDGE OF PAVEMENT
- ETW EDGE OF TRAVELED WAY
- FL FLOW LINE
- GB GRADE BREAK
- GM GAS METER
- GS GROUNDSHOT
- HP HINGE POINT
- JP JOINT POLE
- PB PLANTER BOX
- TC TOP OF CURB
- TRWR TOP OF CONCRETE RETAINING WALL
- TRE TOP OF ROCK EDGING
- TRR TOP OF ROCK RETAINING WALL
- TRWV TOP OF WOOD RETAINING WALL
- WDF WOOD FENCE
- WGV WATER GATE VALVE
- WRW WOOD RETAINING WALL
- INDICATES GROUNDSHOT
- INDICATES TREE SIZE
- INDICATES MAJOR CONTOUR LINE
- INDICATES MINOR CONTOUR LINE
- INDICATES WOOD FENCE
- INDICATES ROCK RETAINING WALL
- INDICATES WOOD WIRE FENCE
- INDICATES TOP OF WALL
- INDICATES BRICK
- INDICATES CONCRETE
- INDICATES STONE
- INDICATES BUILDING

NOTES:

1. ALL DISTANCES ARE IN FEET AND DECIMALS THEREOF.
2. THE DATE OF THE FIELD SURVEY WAS JUNE 22 & 28, 2023.
3. ONLY A SIGNATURE IN BLUE INK INDICATES A TRUE AND ORIGINAL COPY.
4. CONTOURS SET AT 1 FOOT INTERVALS.

BENCHMARK:

- ELEVATIONS WERE DERIVED FROM GPS OBSERVATIONS AND ARE BASED ON NAVD83.

UTILITY NOTE:

UTILITIES SHOWN ON THIS SURVEY ARE BASED ON SURFACE OBSERVATIONS. NO WARRANTIES ARE EXPRESSED OR IMPLIED CONCERNING THE EXISTENCE, SIZE, DEPTH, CONDITION, CAPACITY, OR LOCATION OF ANY UTILITY EXISTING ON THE SITE, WHETHER PRIVATE, MUNICIPAL, OR PUBLIC OWNED. CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.

HD SCANNING NOTE:

TOPOGRAPHIC DATA DERIVED FROM HIGH DEFINITION SCANNING METHODS.

SCANNER: LEICA P40
OPERATOR: BRONSON MAURO

TREE NOTE:

TREE TYPES, DRIP LINES, AND SIZE ARE FOR INFORMATIONAL PURPOSES ONLY. ACTUAL TYPE OF TREE, TREE SHAPE, AND GROVE CONFIGURATION MAY VARY FROM ACTUAL FIELD CONDITIONS. NO WARRANTIES ARE IMPLIED IN REGARD TO TREE INFORMATION.

RECORD OF SURVEY NOTE:

BOUNDARY DATA SHOWN ON THIS SURVEY IS BASED ON A BOUNDARY SURVEY RESOLVED BY THE LICENSED LAND SURVEYOR AS SHOWN ON THE SURVEYOR'S STATEMENT. PER SECTION 8762 OF THE LAND SURVEYORS' ACT, A RECORD OF SURVEY WILL BE PREPARED AND SUBMITTED TO THE COUNTY OF RECORD AS PART OF THIS SURVEY.

SURVEYOR'S STATEMENT

THIS SURVEY WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION.

John M. Smith
J. SMITH, S. #7539



SEPTEMBER 22, 2023
DATE

NOTE:
THIS AREA OF DITCH NOT SURVEYED DUE TO INACCESSIBILITY.

MUIR CONSULTING
139 CHURCH AVENUE
DANFORTH, CA 95361
(209) 845-8630
SURVEY • HD • GPS • UAV
www.muiconsulting.com

CALIFORNIA

BOUNDARY AND TOPOGRAPHIC SURVEY

OF

331 PALM AVENUE

MARIN COUNTY

JOB NUMBER **7380-01**

DRAWING NAME

WCC, PLD, MWS 7380-01TOPO.dwg

CHECKED BY

JMS, TJE

DATE

07/26/2023

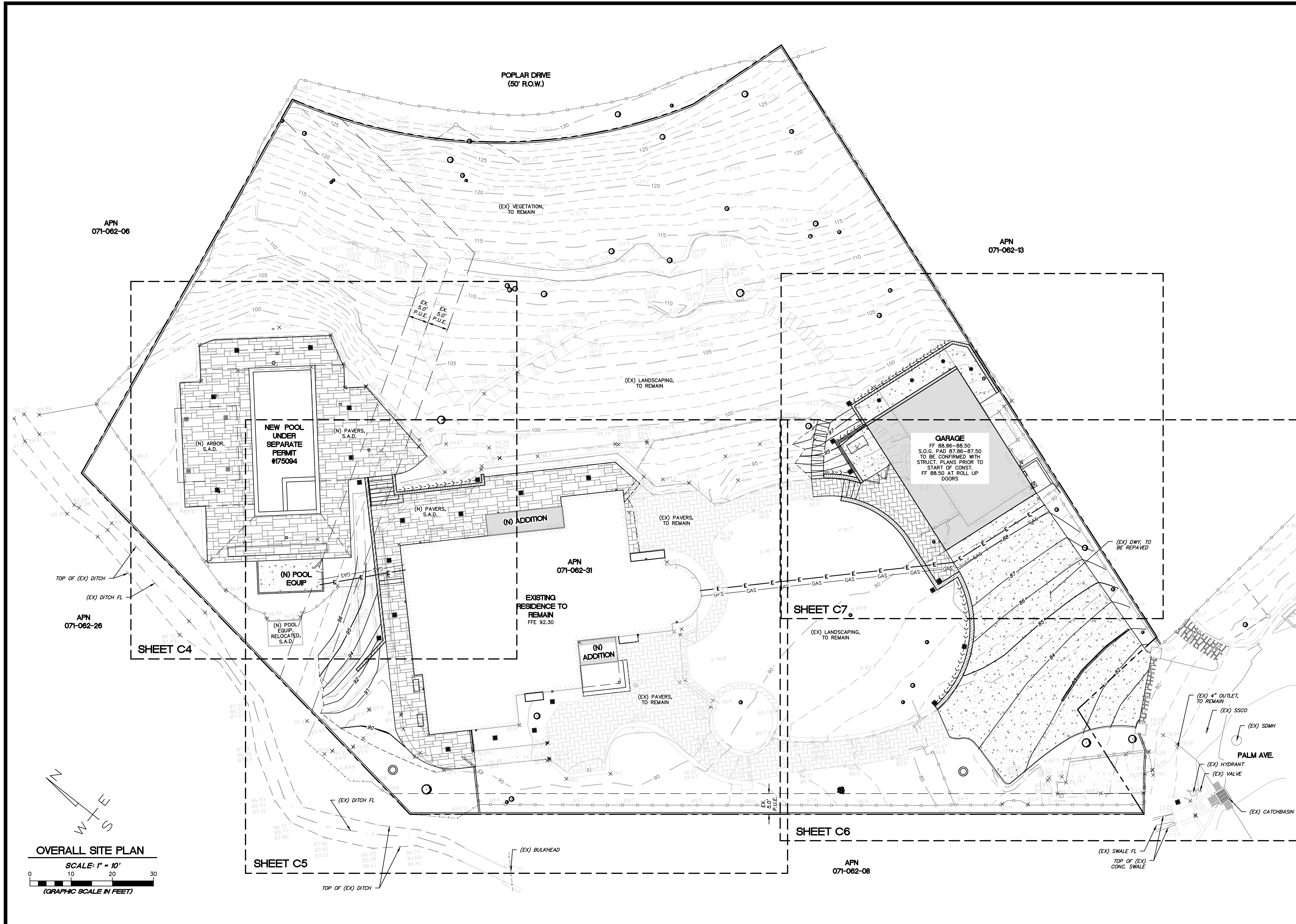
REVISIONS

ADD BOUNDARY 09/22/23

1 OF 1

KENTFIELD

D:\MUNSELLE CIVIL\PROJECTS\331 PALM AVE\DWGS\03-24 IP.DWG 7/17/2024 8:36 PM EL



APN 071-062-06

APN 071-062-13

APN 071-062-31

APN 071-062-08

APN 071-062-26

SHEET C4

SHEET C5

SHEET C7

SHEET C6

NEW POOL UNDER SEPARATE PERMIT #175094

GARAGE
FF 88.86-88.50
S.O.G. PAD 87.86-87.50
TO BE CONFIRMED WITH STRUCT. PLANS PRIOR TO START OF CONST.
FF 88.50 AT ROLL UP DOORS

EXISTING RESIDENCE TO REMAIN
FFE 92.30

REVISION	DESCRIPTION	BY	DATE

MUNSELLE CIVIL ENGINEERING
 ♦ CIVIL ENGINEERING ♦ SURVEYING ♦
 ♦ PLANNING ♦ CONST. MANAGEMENT ♦
 619 CENTER STREET
 HEALDSBURG, CA 95448
 (707) 966-0968

MCE
 CIVIL ENGINEERING

REGISTERED PROFESSIONAL ENGINEER - VIRGINIA (CA)
 DANIEL JOHN HUGHES
 No. 60225
 DATE: _____
 DATE: _____

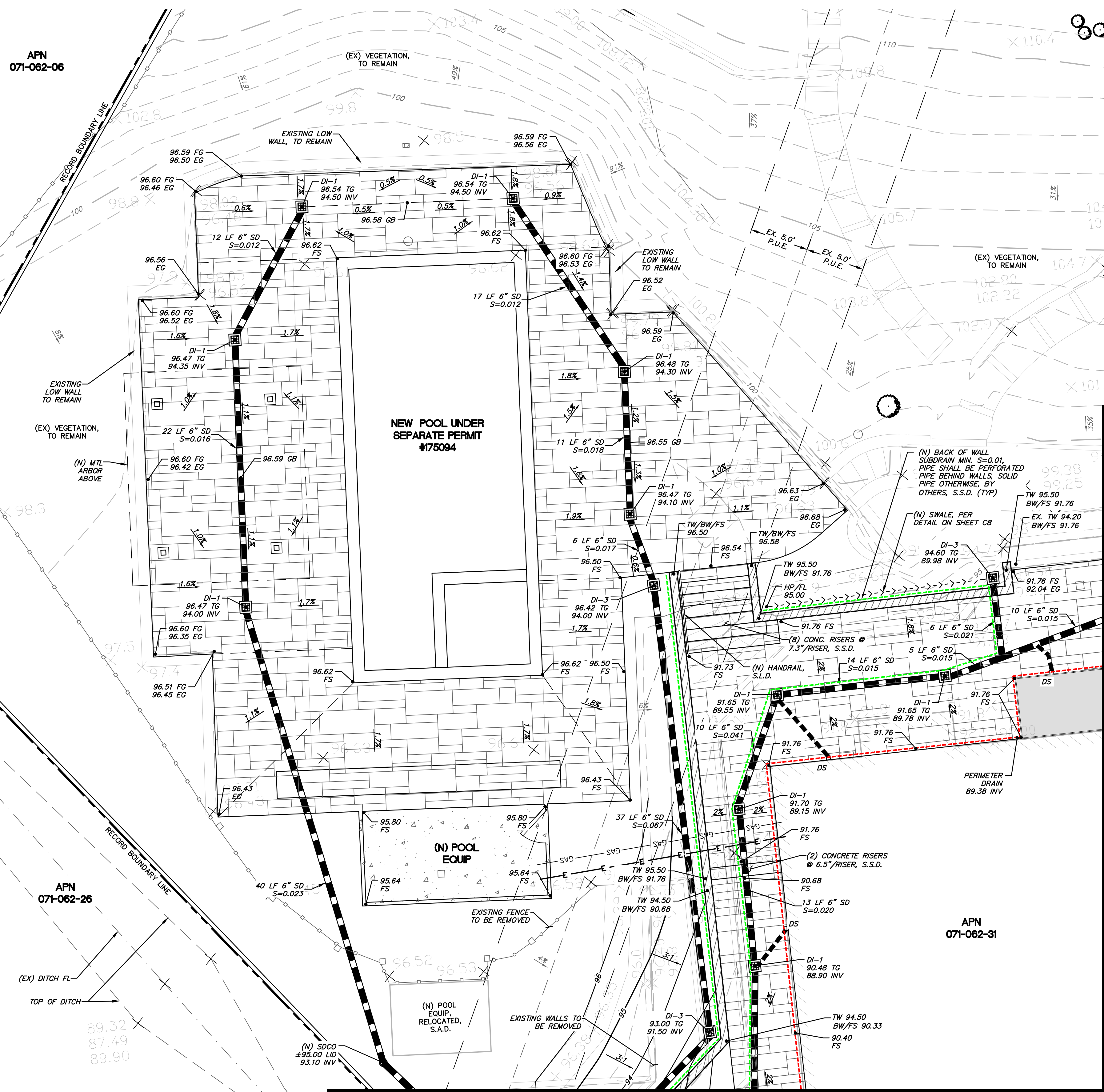
331 PALM AVENUE
 OVERALL SITE PLAN
 071-062-27
 331 PALM AVENUE
 KENTFIELD, CA

JULY 18, 2024
 JOB NO. 03-24
 SHEET NO. **C2**
 OF 8 SHEETS

APN 071-062-06

APN 071-062-26

APN 071-062-31



LEGEND

- PROPOSED ADDITION AND GARAGE SEE ARCHITECTURAL PLANS
- PROPOSED BLUESTONE PAVERS ON CONCRETE SLAB, SEE ARCH. PLANS
- PROPOSED CONCRETE SEE ARCH. PLANS
- PROPOSED BRICK PAVERS SEE ARCH. PLANS
- PROPOSED RETAINING WALL BY OTHERS
- 4" PERFORATED BACK OF WALL DRAIN, DETAILS BY OTHERS
- 4" PERFORATED PERIMETER DRAIN DETAILS BY OTHERS
- 4" SOLID PERIMETER DRAIN DETAILS BY OTHERS

GRADING AND DRAINAGE NOTES

1. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR STRUCTURAL SECTION OF CONCRETE SLABS AND OTHER HARDSCAPE SECTIONS.
2. DOWNSPOUT LOCATIONS SHALL BE VERIFIED WITH ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION. DOWNSPOUTS TO BE CONNECTED TO SITE STORM DRAIN SYSTEM OR OUTLETED TO SPLASH BLOCKS AND DIRECTED TO SWALES AND/OR LANDSCAPE AREAS WITH POSITIVE DRAINAGE AWAY FROM STRUCTURES PER GEOTECHNICAL REPORT AND CURRENT BUILDING CODE. SEE PLAN FOR DOWNSPOUT OUTLET LOCATION.
3. DRAINAGE STRUCTURES, CLEANOUTS OR "Y" CONNECTIONS SHALL BE USED AS APPROPRIATE AT STORM DRAIN ALIGNMENT DEFLECTIONS OR JUNCTIONS OF INTERSECTING DRAIN LINES TO FACILITATE MAINTENANCE.
4. ALL PAVED AND UNPAVED FINISHED SURFACES SHALL BE POSITIVELY DRAINED.
5. ALL WORK SHALL COMPLY WITH BEST MANAGEMENT PRACTICES TO PREVENT STORM WATER CONTAMINATION.
6. INSTALL RETAINING WALL AND FOUNDATION BACKDRAINS AS SHOWN ON THE ARCHITECTURAL AND STRUCTURAL PLANS AND AS REQUIRED BY THE GEOTECHNICAL ENGINEER. DO NOT CONNECT BACKDRAINS TO THE STORM DRAIN OR ROOF LEADER DRAINAGE SYSTEMS.
7. ALL EXISTING UTILITY BOXES IN WORK AREA TO BE ADJUSTED TO FINISHED GRADE.
8. HANDRAILS REQUIRED IN VARIOUS LOCATIONS TO MEET BUILDING CODE. SEE ARCHITECTURAL PLANS FOR HANDRAIL LOCATIONS AND DESIGN.
9. A PORTION OF THIS BUILDING STRUCTURE REQUIRES RETAINING WALLS TO BE INCORPORATED INTO THE FOUNDATION DESIGN THAT ARE HIGHER THAN THE FINISHED FLOOR ELEVATION. OWNER AND CONTRACTOR SHALL COORDINATE THIS WITH ARCHITECTURAL AND STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.

DRAINAGE SCHEDULE

- DI-1 6" DECORATIVE AREA DRAIN WITH PEDESTRIAN RATED GRATE, (OR APPROVED EQUAL)
- DI-2 6" NDS SPEE-D BASIN WITH ATRIUM GRATE (OR APPROVED EQUAL)
- DI-3 12"x12" OLDCASTLE PRECAST CONCRETE INLET W/ ATRIUM GRATE (OR APPROVED EQUAL)
- TD-1: ACO K100 TRENCH DRAIN, TRAFFIC-RATED (OR APPROVED EQUIVALENT)

ALL 6" STORM DRAIN PIPE TO BE HDPE DUAL WALL.
 ALL 4" STORM DRAIN AND ROOF LEADER DRAIN PIPE TO BE PVC SCHEDULE 40.

STORM WATER TREATMENT (BASMAA) NOTES:

1. PER MARIN COUNTY REQUIREMENTS, THE PROJECT IS REQUIRED TO COMPLY WITH THE BASMAA POST-CONSTRUCTION MANUAL. THE MANUAL DOES REQUIRE SPECIAL MEASURES OR THE INSTALLATION OF ANY STORM WATER TREATMENT FACILITIES (SUCH AS BIORETENTION) BECAUSE THE NEW OR REPLACED IMPERVIOUS AREA IS OVER THE MINIMUM THRESHOLD OF 2,500 SF.
2. ALTHOUGH NOT SPECIFICALLY REQUIRED BY BASMAA, THE PROJECT DESIGN DOES INCORPORATE THE FOLLOWING BASMAA MEASURES:
 - MINIMIZE IMPERVIOUS SURFACES
 - REDUCE RUNOFF (DRY WELLS)
 - CONSERVE NATURAL AREAS OF THE SITE
 - PROTECT SLOPES AGAINST EROSION (EROSION CONTROL AND DRY WELL)

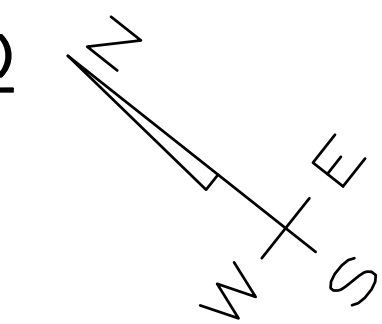
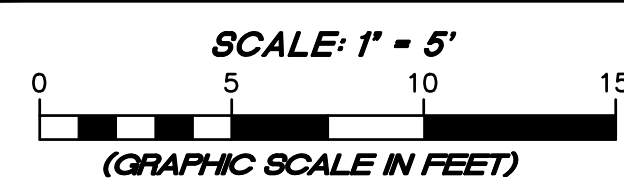
PERMEABILITY CALCULATIONS

PRE-AND POST-CONSTRUCTION PERVIOUS/ IMPERVIOUS AREAS (WITHIN LOT LIMITS)				
NOTE: TOTAL PROJECT AREA: 33,342 SF=0.76 AC	IMPERVIOUS AREA (SF)	% OF PROJ.	PERVIOUS AREA (SF)	% OF PROJ.
PRE-CONSTRUCTION	11,373 SF	34.1%	21,969 SF	65.9%
POST CONSTRUCTION	11,756 SF	35.3%	21,586 SF	64.7%
POST CONSTRUCTION INCREASED IMPERVIOUS AREA	383 SF			

PROJECT BASMAA

TOTAL NEW AND REPLACED IMPERVIOUS AREA (SF) (INCLUDING 189 SF IN THE R.O.W.)	6,975 SF
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GRADING AND DRAINAGE PLAN (1/4)



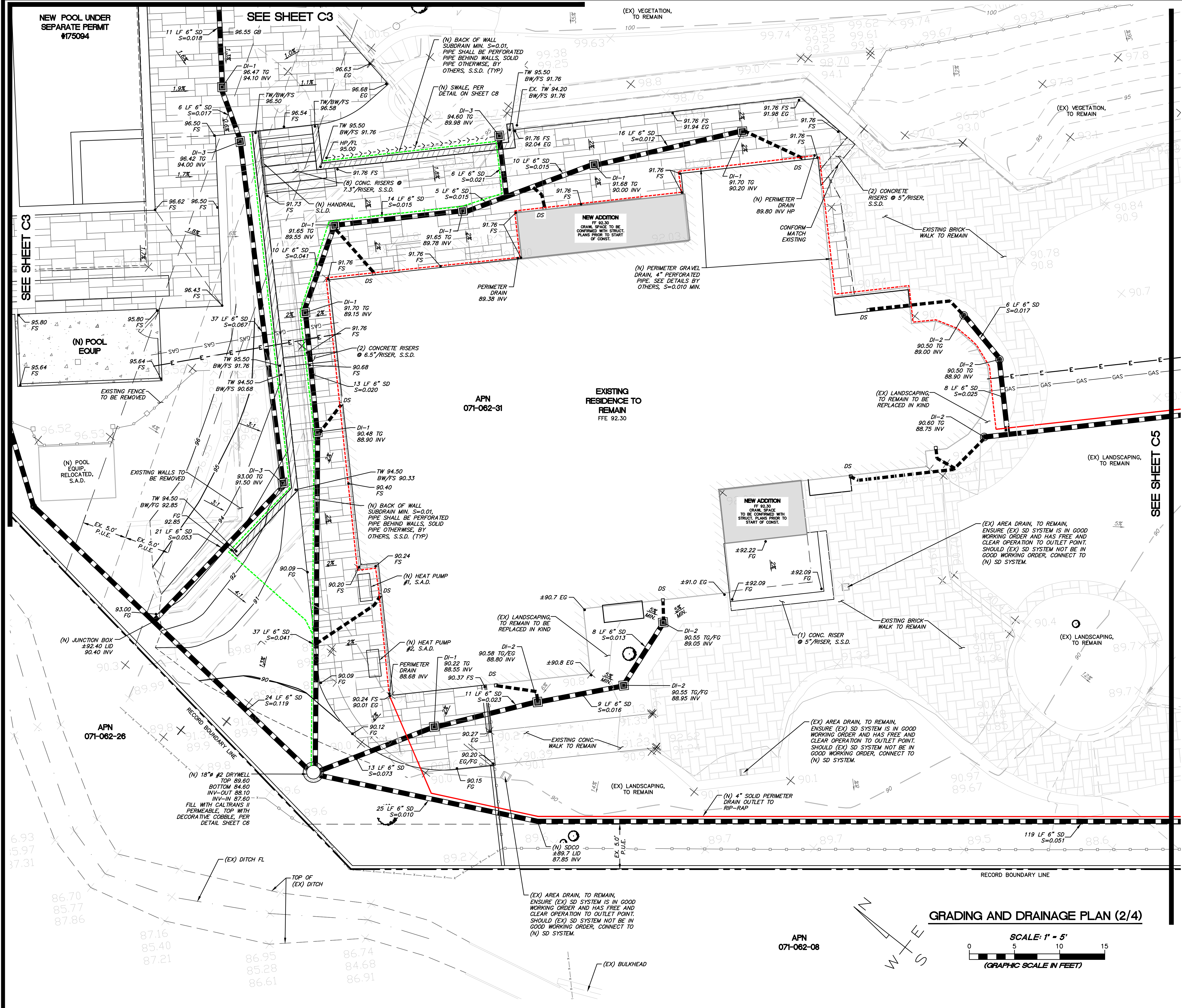
SEE SHEET C4

SEE SHEET C4

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REVISION	DESCRIPTION	BY	DATE
MUNSELLE CIVIL ENGINEERING CIVIL ENGINEERING & SURVEYING PLANNING & CONST. MANAGEMENT 619 CENTER STREET HEALDSBURG, CA 95448 (707) 965-0968			
REGISTERED PROFESSIONAL ENGINEER - CIVIL DANIEL JOHN HUGHES No. 60225 STATE OF CALIFORNIA			
331 PALM AVENUE GRADING AND DRAINAGE PLAN (1/4) 071-062-27 331 PALM AVENUE KENTFIELD, CA			
JULY 18, 2024 JOB NO. 03-24 SHEET NO.			
OF 8 SHEETS			

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DRAINAGE SCHEDULE

DI-1	6" DECORATIVE AREA DRAIN WITH PEDESTRIAN RATED GRATE, (OR APPROVED EQUAL)
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TD-1	ACO K100 TRENCH DRAIN, TRAFFIC-RATED (OR APPROVED EQUIVALENT)

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ALL 4" STORM DRAIN AND ROOF LEADER DRAIN PIPE TO BE PVC SCHEDULE 40.

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- REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR STRUCTURAL SECTION OF CONCRETE SLABS AND OTHER HARDSCAPE SECTIONS.
 - DOWNSPOUT LOCATIONS SHALL BE VERIFIED WITH ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION. DOWNSPOUTS TO BE CONNECTED TO SITE STORM DRAIN SYSTEM OR OUTLETTED TO SPLASH BLOCKS AND DIRECTED TO SWALES AND/OR LANDSCAPE AREAS WITH POSITIVE DRAINAGE AWAY FROM STRUCTURES PER GEOTECHNICAL REPORT AND CURRENT BUILDING CODE. SEE PLAN FOR DOWNSPOUT OUTLET LOCATION.
 - DRAINAGE STRUCTURES, CLEANOUTS OR "Y" CONNECTIONS SHALL BE USED AS APPROPRIATE AT STORM DRAIN ALIGNMENT DEFLECTIONS OR JUNCTIONS OF INTERSECTING DRAIN LINES TO FACILITATE MAINTENANCE.
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LEGEND

[Symbol]	PROPOSED ADDITION AND GARAGE SEE ARCHITECTURAL PLANS
[Symbol]	PROPOSED BLUESTONE PAVERS ON CONCRETE SLAB, SEE ARCH. PLANS
[Symbol]	PROPOSED CONCRETE SEE ARCH. PLANS
[Symbol]	PROPOSED BRICK PAVERS SEE ARCH. PLANS
[Symbol]	PROPOSED RETAINING WALL BY OTHERS
[Symbol]	4" PERFORATED BACK OF WALL DRAIN, DETAILS BY OTHERS
[Symbol]	4" PERFORATED PERIMETER DRAIN DETAILS BY OTHERS
[Symbol]	4" SOLID PERIMETER DRAIN DETAILS BY OTHERS

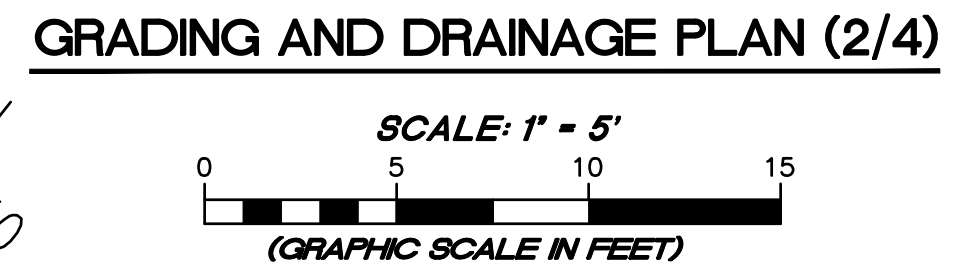
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 619 CENTER STREET
 HEALDSBURG, CA 95448
 (707) 965-0968

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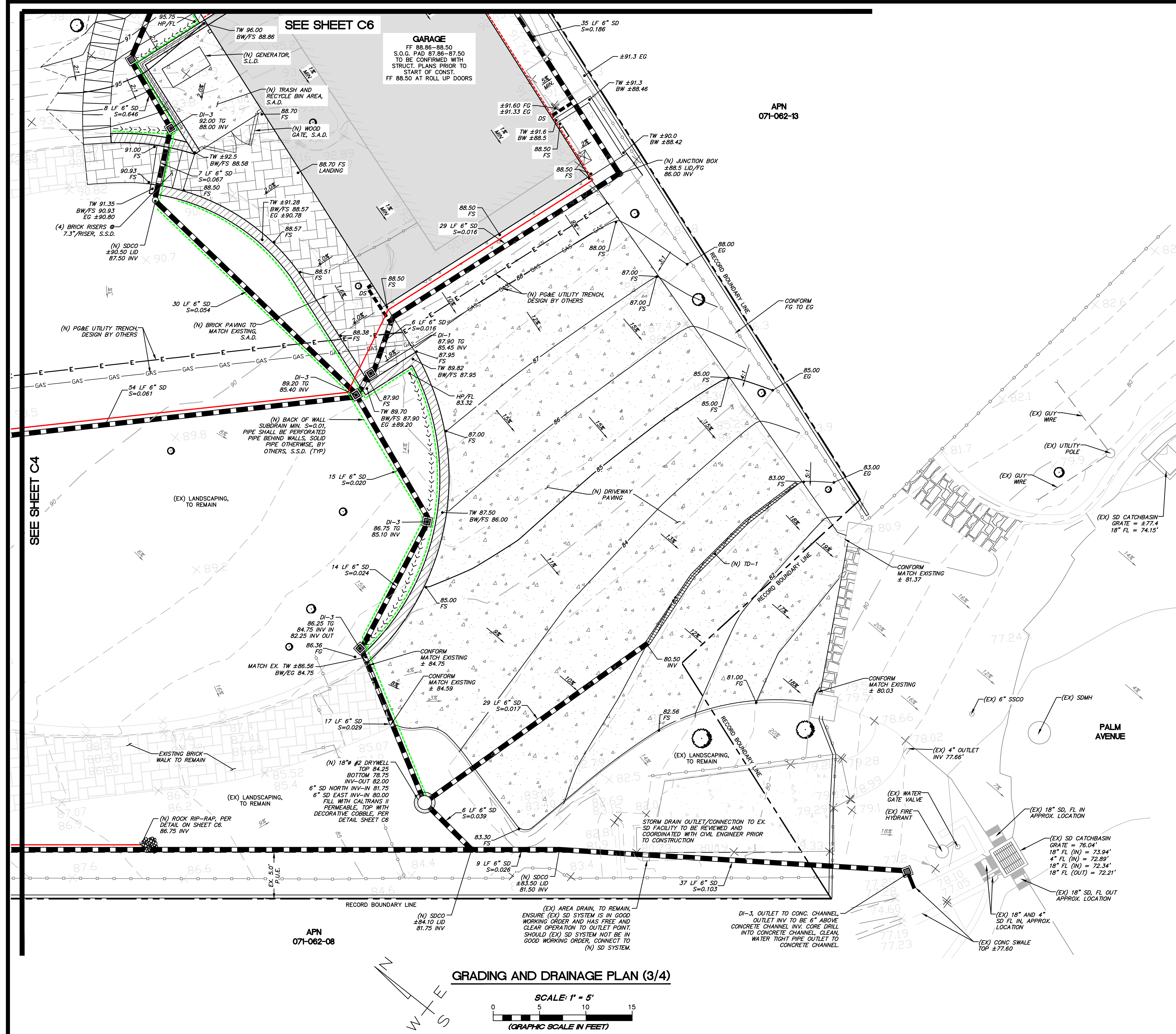
DANIEL JOHN HUGHES
 REGISTERED PROFESSIONAL ENGINEER
 No. 60225
 STATE OF CALIFORNIA

331 PALM AVENUE
 GRADING AND DRAINAGE PLAN (2/4)
 07-062-27
 331 PALM AVENUE
 KENTFIELD, CA

JULY 18, 2024
 JOB NO. 03-24
 SHEET NO. C4
 OF 8 SHEETS



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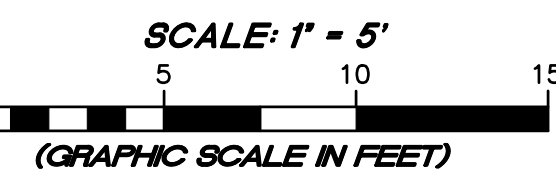
SEE SHEET C6

GARAGE
FF 88.86-88.50
S.O.G. PAD 87.86-87.50
TO BE CONFIRMED WITH
STRUCT. PLANS PRIOR TO
START OF CONST.
FF 88.50 AT ROLL UP DOORS

APN
071-062-13

APN
071-062-08

GRADING AND DRAINAGE PLAN (3/4)



DRAINAGE SCHEDULE

DI-1	6" DECORATIVE AREA DRAIN WITH PEDESTRIAN RATED GRATE, (OR APPROVED EQUAL)
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DI-3	12"x12" OLDCASTLE PRECAST CONCRETE INLET W/ ATRIUM GRATE (OR APPROVED EQUAL)
TD-1	ACO K100 TRENCH DRAIN, TRAFFIC-RATED (OR APPROVED EQUIVALENT)

ALL 6" STORM DRAIN PIPE TO BE HDPE DUAL WALL.
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LEGEND

	PROPOSED ADDITION AND GARAGE SEE ARCHITECTURAL PLANS
	PROPOSED BLUESTONE PAVERS ON CONCRETE SLAB, SEE ARCH. PLANS
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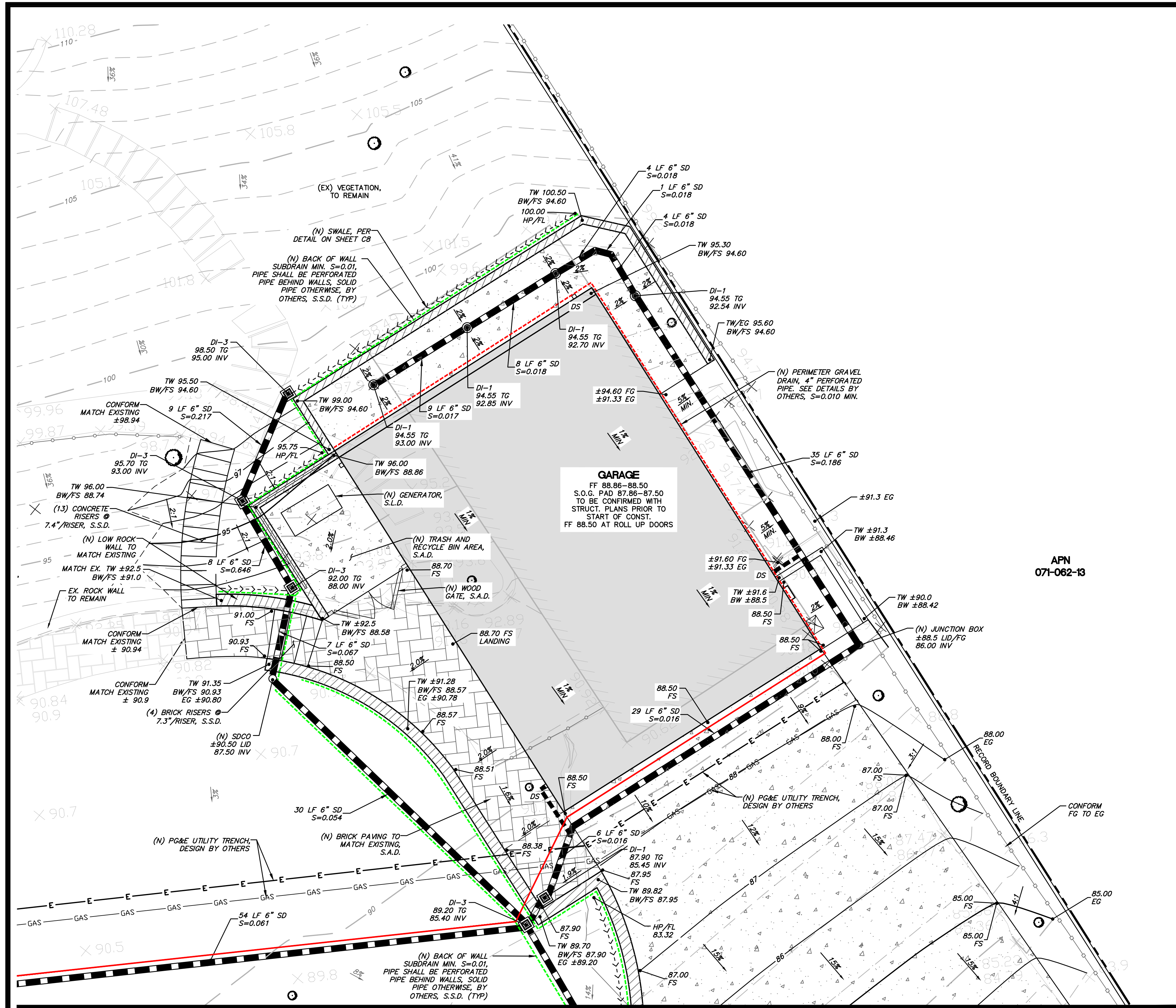
MUNSELLE CIVIL ENGINEERING
 CIVIL ENGINEERING & SURVEYING
 PLANNING & CONST. MANAGEMENT
 619 CENTER STREET
 HEALDSBURG, CA 94448
 (707) 966-0968

DANIEL JOHN HUGHES
 REGISTERED PROFESSIONAL ENGINEER
 No. 60225
 STATE OF CALIFORNIA
 CIVIL ENGINEER

331 PALM AVENUE
 GRADING AND DRAINAGE PLAN (3/4)
 071-062-27
 331 PALM AVENUE
 KENTFIELD, CA

JULY 18, 2024
 JOB NO. 03-24
 SHEET NO. **C5**
 OF 8 SHEETS

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DRAINAGE SCHEDULE	
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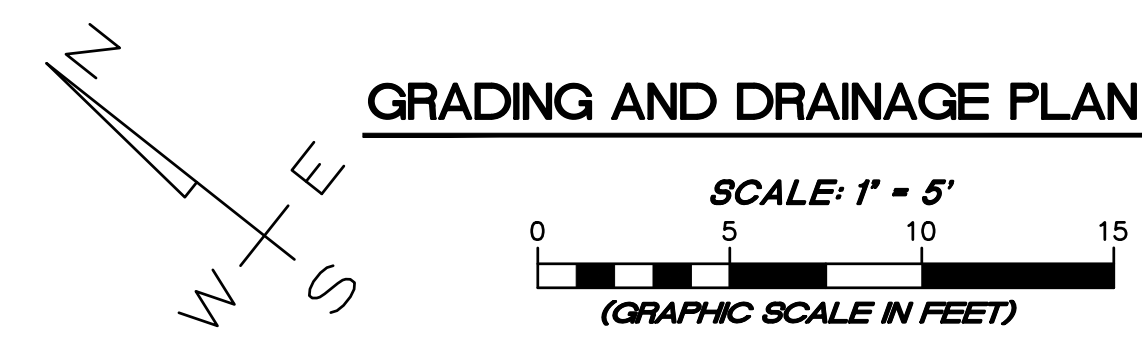
- ### GRADING AND DRAINAGE NOTES
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APN 071-062-13

SEE SHEET C5

LEGEND

	PROPOSED ADDITION AND GARAGE SEE ARCHITECTURAL PLANS
	PROPOSED BLUESTONE PAVERS ON CONCRETE SLAB, SEE ARCH. PLANS
	PROPOSED CONCRETE SEE ARCH. PLANS
	PROPOSED BRICK PAVERS SEE ARCH. PLANS
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	4" PERFORATED PERIMETER DRAIN DETAILS BY OTHERS
	4" SOLID PERIMETER DRAIN DETAILS BY OTHERS



GRADING AND DRAINAGE PLAN (4/4)

REVISION	DESCRIPTION	BY	DATE

MUNSELLE CIVIL ENGINEERING
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 CIVIL PLANNING & CONST. MANAGEMENT
 619 CENTER STREET
 HEALDSBURG, CA 94448
 (707) 966-0968

MCE
 CIVIL ENGINEERING

DANIEL JOHN HUGHES
 REGISTERED PROFESSIONAL ENGINEER
 No. 60225
 DATE 03-24

331 PALM AVENUE GRADING AND DRAINAGE PLAN (4/4)
 331 PALM AVENUE
 KENTFIELD, CA

JULY 18, 2024

JOB NO. 03-24

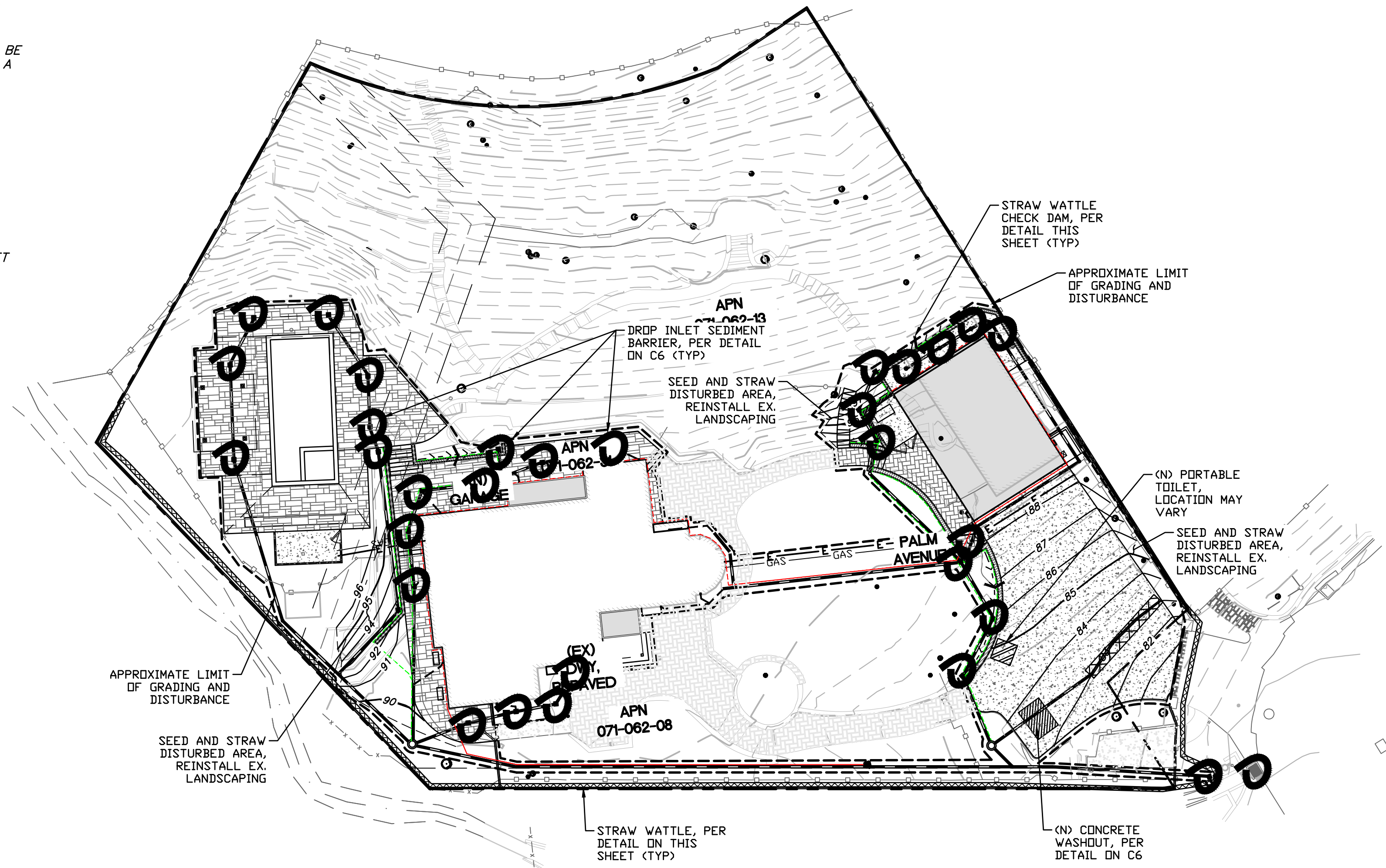
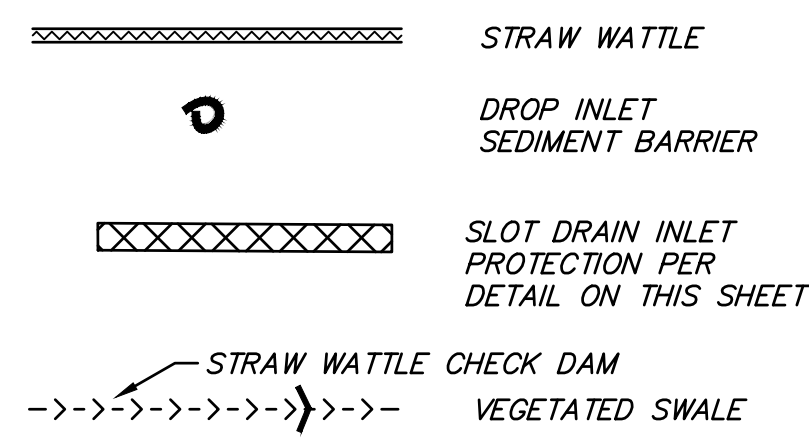
SHEET NO. **C6**

OF 8 SHEETS

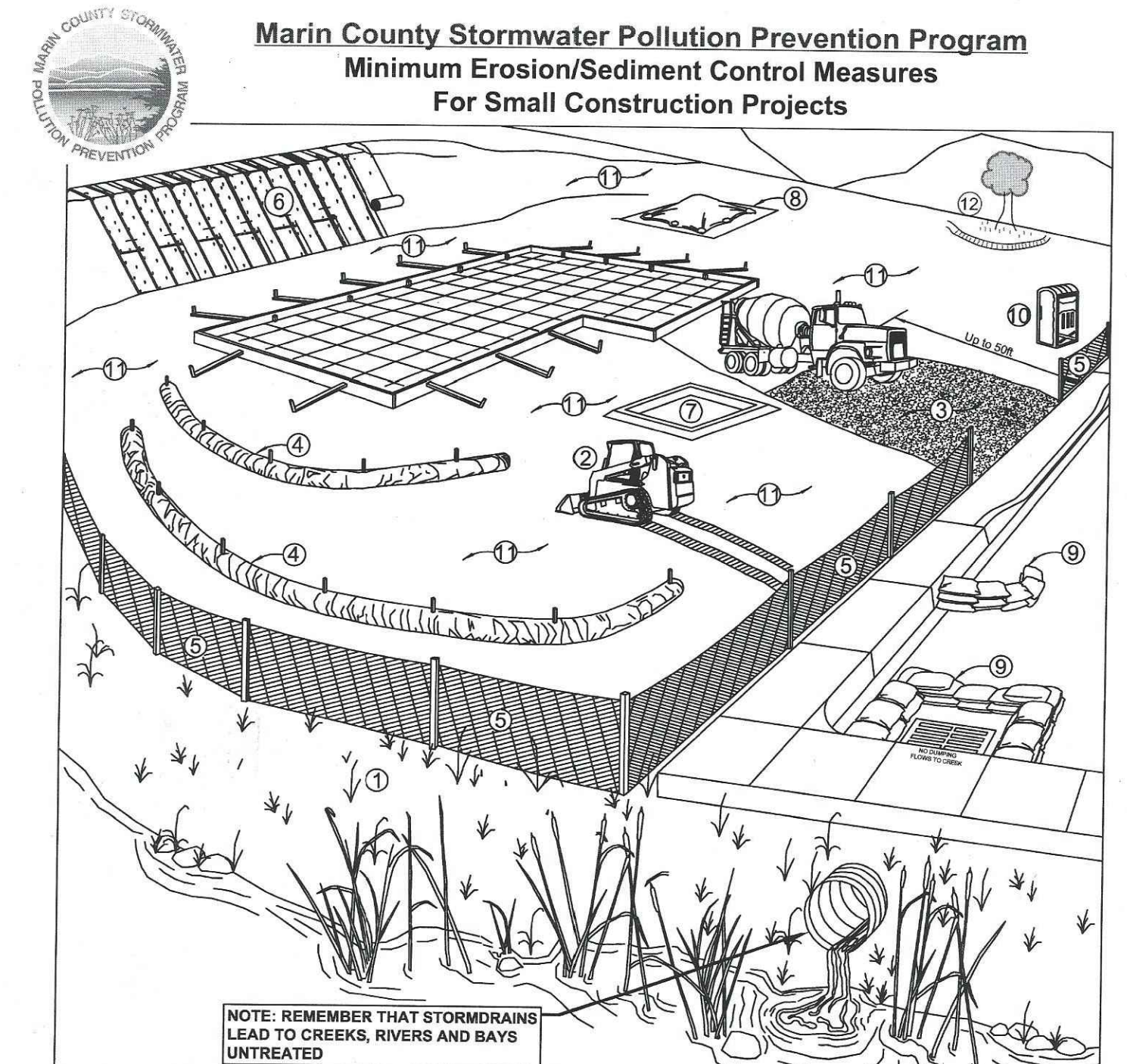
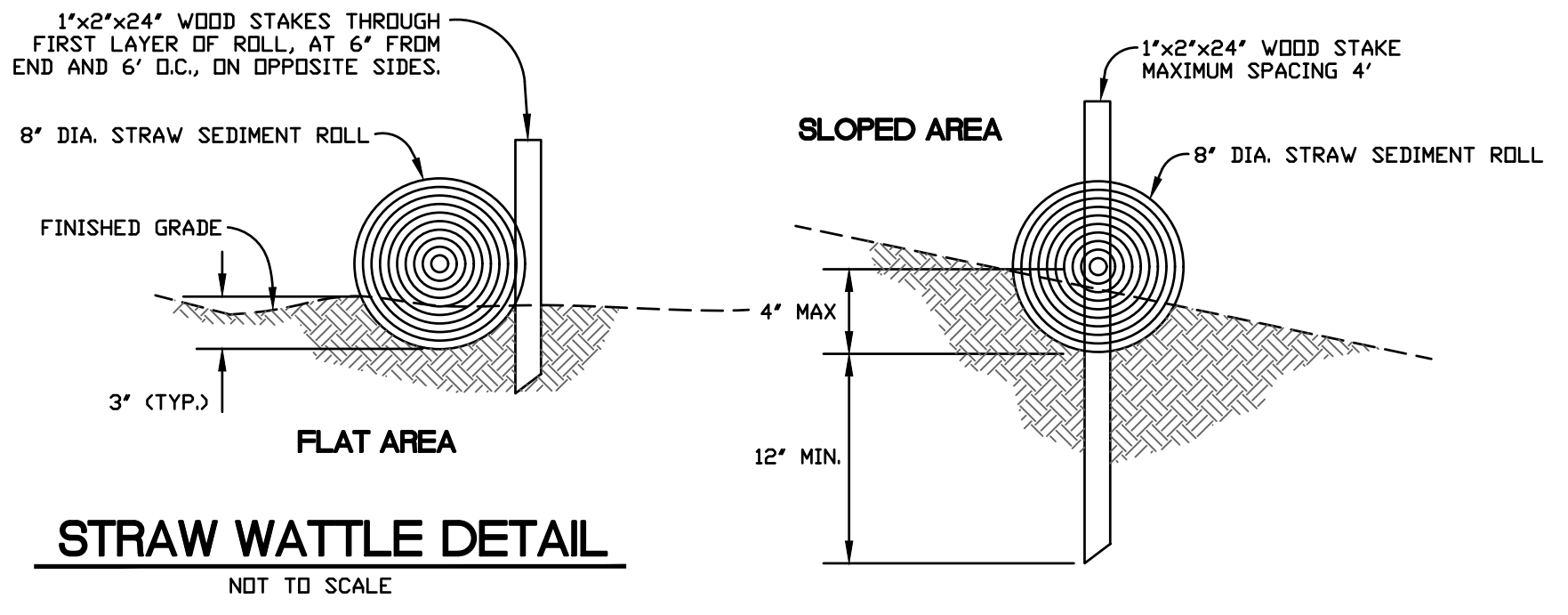
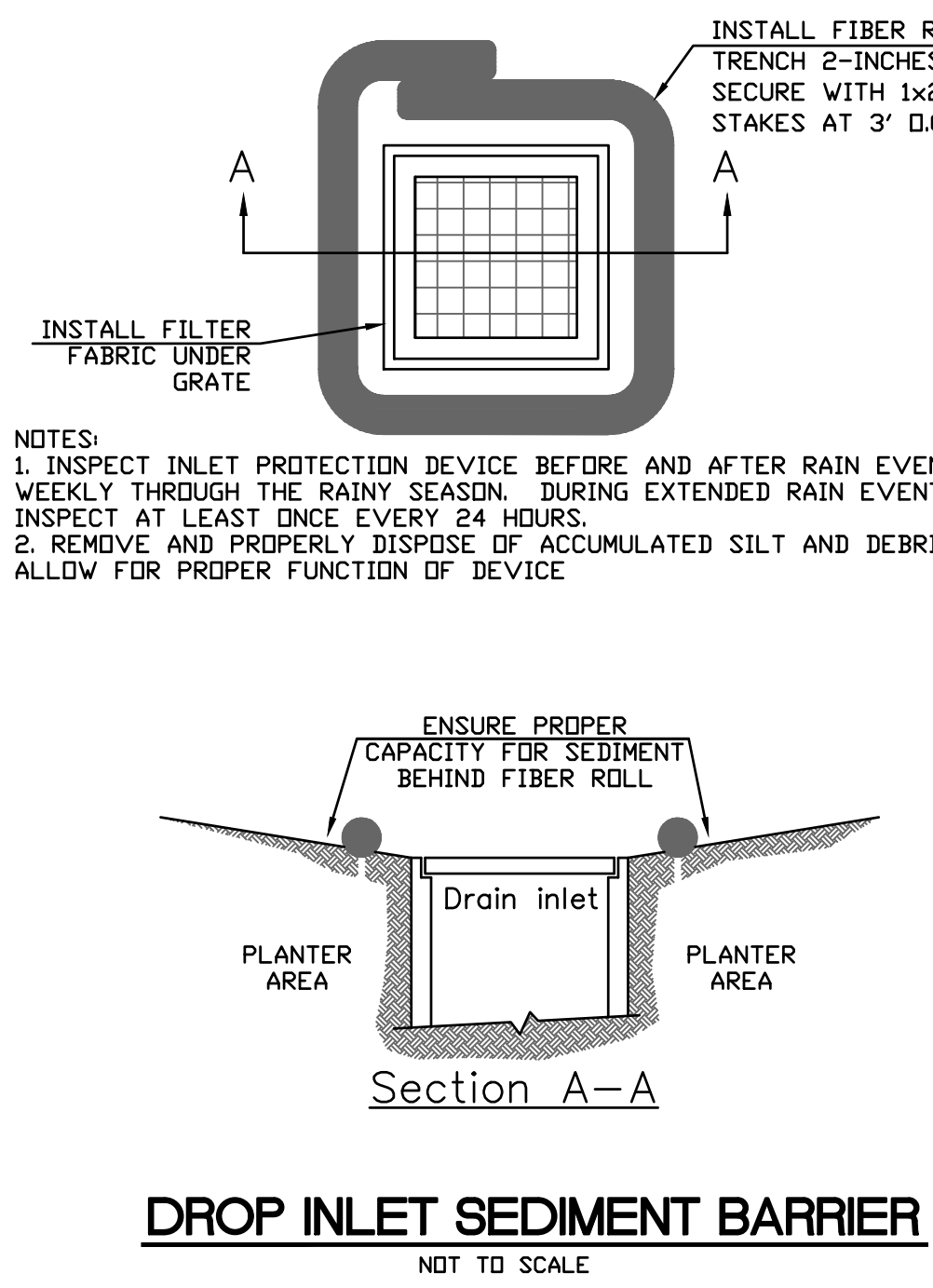
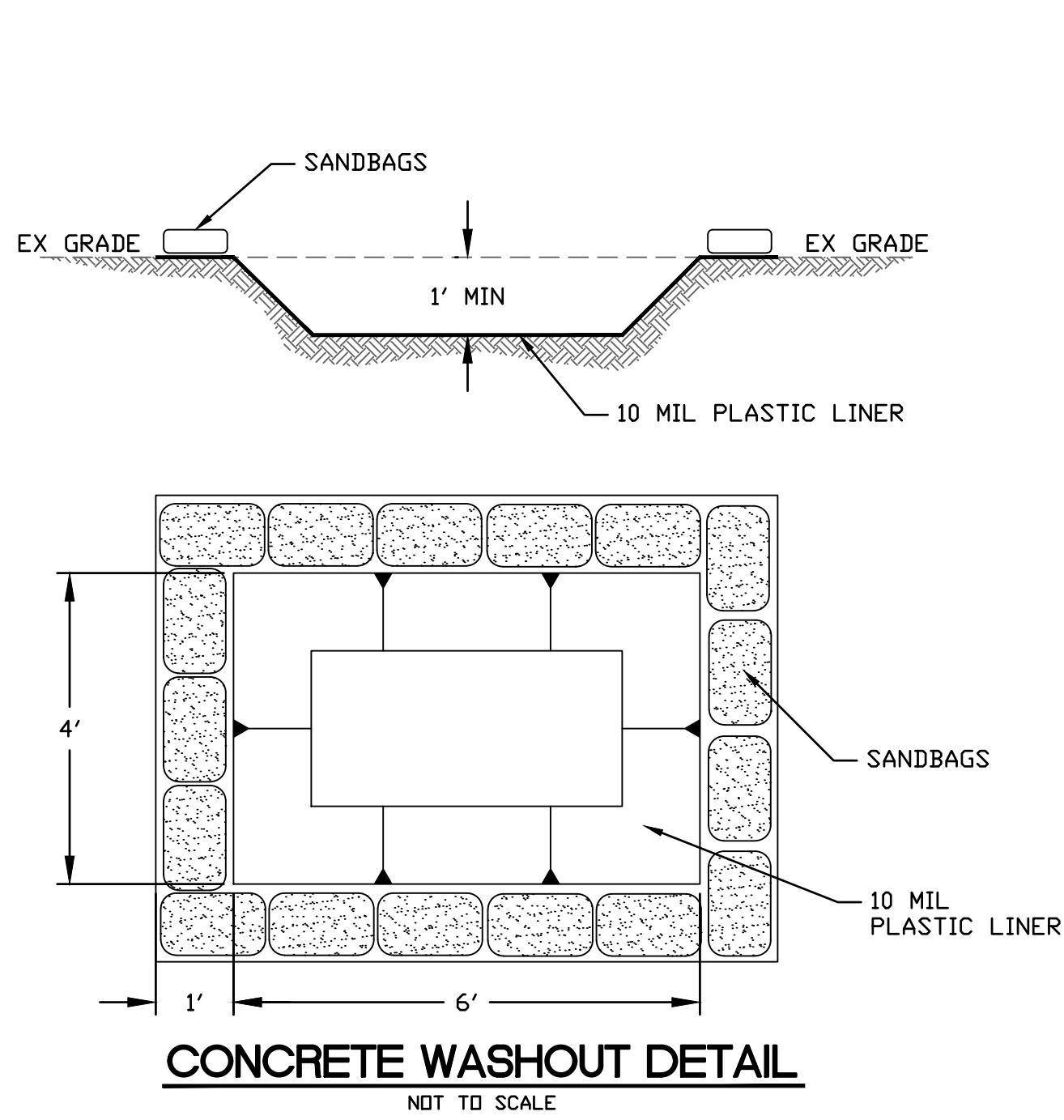
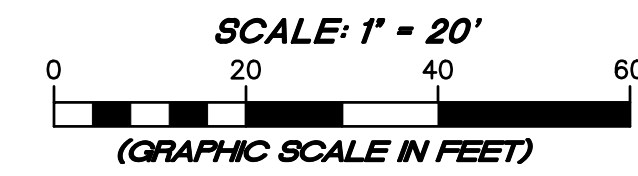
NOTES:

1. THE GEOTECHNICAL ENGINEER MUST MONITOR EROSION AND SEDIMENT CONTROL MEASURES ON A MONTHLY BASIS, AS WELL AS BEFORE AND AFTER A RAIN EVENT. MONTHLY MONITORING REPORTS FROM THE GEOTECHNICAL ENGINEER SHALL BE MAINTAINED AT THE JOB SITE AT ALL TIMES.
2. EROSION AND SEDIMENT CONTROL MEASURES MUST BE PLACED ON EXPOSED AREAS WHEN RAIN IS WITHIN A 5 DAY FORECAST.

LEGEND

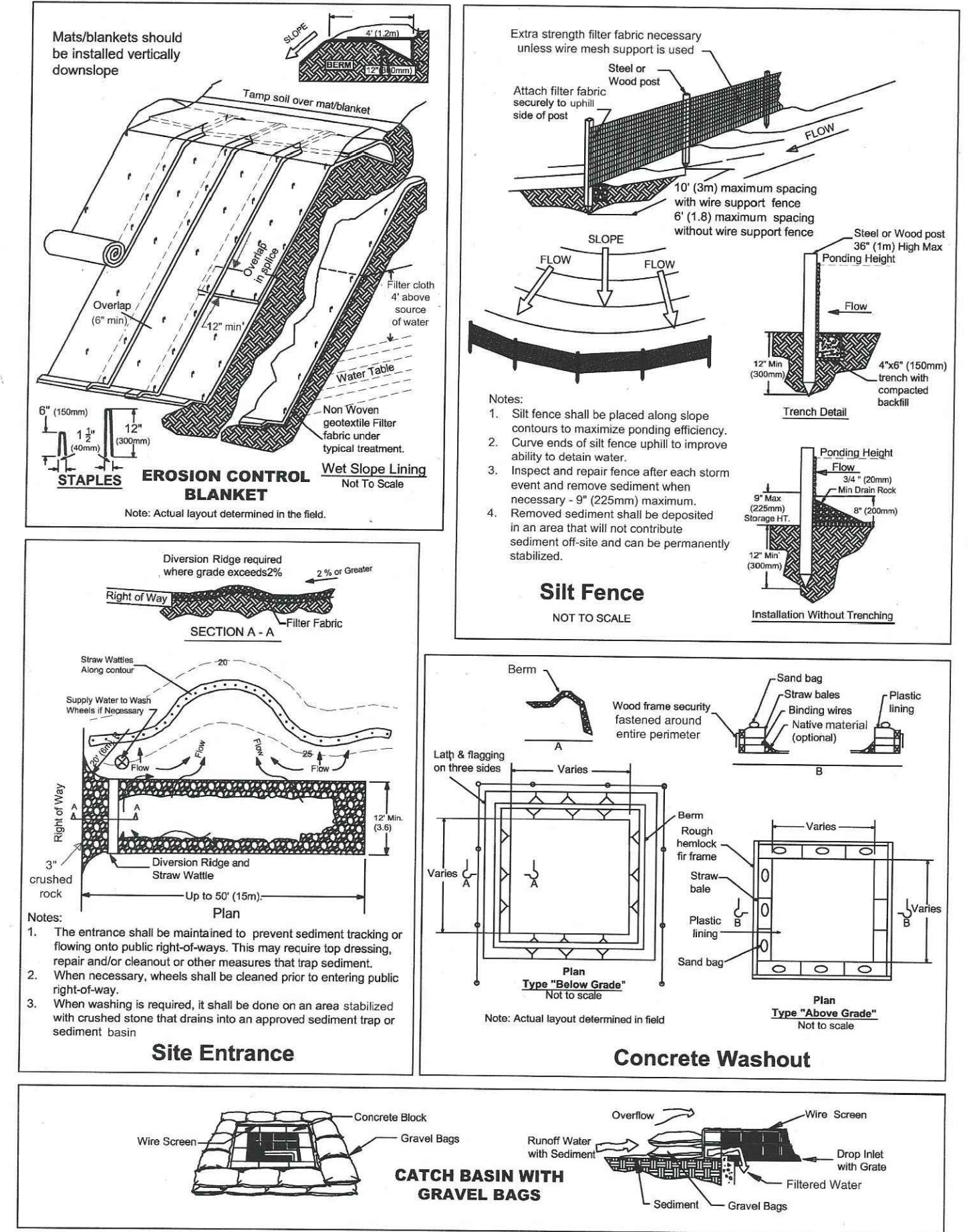


EROSION CONTROL PLAN



- (1) Check with your local Planning and Public Works departments for creek setback requirements. Grading and/or building may be limited or prohibited within creekside buffers.
 - (2) During grading phase, track-walk up and down slopes (not parallel to them).
 - (3) Stabilize site entrance and temporary driveway - use 3" crushed rock up to 50' (or as far as possible) to prevent tracking soil offsite.
 - (4) Use straw wattles along contours with 2:1 slopes or steeper, keyed into ground with at least 3" deep (typically 25' to 50' apart).
 - (5) Install silt fence along contours as secondary measure to keep sediment onsite and to minimize vehicle and foot traffic beyond limits of site disturbance.
 - (6) Install erosion control blankets (or equivalent) on any disturbed site with 2:1 slopes or greater.
 - (7) Construct a concrete washout site adjacent to stabilized entrance. Clean as needed and remove at end of project.
 - (8) Cover all stockpiles and landscape material and berm properly with straw wattles or sand bags. Keep behind silt fence, away from water bodies.
 - (9) Use pea-gravel bags (or similar product) around drain inlets located both onsite and in gutter as a last line of defense.
 - (10) Place port-a-potty near stabilized site entrance, behind the curb and away from storm drain inlets and water bodies.
 - (11) Cover all exposed soil with straw mulch and tackifier (or equivalent).
 - (12) Existing vegetation should be preserved as much as possible. Revegetate areas of disturbed soil/vegetation as soon as practical.
- Note: Schedule construction activities to reduce erosion potential. Sediment and erosion control shall be continually maintained throughout the rainy season (October 1st - April 30th) and must remain effective through the construction and landscape phases. Inspect and maintain BMPs before and after rain events. *See reverse for detail drawings. Visit www.mcstppp.org for more information on construction site management.

TYPICAL DETAILS



If you require materials in alternative formats, please contact: 415-473-4381 voice/TTY or disabilityaccess@co.marin.ca.us.

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DATE	
BY	
DESCRIPTION	
REVISION	

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 CIVIL ENGINEERING & SURVEYING
 PLANNING & CONST. MANAGEMENT
 619 CENTER STREET
 HEALDSBURG, CA 94448
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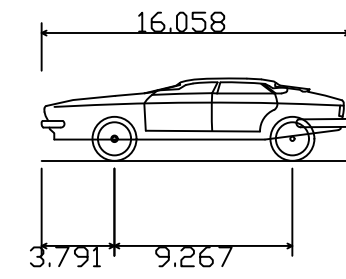
MCE
 CIVIL ENGINEERING

REGISTERED PROFESSIONAL ENGINEER - VIRGINIA
 DATED 08/11/04
 No. 60225

DANIEL JOHN HUGHES DATE
 PCE 60225

331 PALM AVENUE
EROSION CONTROL PLAN
 071-062-27
 331 PALM AVENUE
 KENTFIELD, CA

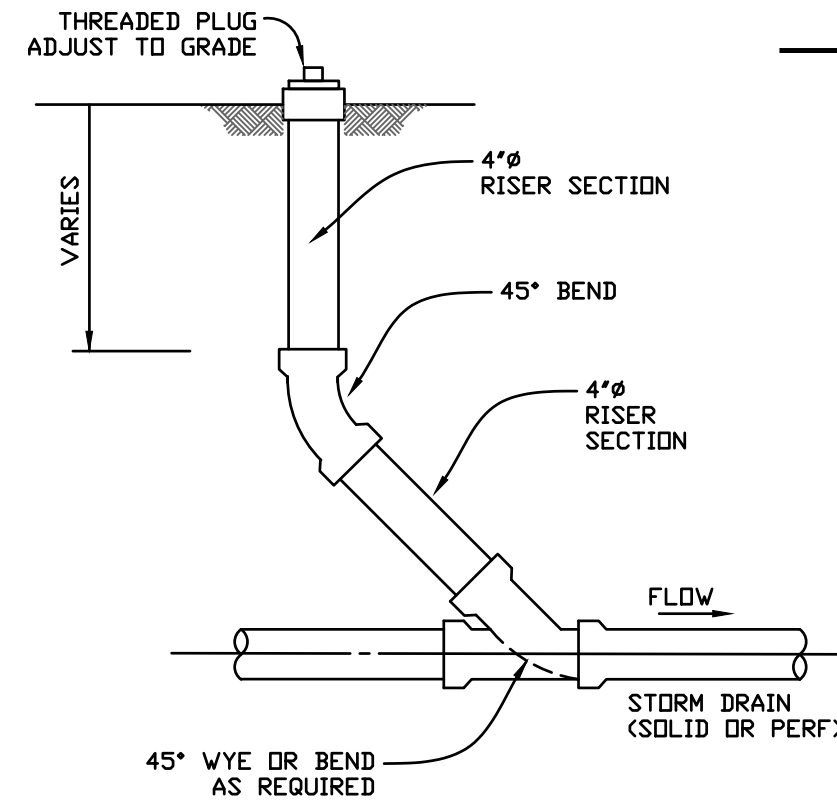
JULY 18, 2024
 JOB NO. 03-24
 SHEET NO. C7
 OF 8 SHEETS



CAMRY
 Overall Length 16.058ft
 Overall Width 6.034ft
 Overall Body Height 4.300ft
 Min Body Ground Clearance 1.115ft
 Max Track Width 5.217ft
 Lock-to-lock time 4.00s
 Curb to Curb Turning Radius 19.000ft

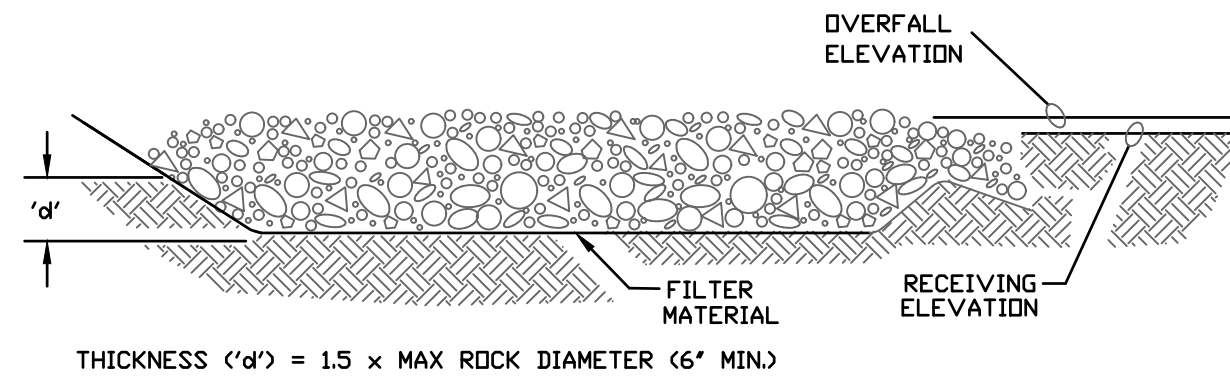
DESIGN VEHICLE

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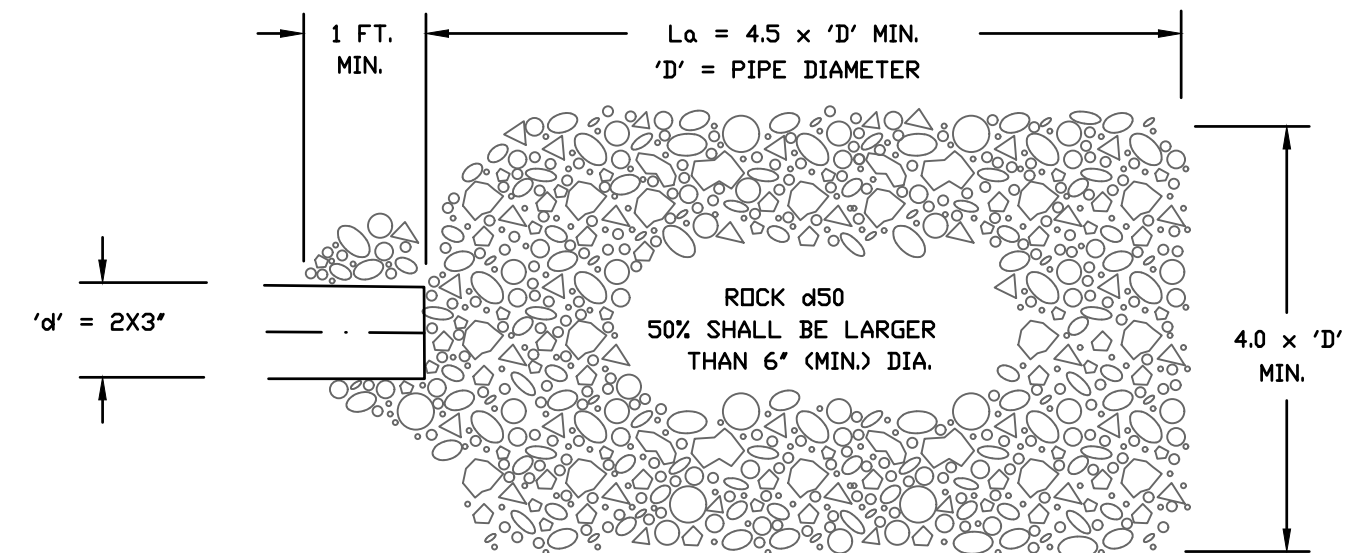
STORM DRAIN CLEANOUT DETAIL

NOT TO SCALE



SECTION

THICKNESS ('d') = 1.5 x MAX ROCK DIAMETER (6" MIN)

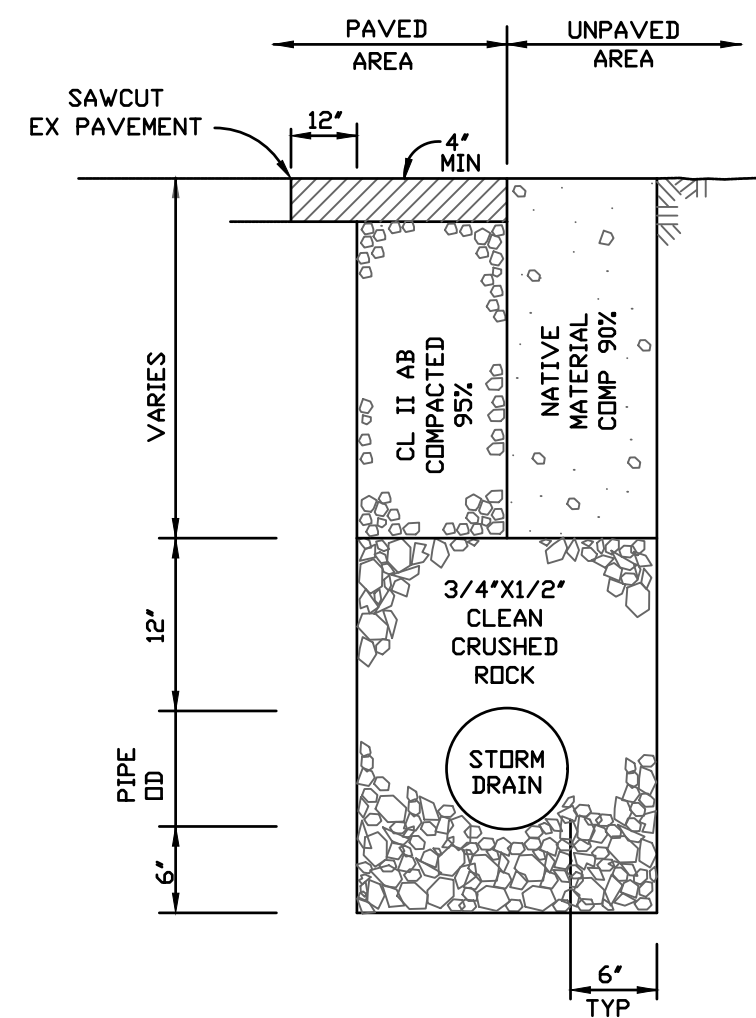


PLAN

- NOTES:
- 'La' = LENGTH OF APRON. DISTANCE 'La' SHALL BE OF SUFFICIENT LENGTH TO DISSIPATE ENERGY.
 - APRON SHALL BE SET AT A ZERO GRADE AND ALIGNED STRAIGHT.
 - FILTER MATERIAL SHALL BE FILTER FABRIC OR 6" THICK (MIN) GRADED GRAVEL LAYER.

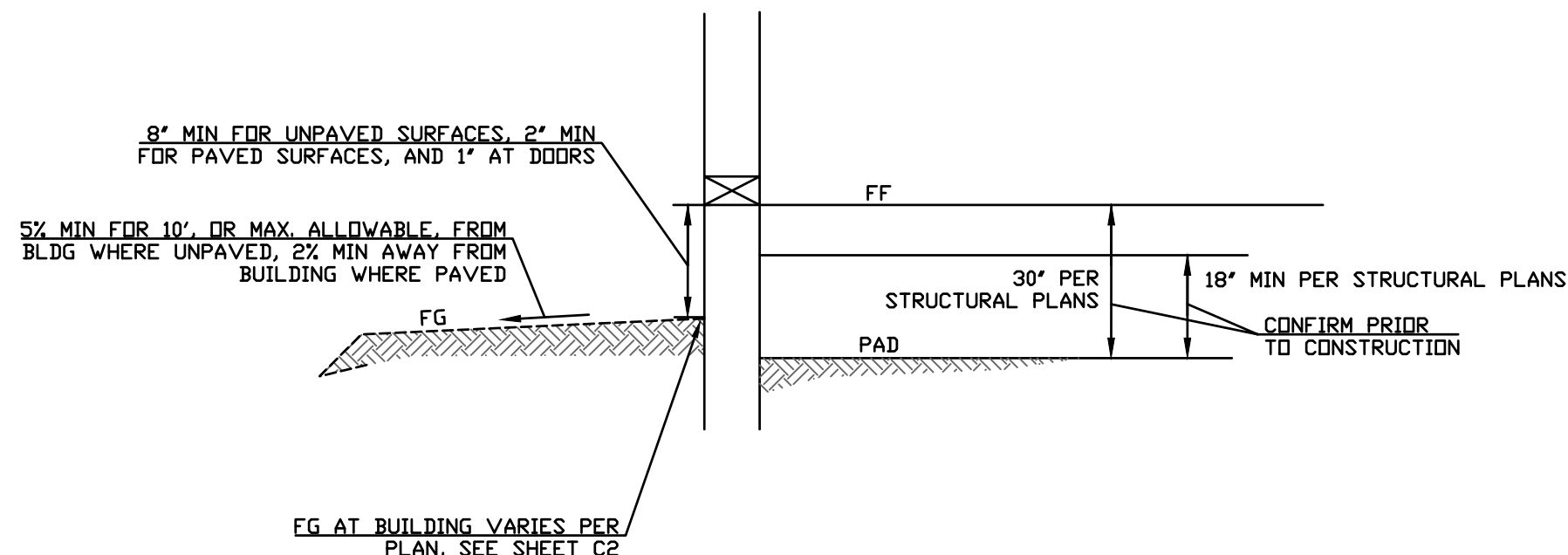
ROCK OUTLET FOR SUBDRAIN

NOT TO SCALE



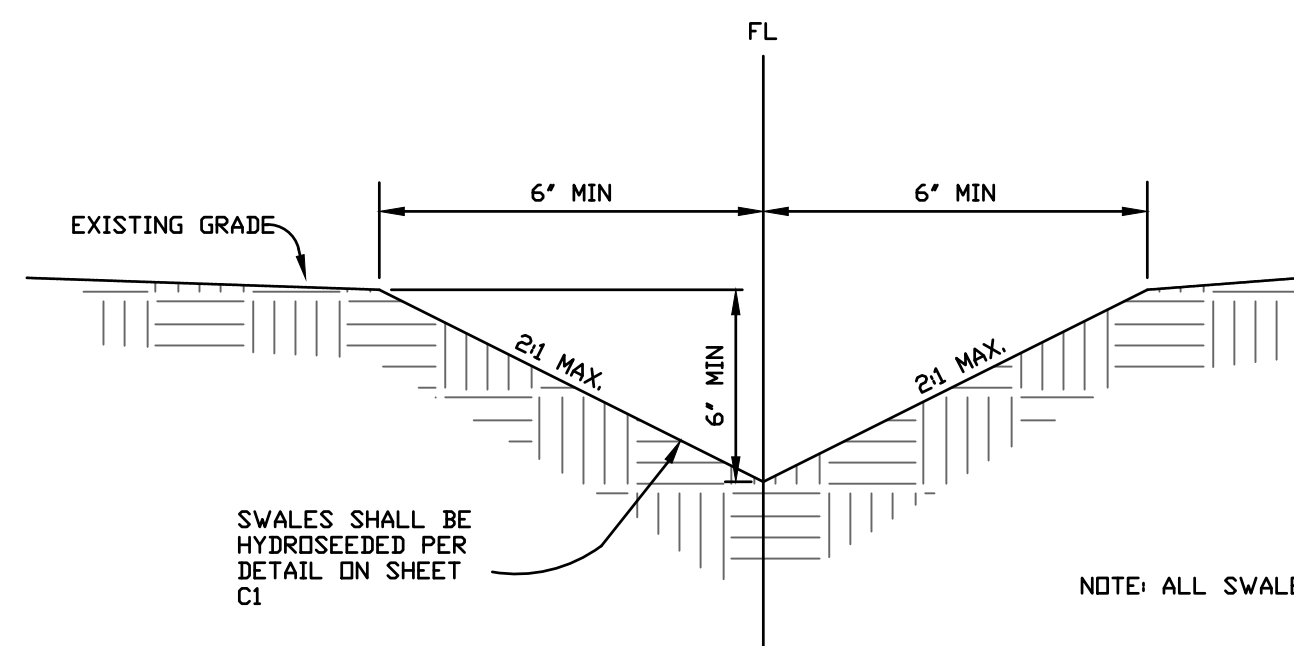
STORM DRAIN TRENCH DETAIL

NOT TO SCALE



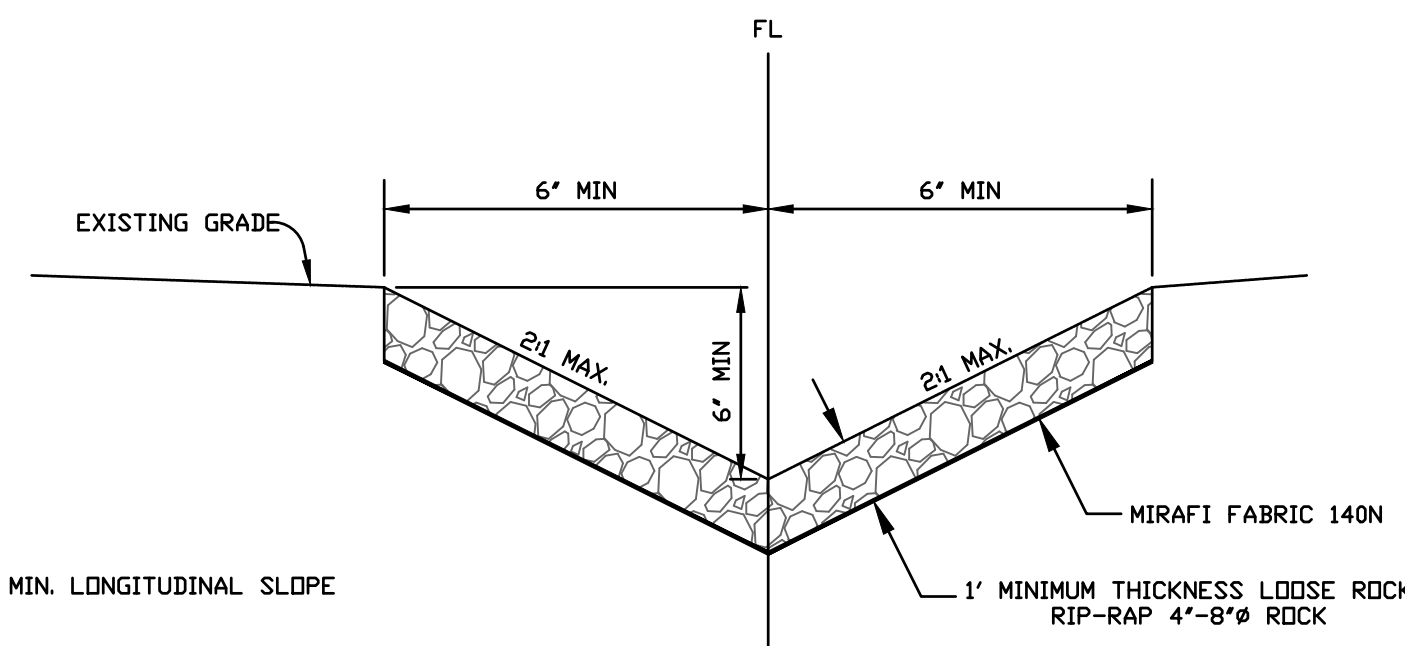
TYPICAL GRADING AT BUILDING EXTERIOR DETAIL

NOT TO SCALE

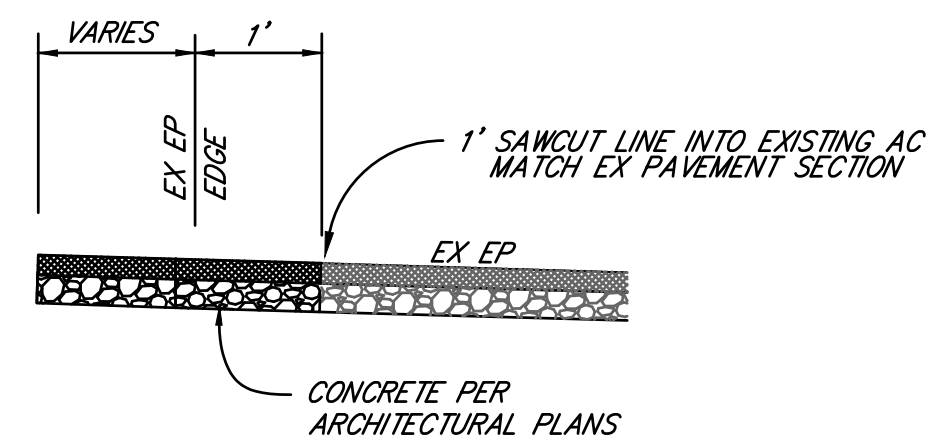


EARTH SWALE

NOTE: ALL SWALES SHALL HAVE 1% MIN. LONGITUDINAL SLOPE

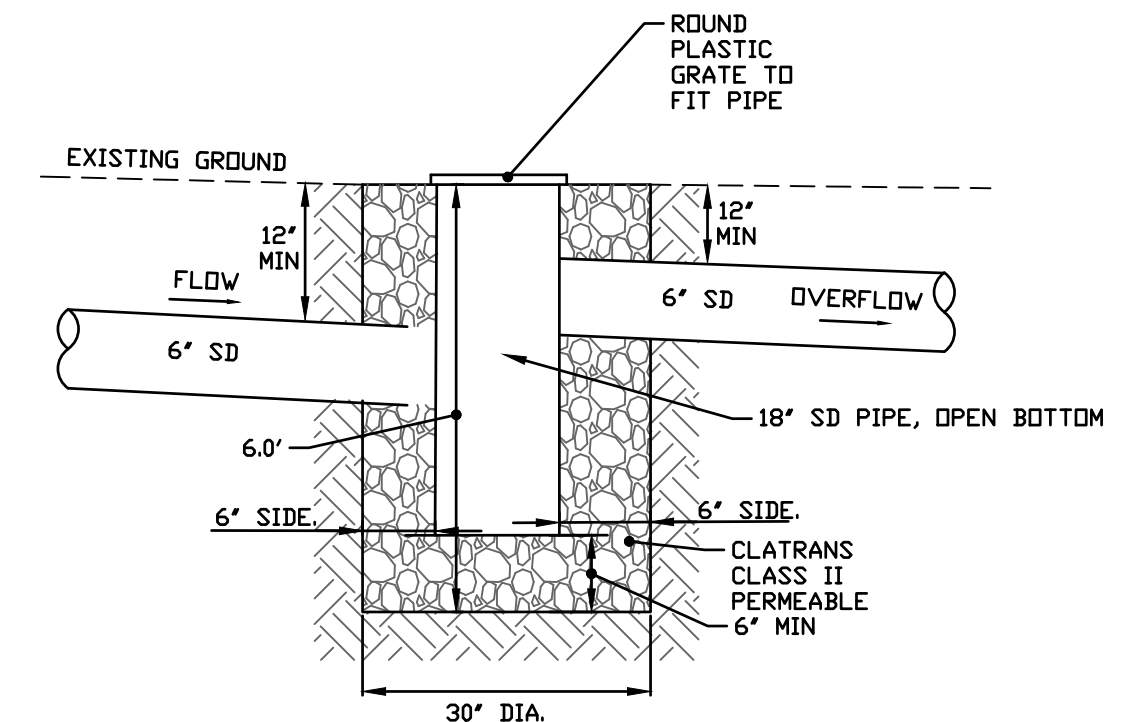


ROCK LINED SWALE



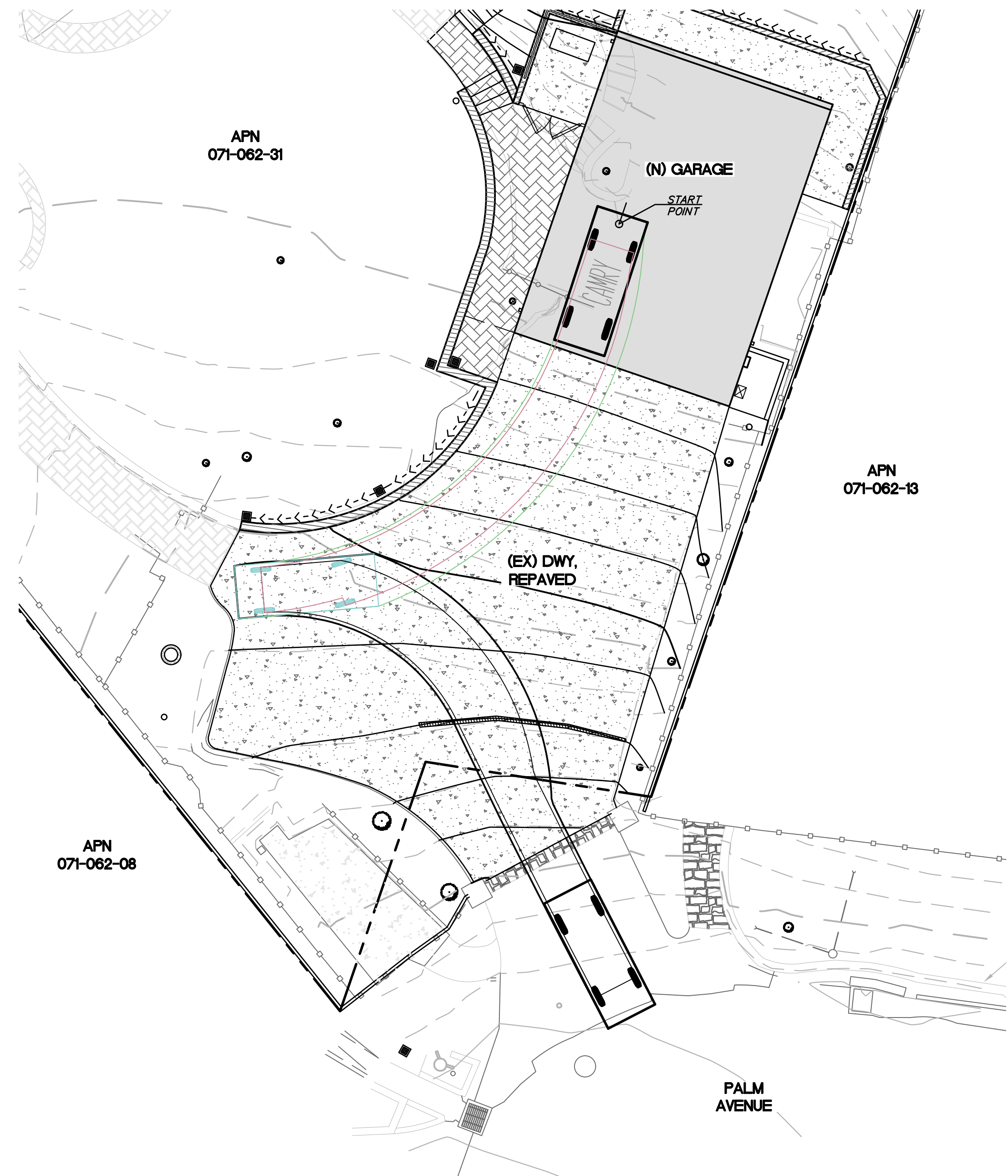
1' SAWCUT AND CONFORM DETAIL

NO SCALE

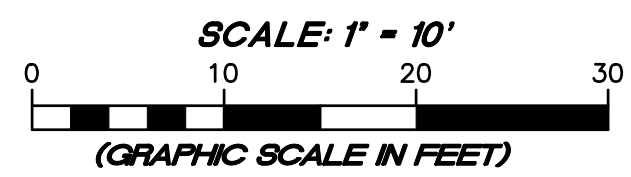


DRY WELL DETAIL

NOT TO SCALE



VEHICLE TURNING EXHIBIT



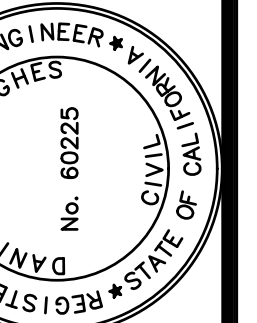
LEGEND

- REVERSE TIRE LINE
- REVERSE CAR BODY ENVELOPE

D:\MUNSELLE CIVIL\PROJECTS\331 PALM AVENUE\DWG\03-24 IP.DWG 7/17/2024 8:36 PM EL

REVISION	DESCRIPTION	BY	DATE

MUNSELLE CIVIL ENGINEERING
 CIVIL ENGINEERING & SURVEYING
 PLANNING & CONST. MANAGEMENT
 619 CENTER STREET
 HEALDSBURG, CA 94448
 (707) 966-0968



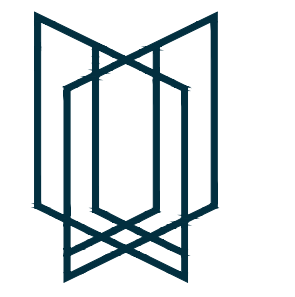
Daniel J. Hughes
 DANIEL JOHN HUGHES DATE
 PCE 60225

331 PALM AVENUE
 DETAILS
 071-062-27
 301 PALM AVENUE
 KENTFIELD, CA

JULY 18, 2024
 JOB NO. 03-24
 SHEET NO.

C8
 OF 8 SHEETS

REVISIONS	
NO.	DATE
	05/30/24 DESIGN REVIEW



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 650.595.2955 F
 650.595.2980 F
 1800 INDUSTRIAL RD. SUITE 14
 SAN CARLOS, CA 94070
 VIOTTIARCHITECTS.COM

**NEW GARAGE & HARDSCAPE FOR:
 THE BUGATTO RESIDENCE**
 331 PALM AVENUE
 KENTFIELD, CA 94904



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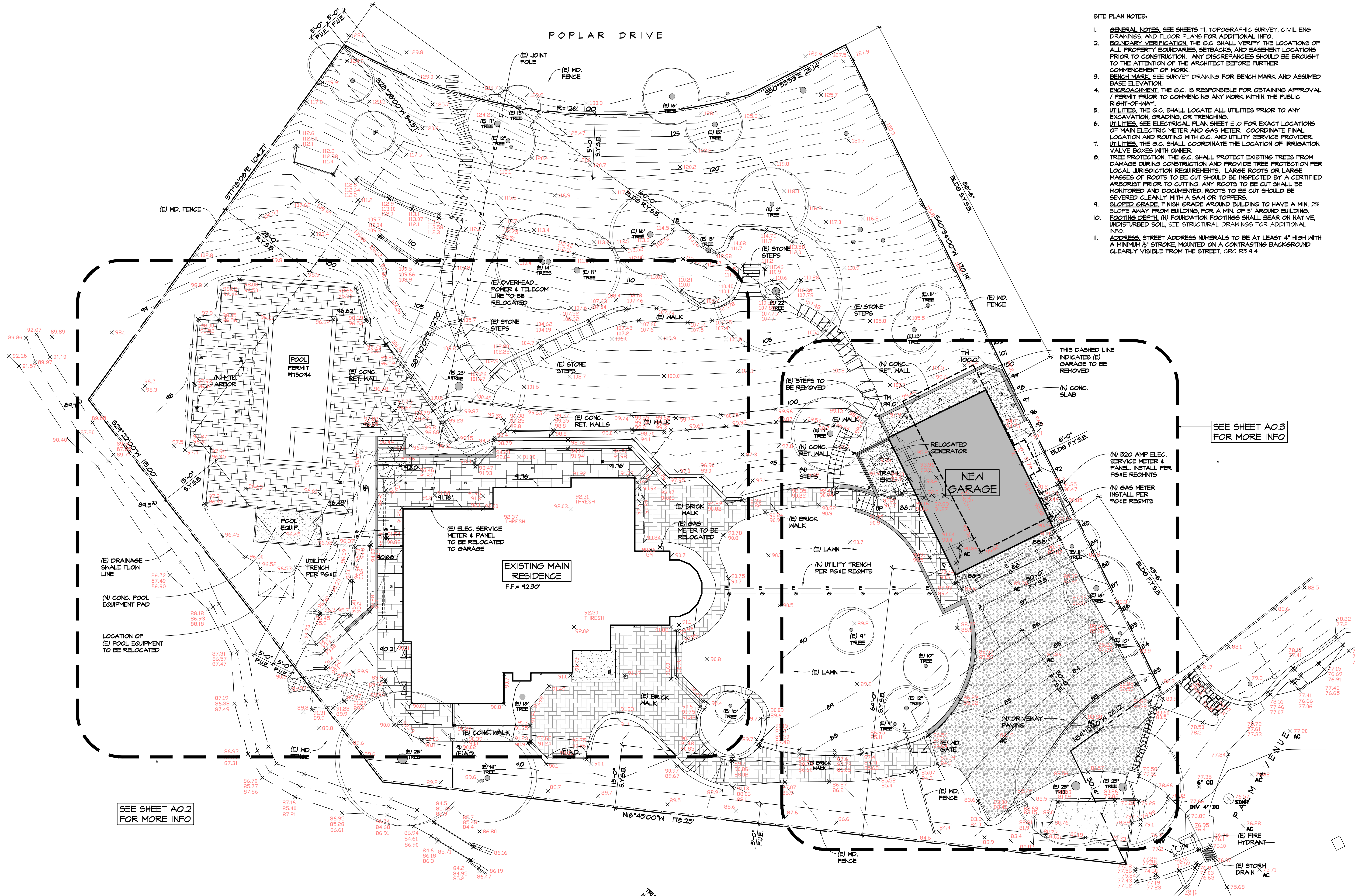
SITE PLAN

SCALE: 3/32"=1'-0"

DATE: 05/30/2024
 DRAWN BY: HL
 JOB#: 2315

A0.1

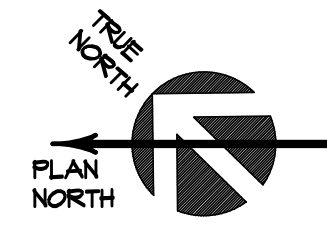
- SITE PLAN NOTES:**
- GENERAL NOTES. SEE SHEETS T1, TOPOGRAPHIC SURVEY, CIVIL ENG DRAWINGS, AND FLOOR PLANS FOR ADDITIONAL INFO.
 - BOUNDARY VERIFICATION. THE G.C. SHALL VERIFY THE LOCATIONS OF ALL PROPERTY BOUNDARIES, SETBACKS, AND EASEMENT LOCATIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE FURTHER COMMENCEMENT OF WORK.
 - BENCH MARKS. SEE SURVEY DRAWING FOR BENCH MARK AND ASSUMED BASE ELEVATION.
 - ENCROACHMENT. THE G.C. IS RESPONSIBLE FOR OBTAINING APPROVAL / PERMIT PRIOR TO COMMENCING ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
 - UTILITIES. THE G.C. SHALL LOCATE ALL UTILITIES PRIOR TO ANY EXCAVATION, GRADING, OR TRENCHING.
 - UTILITIES. SEE ELECTRICAL PLAN SHEET E1.0 FOR EXACT LOCATIONS OF MAIN ELECTRICAL METER AND GAS METER. COORDINATE FINAL LOCATION AND ROUTING WITH G.C. AND UTILITY SERVICE PROVIDER.
 - UTILITIES. THE G.C. SHALL COORDINATE THE LOCATION OF IRRIGATION VALVE BOXES WITH OWNER.
 - TREE PROTECTION. THE G.C. SHALL PROTECT EXISTING TREES FROM DAMAGE DURING CONSTRUCTION AND PROVIDE TREE PROTECTION PER LOCAL JURISDICTION REQUIREMENTS. LARGE ROOTS OR LARGE MASSES OF ROOTS TO BE CUT SHOULD BE INSPECTED BY A CERTIFIED ARBORIST PRIOR TO CUTTING. ANY ROOTS TO BE CUT SHALL BE MONITORED AND DOCUMENTED. ROOTS TO BE CUT SHOULD BE SEVERED CLEANLY WITH A SAW OR TOPPERS.
 - SLOPED GRADE. FINISH GRADE AROUND BUILDING TO HAVE A MIN. 2% SLOPE AWAY FROM BUILDING, FOR A MIN. OF 5' AROUND BUILDING.
 - FOOTING FORTIF. (N) FOUNDATION FOOTINGS SHALL BEAR ON NATIVE, UNDISTURBED SOIL. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFO.
 - ADDRESS. STREET ADDRESS NUMERALS TO BE AT LEAST 4" HIGH WITH A MINIMUM 1/8" STROKE, MOUNTED ON A CONTRASTING BACKGROUND CLEARLY VISIBLE FROM THE STREET. CRC R319.4

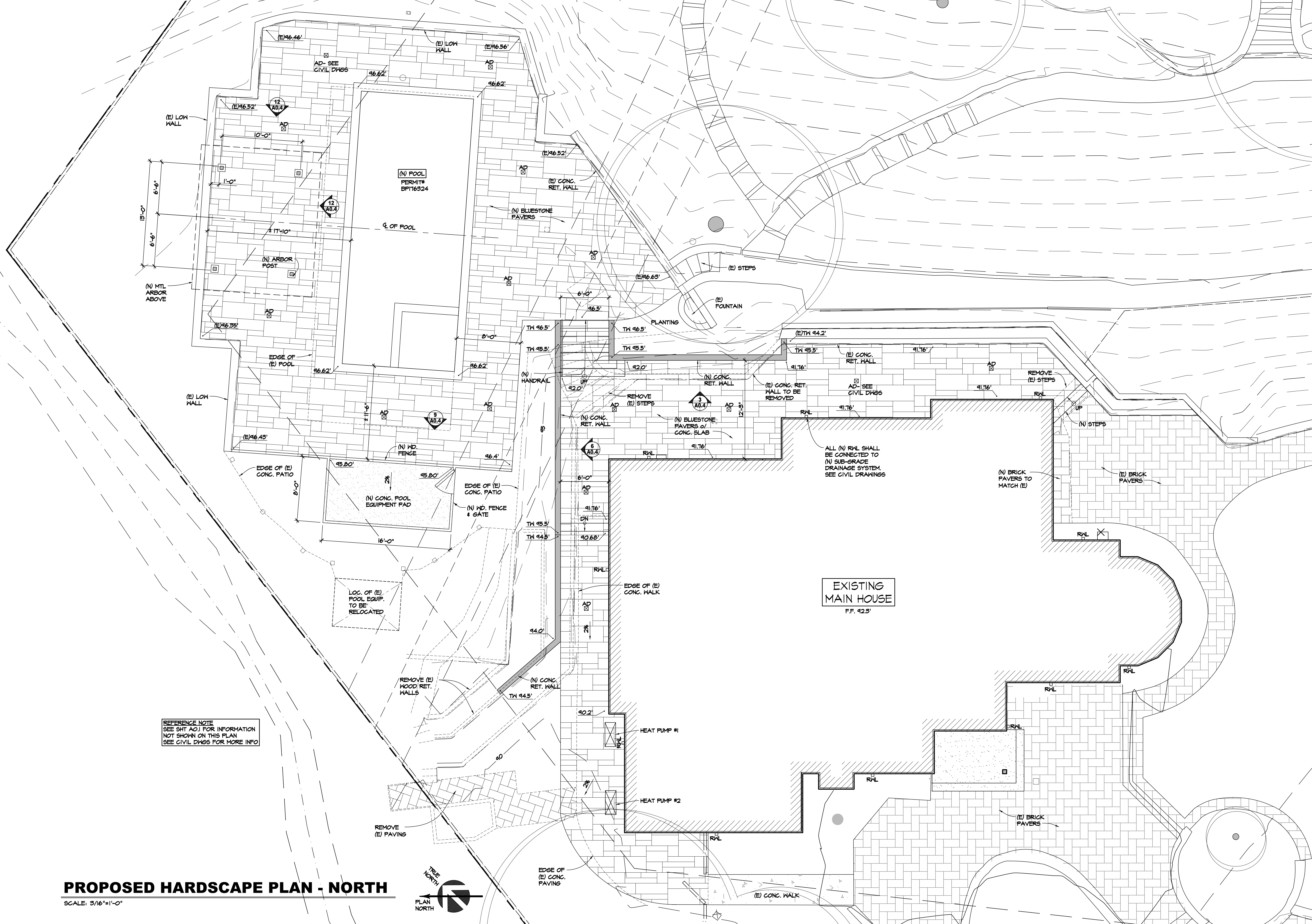


SEE SHEET A0.2 FOR MORE INFO

SEE SHEET A0.3 FOR MORE INFO

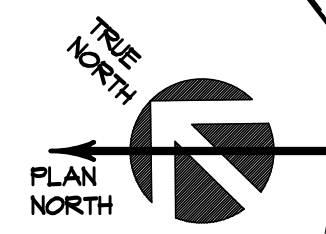
SITE PLAN
 SCALE: 3/32"=1'-0"





REFERENCE NOTE
SEE SH1 A0.1 FOR INFORMATION
NOT SHOWN ON THIS PLAN
SEE CIVIL DWGS FOR MORE INFO

PROPOSED HARDSCAPE PLAN - NORTH
SCALE: 3/16"=1'-0"



REVISIONS	
NO.	DATE
	05/30/24 DESIGN REVIEW

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450 595 2955 F
450 595 2980 F
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VIOTTIARCHITECTS.COM

**NEW GARAGE & HARDSCAPE FOR:
THE BUGATTO RESIDENCE**
331 PALM AVENUE
KENTFIELD, CA 94904



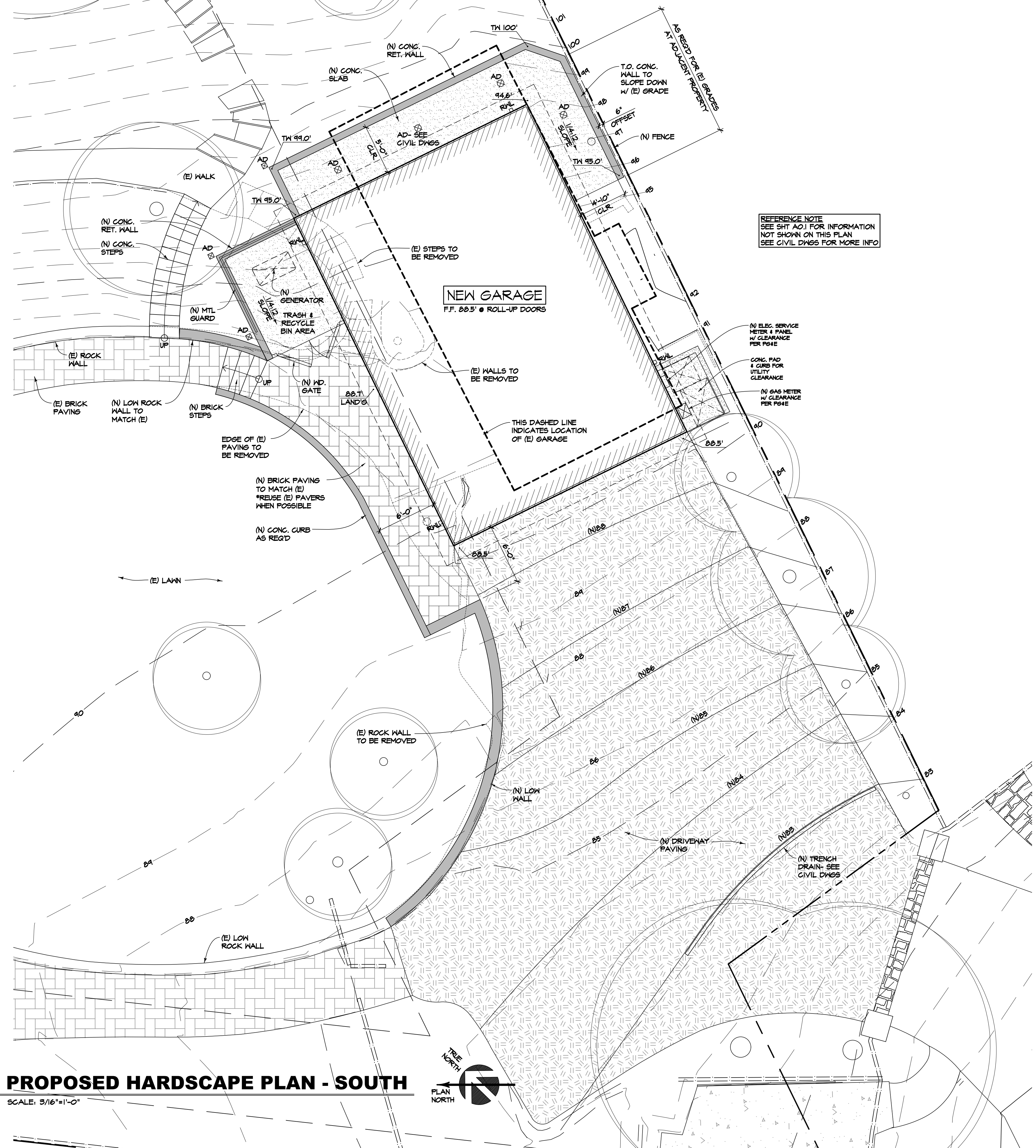
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PARTIAL SITE PLAN

SCALE
0 8 16 24 FEET

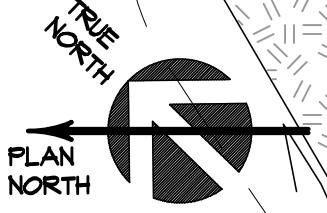
DATE: 05/30/2024
DRAWN BY: HL
JOB#: 2315

A0.2



PROPOSED HARDSCAPE PLAN - SOUTH

SCALE: 3/16"=1'-0"



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**NEW GARAGE & HARDSCAPE FOR:
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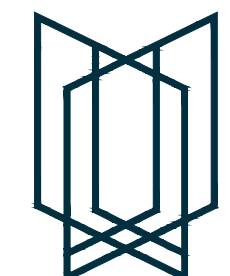
PARTIAL SITE PLAN

SCALE: 3/16"=1'-0"

DATE: 05/30/2024
 DRAWN BY: HL
 JOB#: 2315

A0.3

REVISIONS	
NO.	DATE

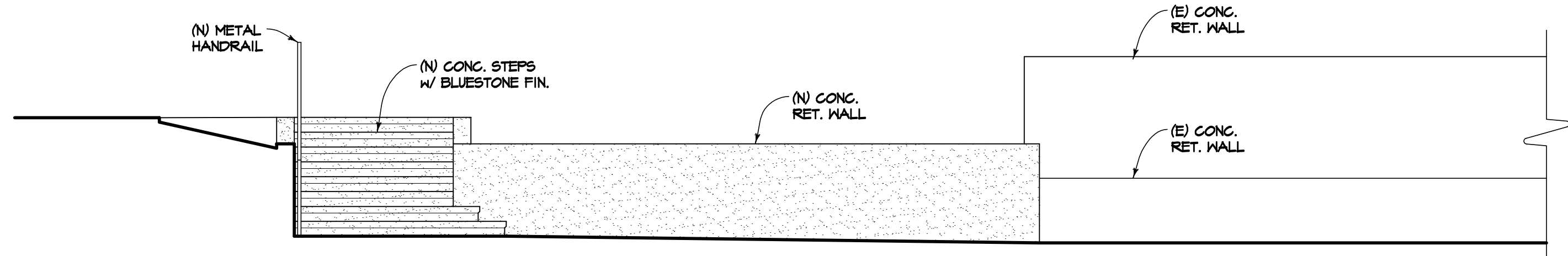


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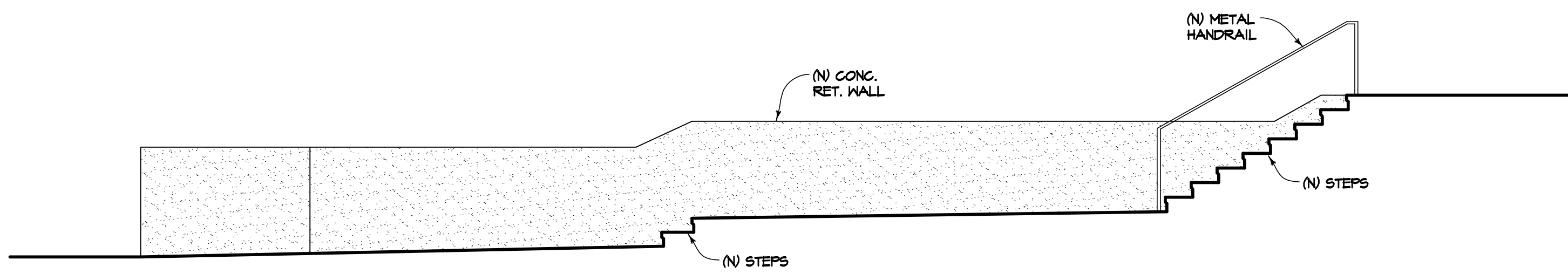
**NEW GARAGE & HARDSCAPE FOR:
 THE BUGATTO RESIDENCE**
 331 PALM AVENUE
 KENTFIELD, CA 94904



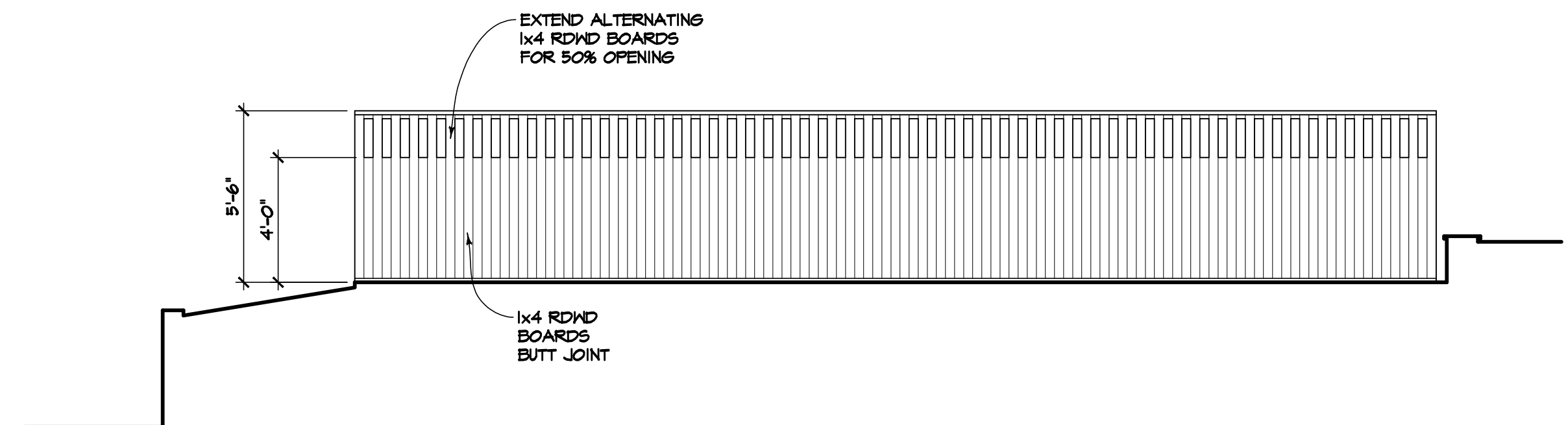
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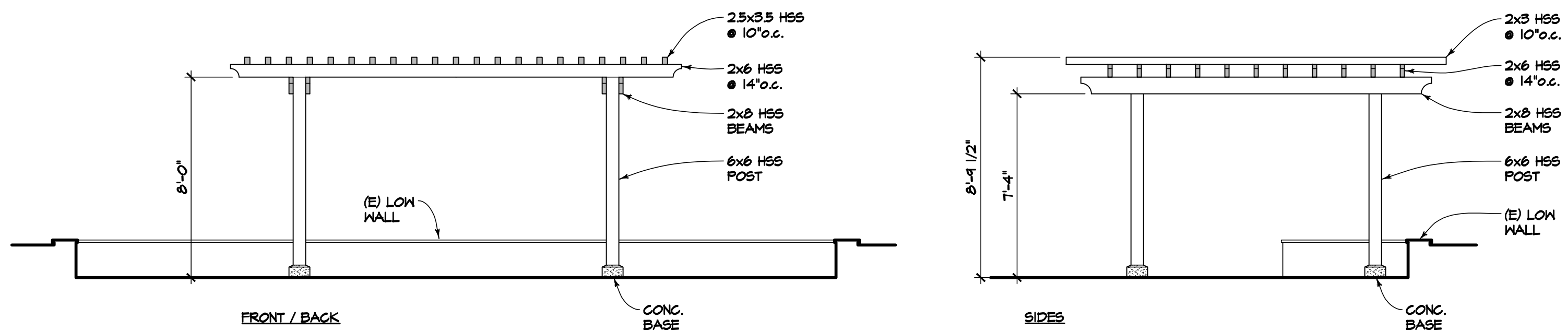
3 PROPOSED WALL & STEPS
 SCALE: 1/4"=1'-0"



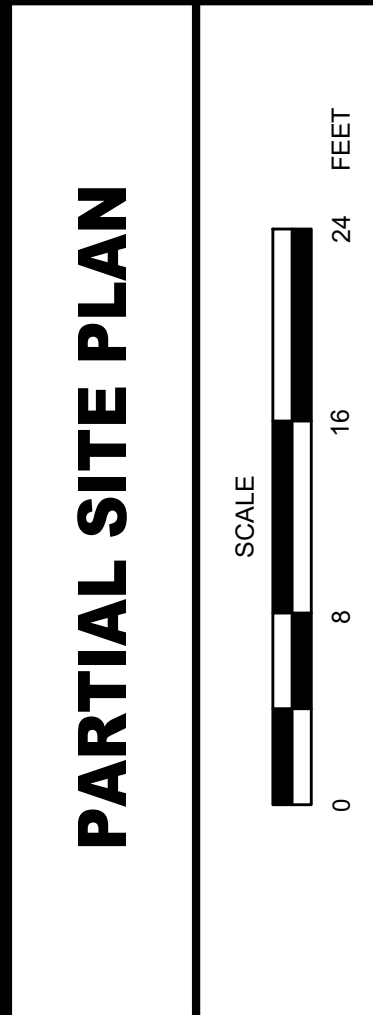
6 PROPOSED WALL & STEPS
 SCALE: 1/4"=1'-0"



9 PROPOSED FENCE
 SCALE: 1/4"=1'-0"



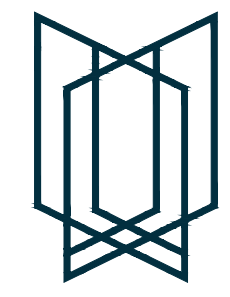
12 PROPOSED ARBOR
 SCALE: 1/4"=1'-0"



DATE: 05/30/2024
 DRAWN BY: HL
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A0.4

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**NEW GARAGE & HARDSCAPE FOR:
 THE BUGATTO RESIDENCE**
 331 PALM AVENUE
 KENTFIELD, CA 94904

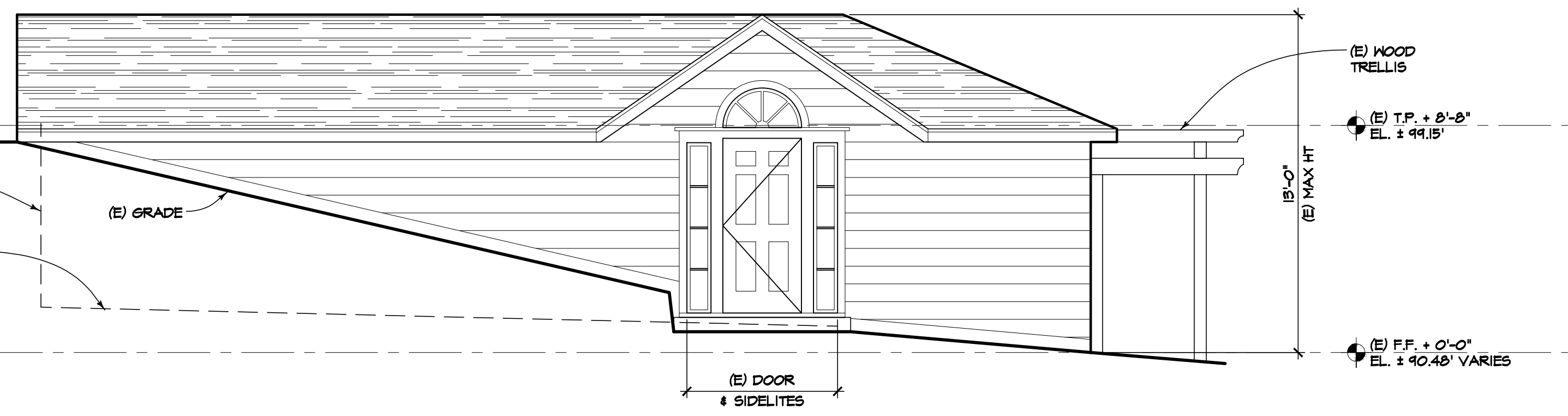
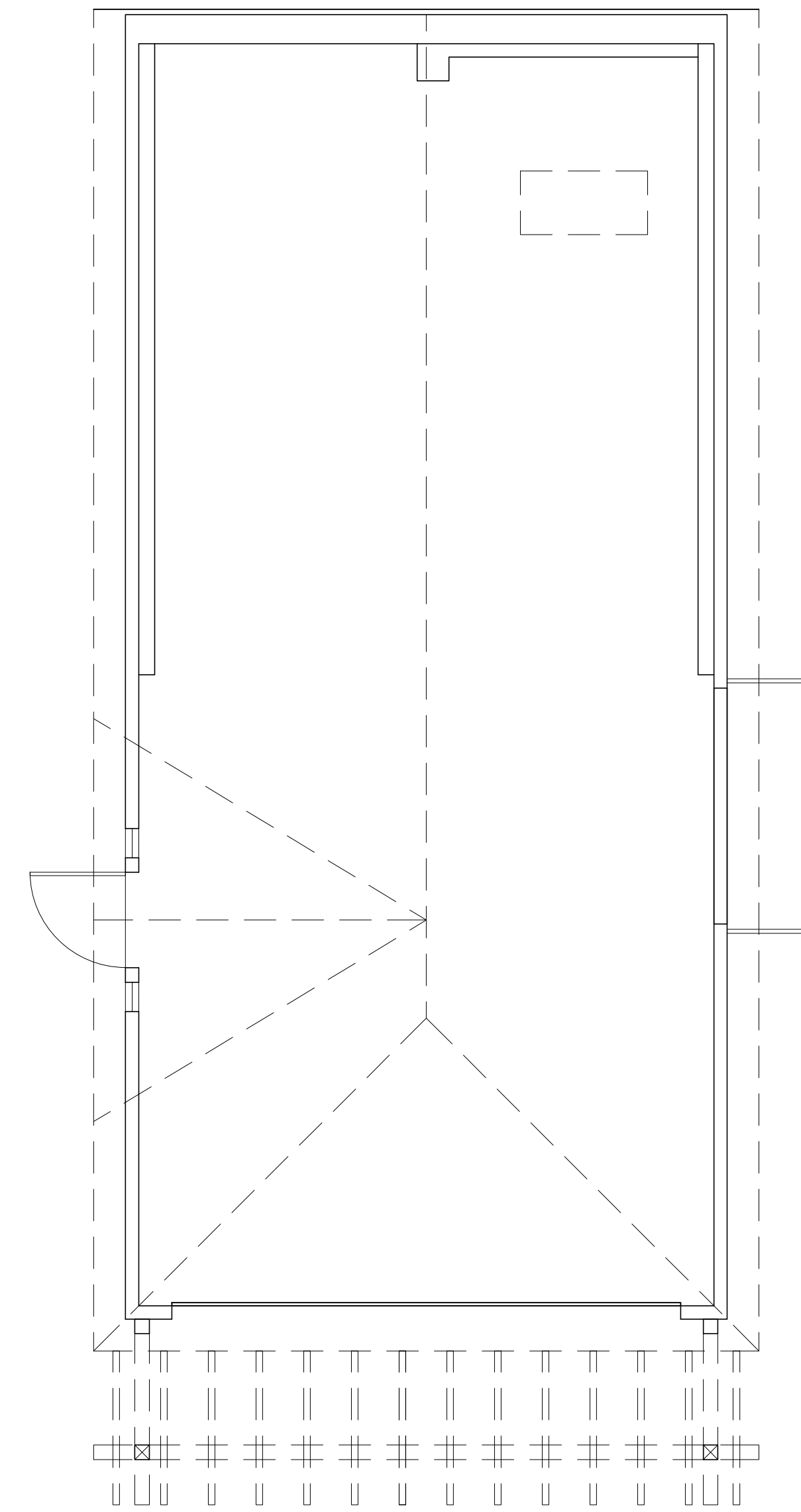
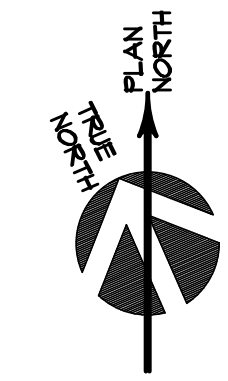


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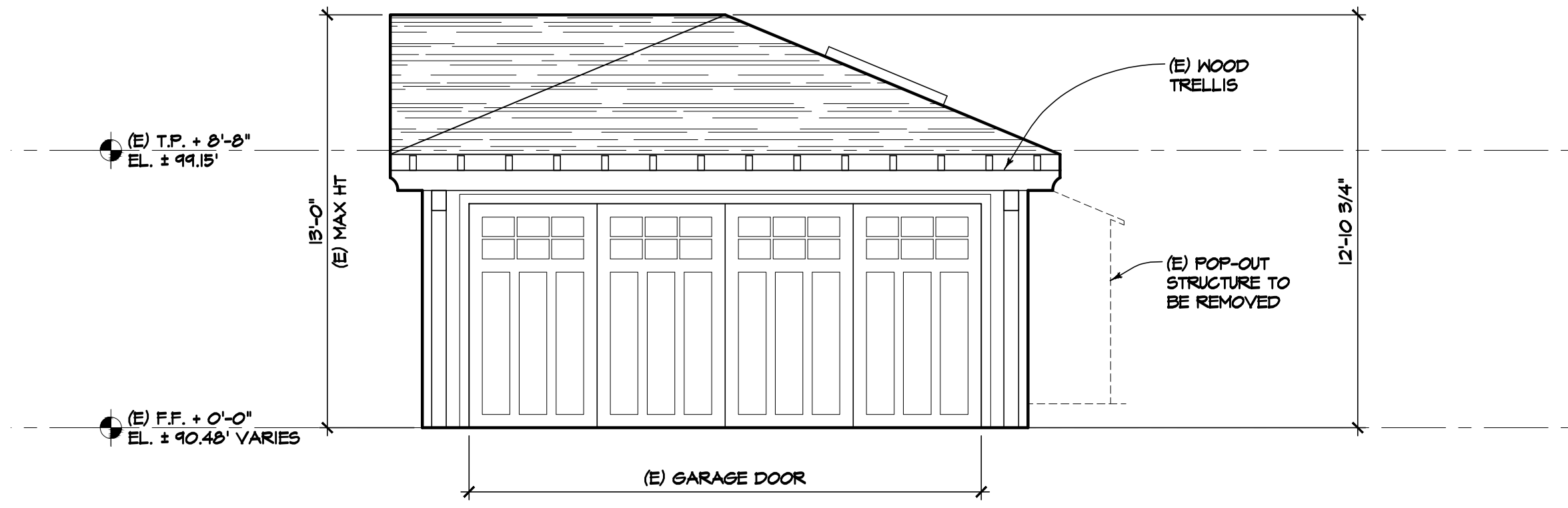
EXISTING GARAGE TO BE DEMOLISHED

DATE: 05/30/2024
 DRAWN BY: HL
 JOB#: 2315

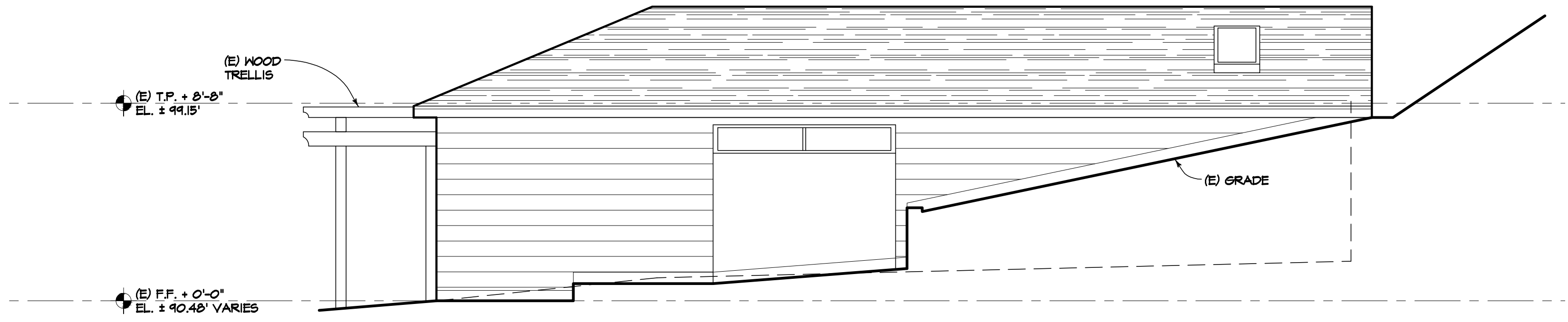
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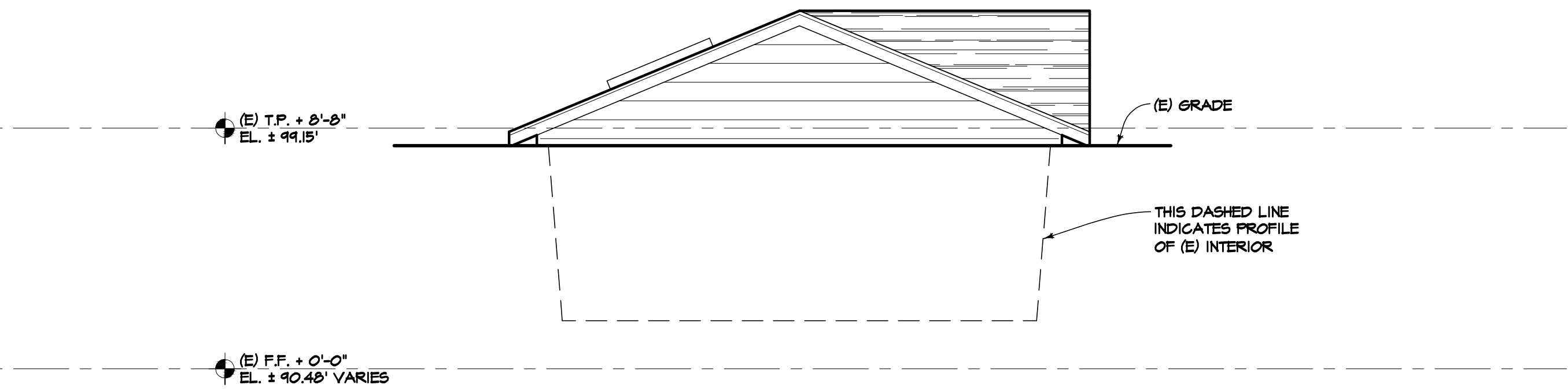
EXISTING WEST ELEVATION
 SCALE: 1/4"=1'-0"



EXISTING SOUTH ELEVATION
 SCALE: 1/4"=1'-0"



EXISTING EAST ELEVATION
 SCALE: 1/4"=1'-0"



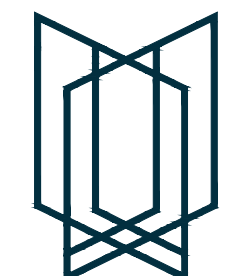
EXISTING NORTH ELEVATION
 SCALE: 1/4"=1'-0"

EXISTING FLOOR PLAN
 SCALE: 1/4"=1'-0"

WINDOW SCHEDULE					
Count	Tag	Nominal Frame Size	Operation	Manufacturer / Series	Notes
1	A	2'-0" x 4'-0"	FIXED	VELUX FS D06 2004	
1	B	NOT USED			

DOOR SCHEDULE						
Count	Door No.	Nominal Door Size	Swing	Hardware	Material	Notes
1	1	8'-8" x 9'-0" DOOR UNIT w/ SIDE LITES & TRANSOM, 3'-0" x 7'-0" x 1-3/4" DOOR	LT HINGE	ENTRY LOCK, DEADBOLT	CLAD WD. FRAME w/ GLASS PANELS	
1	2	9'-0" x 8'-0" x 1-3/4"	ROLL-UP	SECTIONAL ROLL-UP BY MFR	PAINTED WD. FRAME & PANEL	CUSTOM LAYOUT
1	3	9'-0" x 8'-0" x 1-3/4"	ROLL-UP	SECTIONAL ROLL-UP BY MFR	PAINTED WD. FRAME & PANEL	CUSTOM LAYOUT
1	4	3'-0" x 7'-0" x 1-3/8"	LT. HINGE	PASSAGE w/ DEAD BOLT	PAINTED WD. FRAME & PANEL	
1	5	NOT USED				

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**NEW GARAGE & HARDSCAPE FOR:
 THE BUGATTO RESIDENCE**
 331 PALM AVENUE
 KENTFIELD, CA 94904



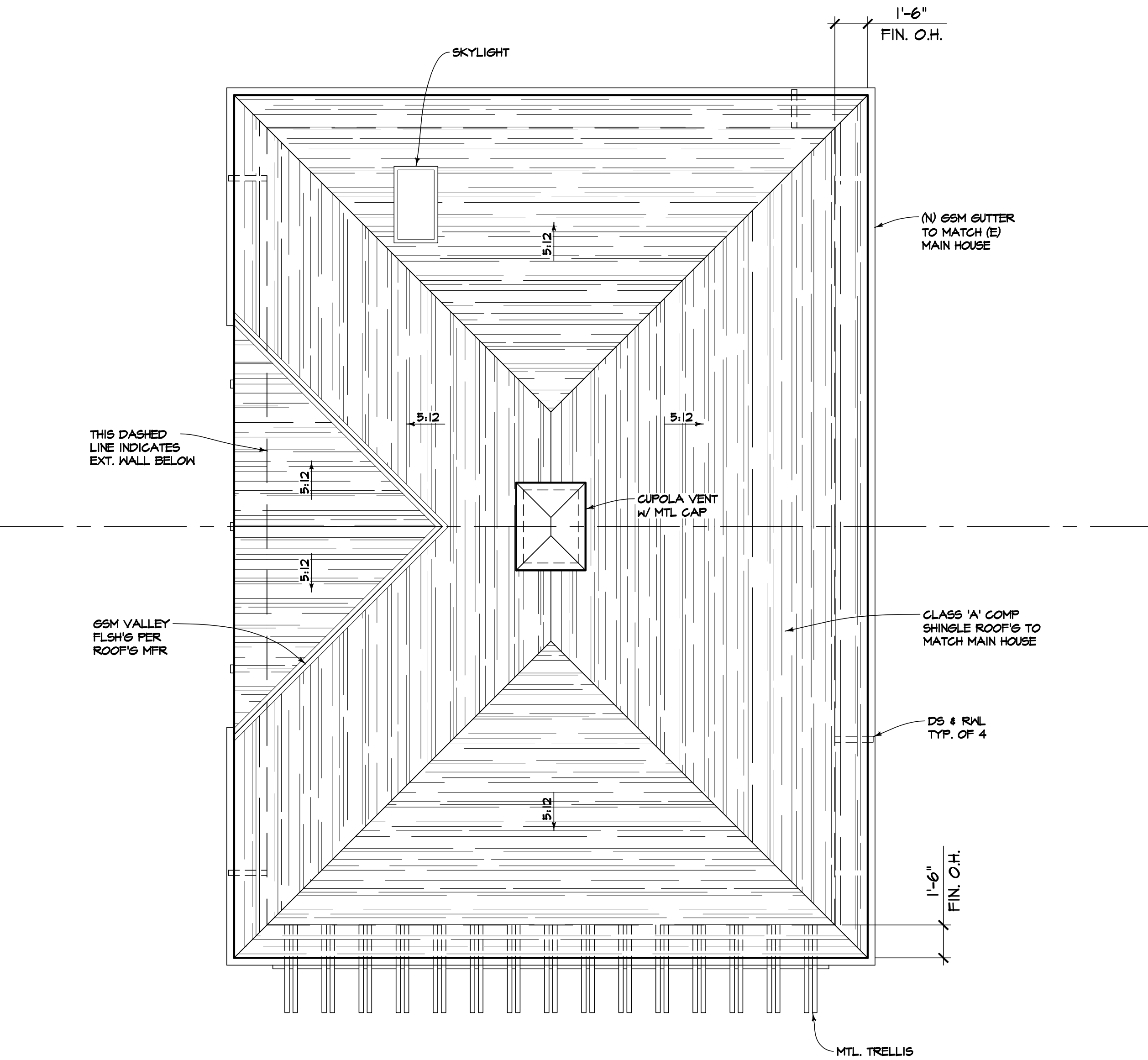
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PROPOSED FLOOR PLAN

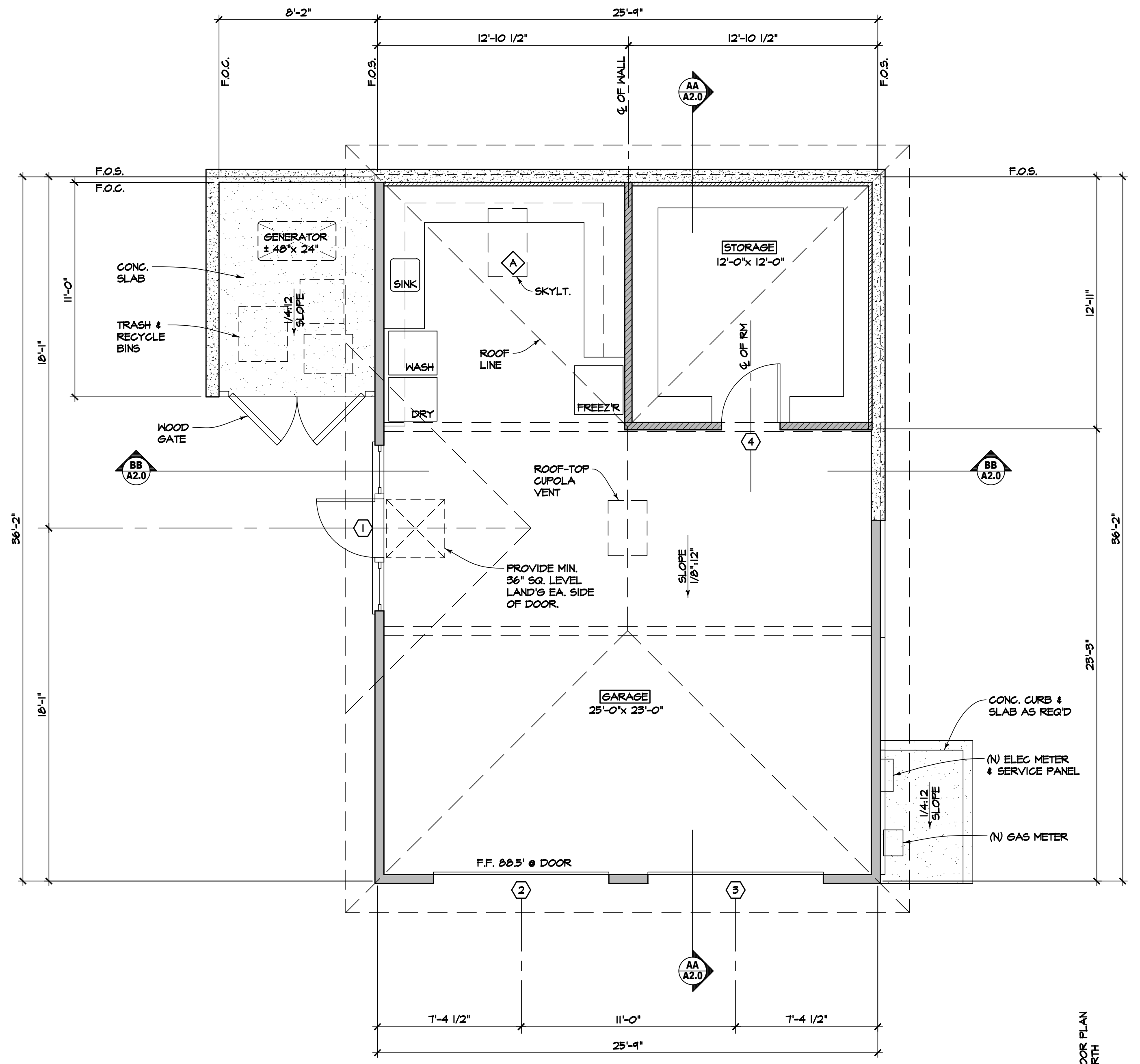
SCALE: 0 4 8 12 FEET

DATE: 05/30/2024
DRAWN BY: HL
JOB#: 2315

A1.1

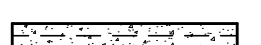

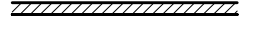


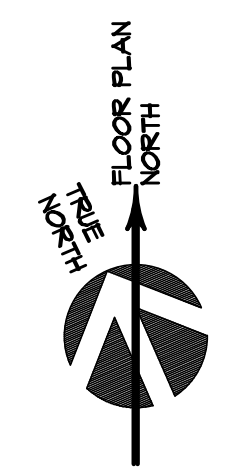
PROPOSED ROOF PLAN
SCALE: 1/4"=1'-0"



PROPOSED FLOOR PLAN
SCALE: 1/4"=1'-0"

WALL LEGEND

-  INDICATES (N) CONC. WALL W/ STACKED 2x4 WALL ABOVE ● GARAGE ENCLOSURE
-  INDICATES (N) 2x4 WALL
-  INDICATES (N) 2x FURRED WALL



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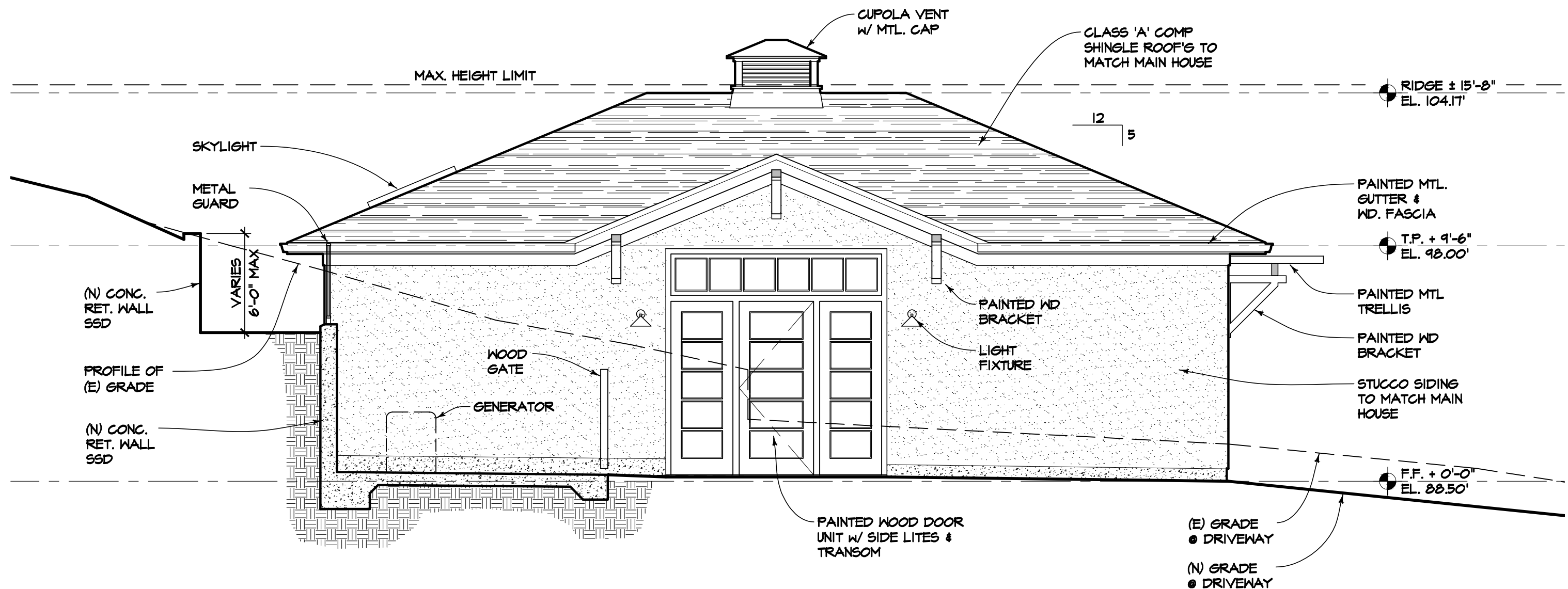


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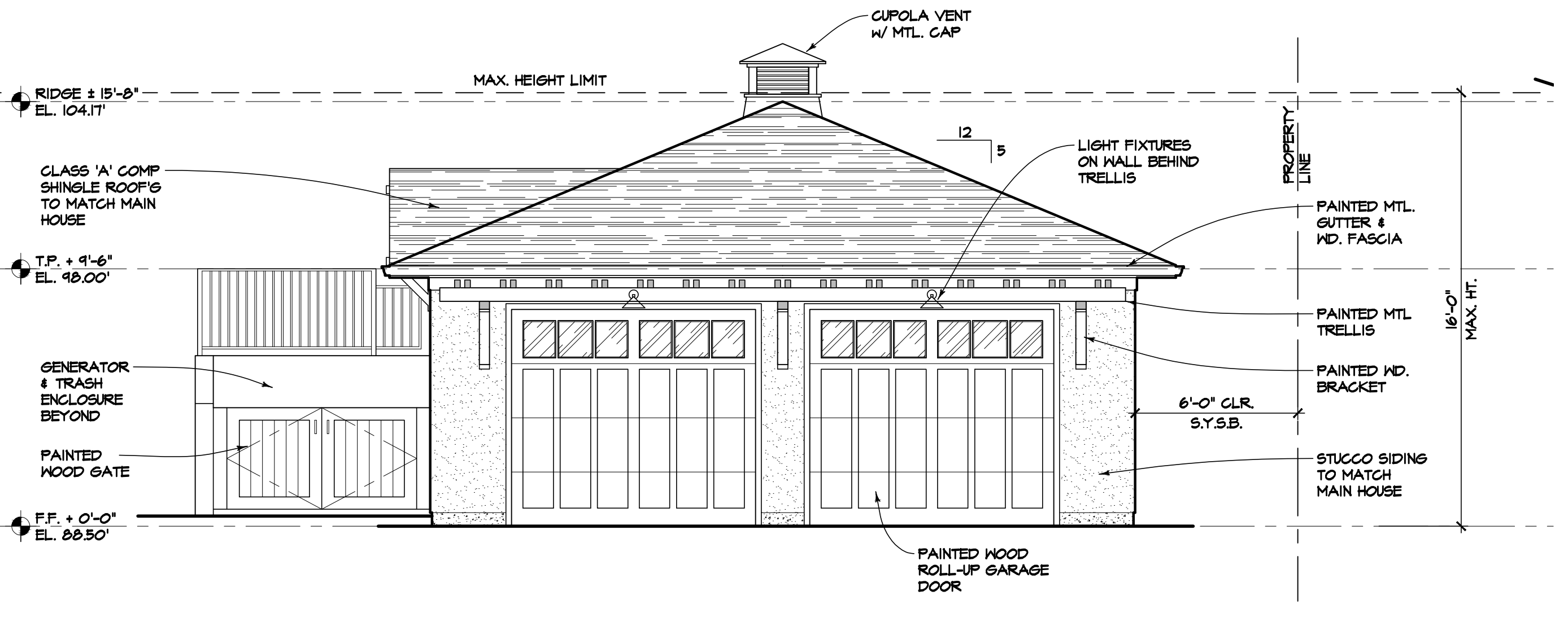
PROPOSED EXTERIOR ELEVATIONS

DATE: 05/30/2024
 DRAWN BY: HL
 JOB#: 2315

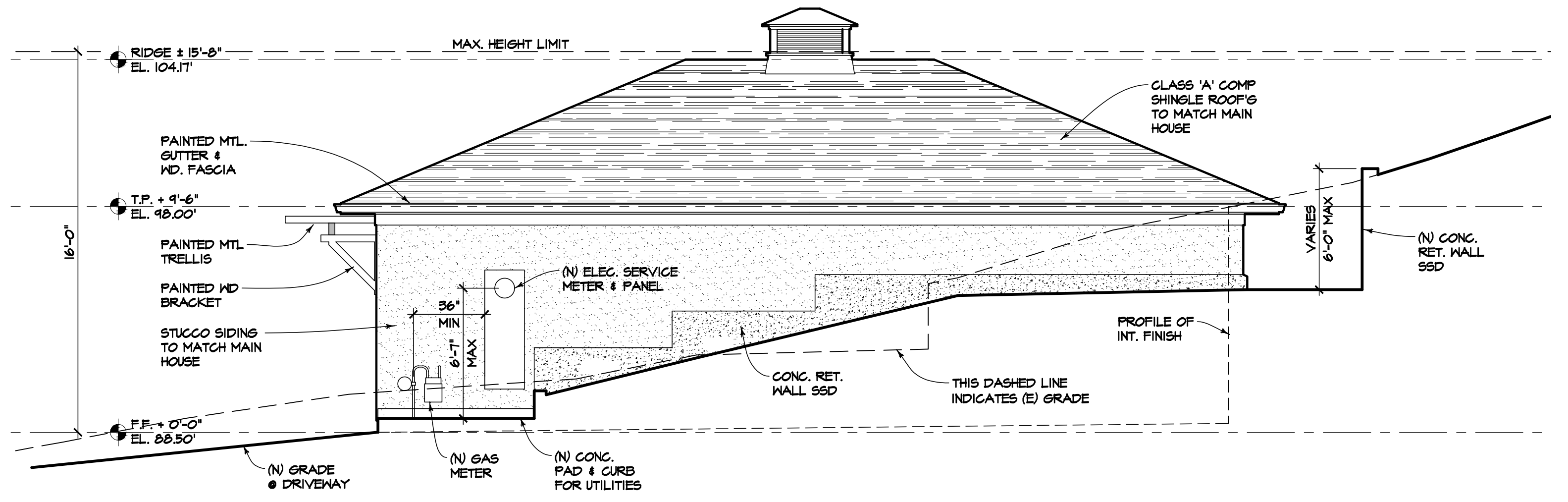
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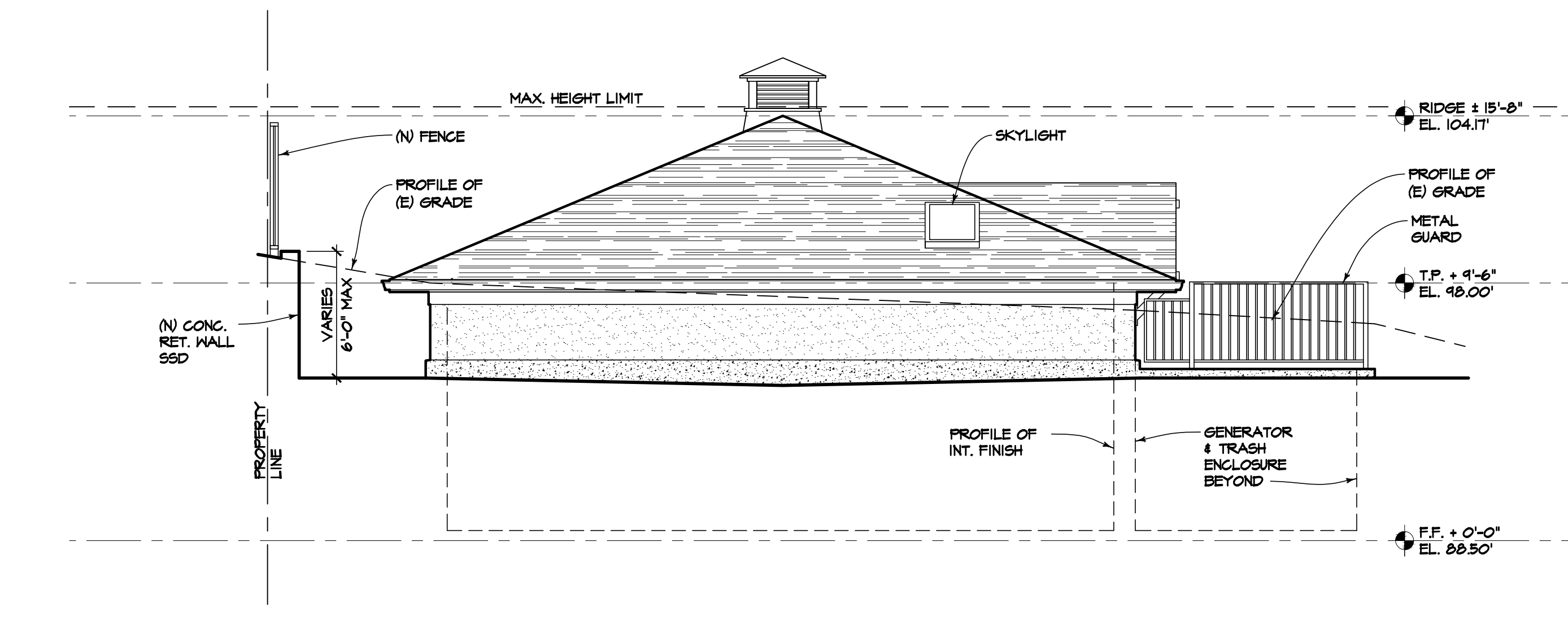
PROPOSED WEST ELEVATION
 SCALE: 1/4"=1'-0"



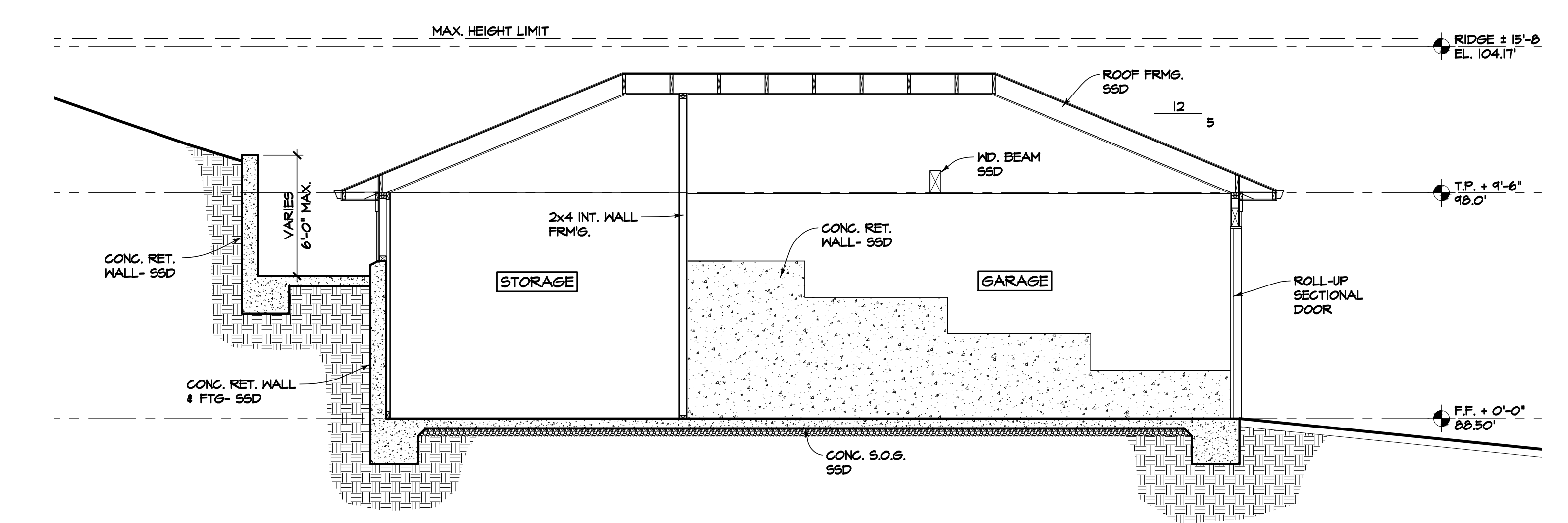
PROPOSED SOUTH ELEVATION
 SCALE: 1/4"=1'-0"



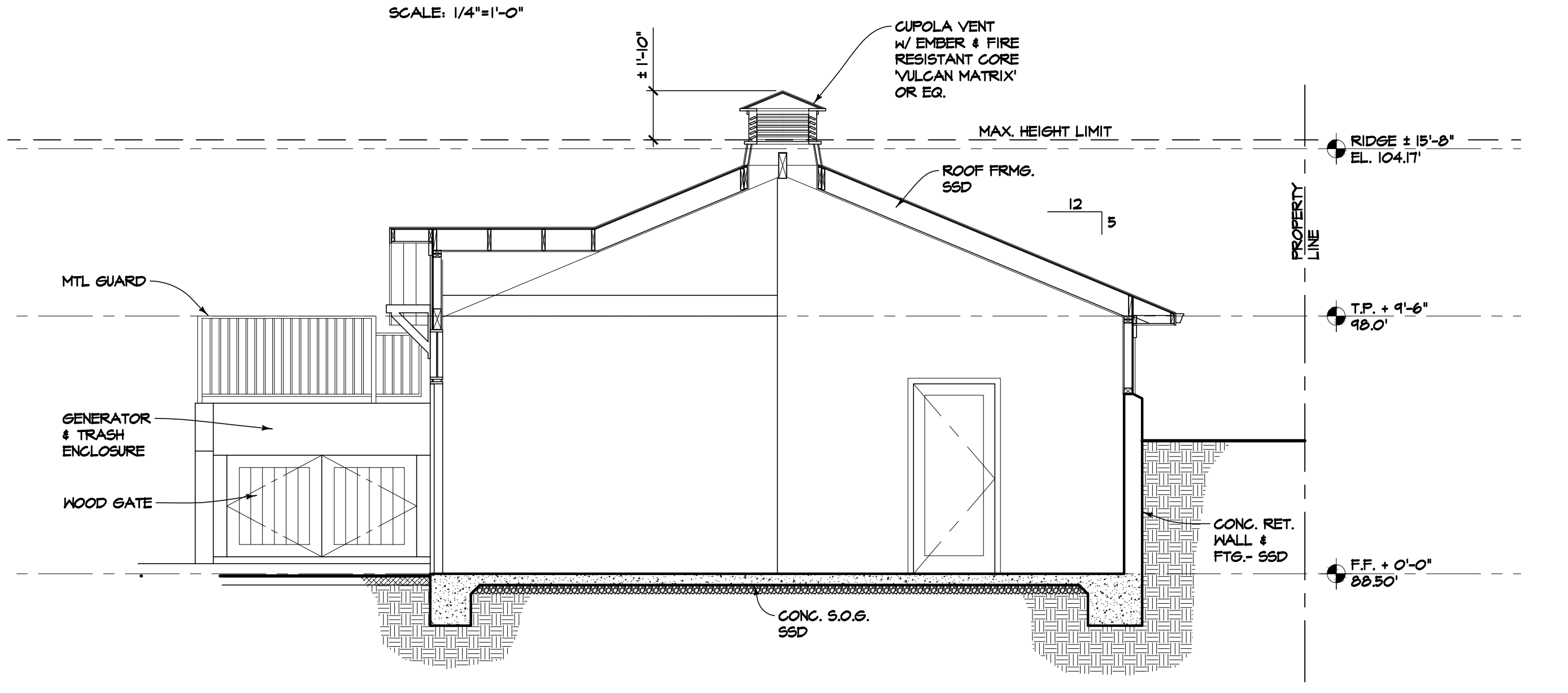
PROPOSED EAST ELEVATION
 SCALE: 1/4"=1'-0"



PROPOSED NORTH ELEVATION
 SCALE: 1/4"=1'-0"



BUILDING SECTION AA
 SCALE: 1/4"=1'-0"



BUILDING SECTION BB
 SCALE: 1/4"=1'-0"

