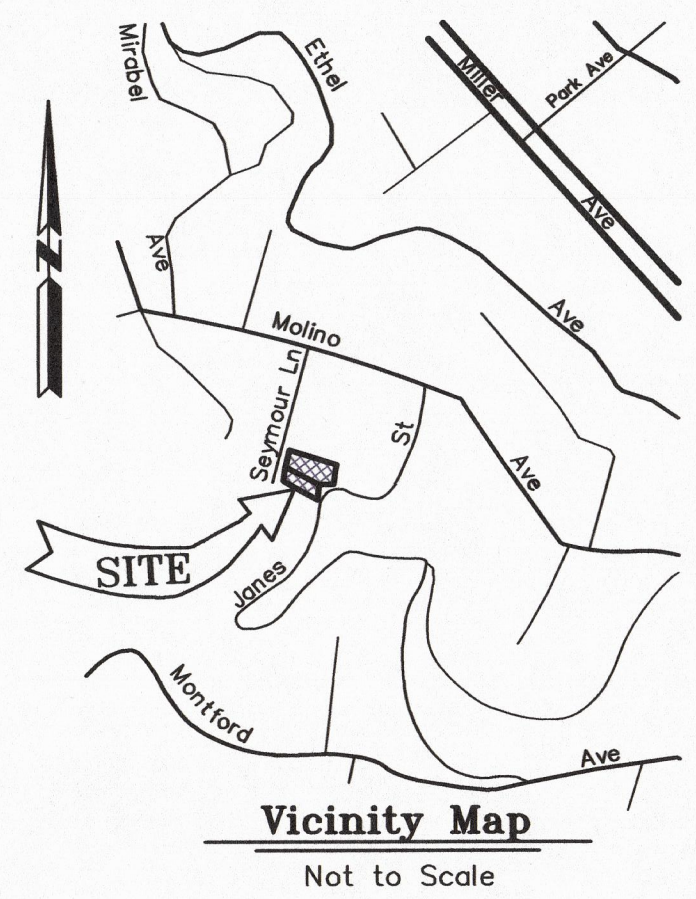
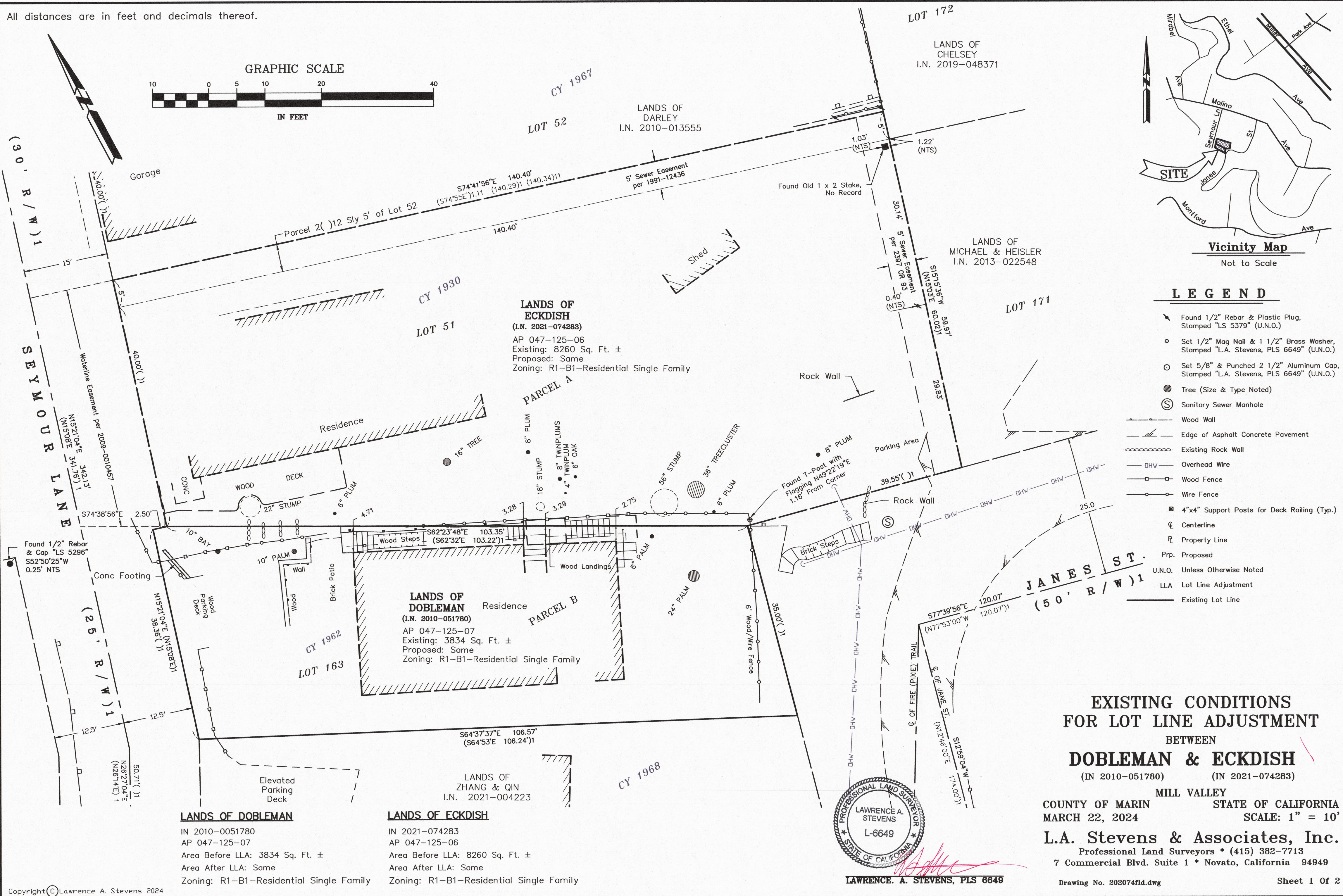
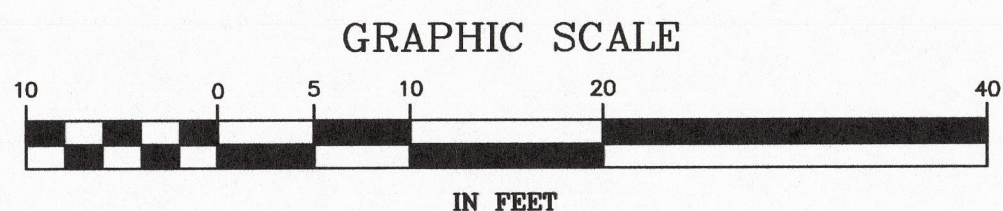


All distances are in feet and decimals thereof.

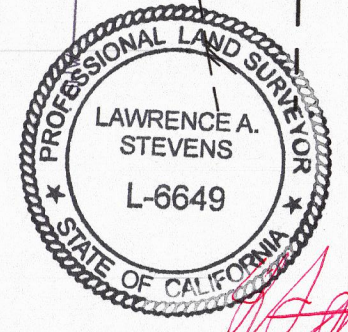


LEGEND

- Found 1/2" Rebar & Plastic Plug, Stamped "LS 5379" (U.N.O.)
- Set 1/2" Mag Nail & 1 1/2" Brass Washer, Stamped "L.A. Stevens, PLS 6649" (U.N.O.)
- Set 5/8" & Punched 2 1/2" Aluminum Cap, Stamped "L.A. Stevens, PLS 6649" (U.N.O.)
- Tree (Size & Type Noted)
- Sanitary Sewer Manhole
- Wood Wall
- Edge of Asphalt Concrete Pavement
- Existing Rock Wall
- DHW Overhead Wire
- Wood Fence
- Wire Fence
- 4"x4" Support Posts for Deck Railing (Typ.)
- Centerline
- Property Line
- Prop. Proposed
- U.N.O. Unless Otherwise Noted
- LLA Lot Line Adjustment
- Existing Lot Line

EXISTING CONDITIONS FOR LOT LINE ADJUSTMENT BETWEEN DOBLEMAN & ECKDISH

MILL VALLEY STATE OF CALIFORNIA
 COUNTY OF MARIN MARCH 22, 2024 SCALE: 1" = 10'
L.A. Stevens & Associates, Inc.
 Professional Land Surveyors * (415) 382-7713
 7 Commercial Blvd. Suite 1 * Novato, California 94949



LAWRENCE A. STEVENS, PLS 6649

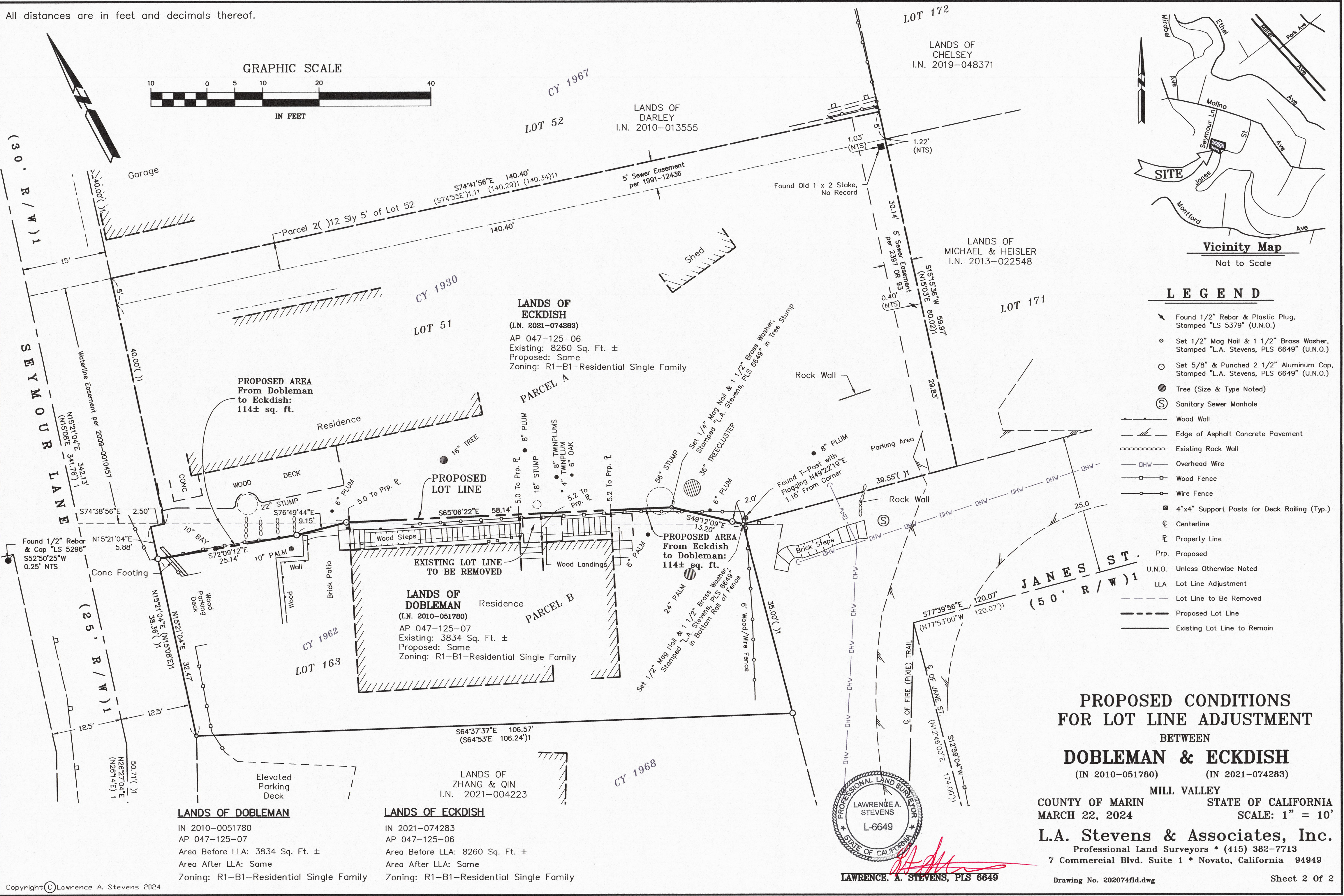
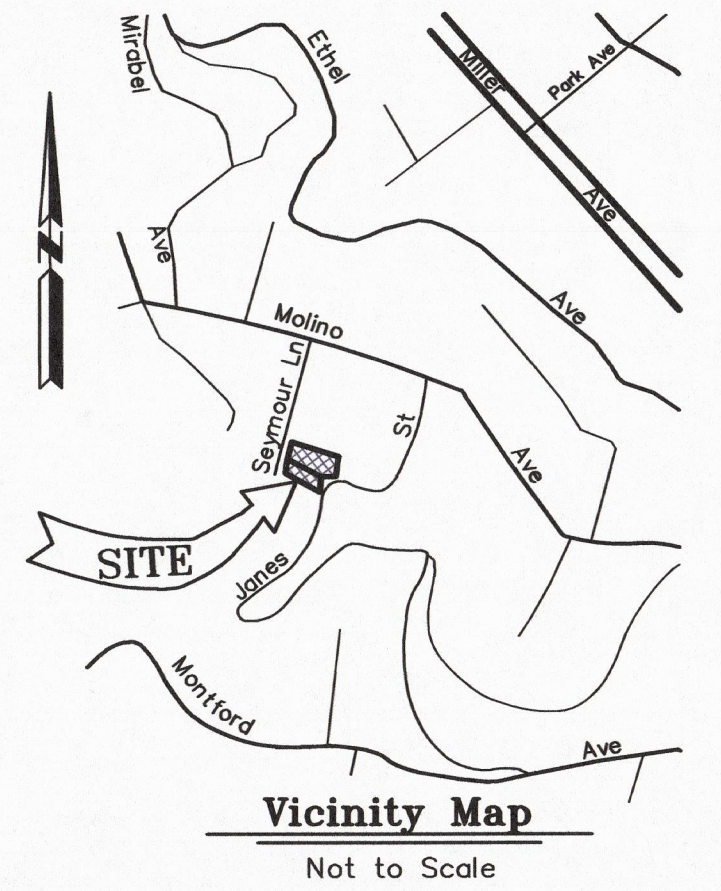
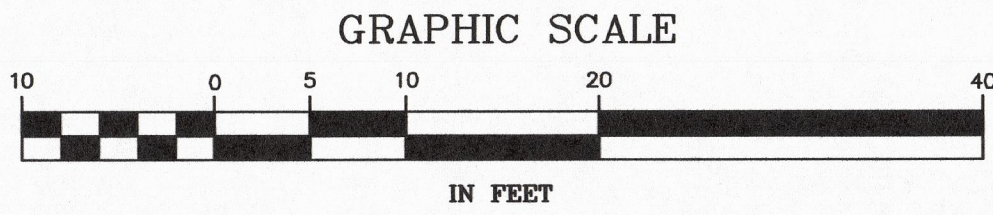
Drawing No. 202074fld.dwg

Sheet 1 Of 2

LANDS OF DOBLEMAN
 IN 2010-0051780
 AP 047-125-07
 Area Before LLA: 3834 Sq. Ft. ±
 Area After LLA: Same
 Zoning: R1-B1-Residential Single Family

LANDS OF ECKDISH
 IN 2021-074283
 AP 047-125-06
 Area Before LLA: 8260 Sq. Ft. ±
 Area After LLA: Same
 Zoning: R1-B1-Residential Single Family

All distances are in feet and decimals thereof.



LEGEND

- Found 1/2" Rebar & Plastic Plug, Stamped "LS 5379" (U.N.O.)
- Set 1/2" Mag Nail & 1 1/2" Brass Washer, Stamped "L.A. Stevens, PLS 6649" (U.N.O.)
- Set 5/8" & Punched 2 1/2" Aluminum Cap, Stamped "L.A. Stevens, PLS 6649" (U.N.O.)
- Tree (Size & Type Noted)
- Sanitary Sewer Manhole
- Wood Wall
- Edge of Asphalt Concrete Pavement
- Existing Rock Wall
- Overhead Wire
- Wood Fence
- Wire Fence
- 4"x4" Support Posts for Deck Railing (Typ.)
- Centerline
- Property Line
- Prp. Proposed
- U.N.O. Unless Otherwise Noted
- LLA Lot Line Adjustment
- Lot Line to Be Removed
- Proposed Lot Line
- Existing Lot Line to Remain

PROPOSED CONDITIONS FOR LOT LINE ADJUSTMENT

BETWEEN **DOBLEMAN & ECKDISH**

(IN 2010-051780) (IN 2021-074283)

MILL VALLEY

COUNTY OF MARIN STATE OF CALIFORNIA
MARCH 22, 2024 SCALE: 1" = 10'

L.A. Stevens & Associates, Inc.
Professional Land Surveyors * (415) 382-7713
7 Commercial Blvd. Suite 1 * Novato, California 94949



LAWRENCE A. STEVENS, PLS 6649

Drawing No. 202074fld.dwg

Sheet 2 Of 2

LANDS OF DOBLEMAN
IN 2010-0051780
AP 047-125-07
Area Before LLA: 3834 Sq. Ft. ±
Area After LLA: Same
Zoning: R1-B1-Residential Single Family

LANDS OF ECKDISH
IN 2021-074283
AP 047-125-06
Area Before LLA: 8260 Sq. Ft. ±
Area After LLA: Same
Zoning: R1-B1-Residential Single Family

LANDS OF ECKDISH
(I.N. 2021-074283)
AP 047-125-06
Existing: 8260 Sq. Ft. ±
Proposed: Same
Zoning: R1-B1-Residential Single Family

LANDS OF DOBLEMAN
(I.N. 2010-051780)
AP 047-125-07
Existing: 3834 Sq. Ft. ±
Proposed: Same
Zoning: R1-B1-Residential Single Family