

PROJECT DATA:

PROJECT NAME: INFILL UNDER EXISTNG DECK

ADDRESS: 891 MARIN DRIVE
MILL VALLEY, CA 94941

APN: 049-227-55 2 STORIES ABOVE GROUND 0 BASEMENTS(S)

LOT AREA: 21,130

YEAR BUILT: 2002

(E)OCCUPANCY: R3

(E)CONSTRUCTION TYPE: VB

ZONING DISTRICT:

SCOPE OF WORK:

- FIRST FLOOR: NEW WINE CELLAR AND POWDER ROOM UNDER EXISTING BALCONY...
SECOND FLOOR: NO WORK AT THIS LEVEL

PROJECT TEAM:

CLIENT: DAVID A. GRATES, TRUSTEE OF THE DAVID A. GATES LIVING TRUST...
ARCHITECT/ENGINEER: JEFFERSON CHEN, PE ENERTIA DESIGNS

ARCHITECT/ENGINEER: JEFFERSON CHEN, PE ENERTIA DESIGNS 1167 MISSION STREET SAN FRANCISCO, CA 94103

Table with 3 columns: LEVEL, EXISTING, PROPOSED. Rows for FIRST and SECOND levels showing square footage.

ABBREVIATION

Table mapping abbreviations to full names for materials and construction elements like ADJ. ADJACENT, CLG. CEILING, CAB. CABINET, etc.

LEGEND:

Table defining symbols for wall types, electrical symbols, section keys, and window/door numbers.

DATA TABLE

891 MARIN DRIVE, MILL VALLEY CA, 94941
APN: 049-227-55
LOT AREA: 21,130
BUILDING 1ST FL SQ FT: (E) 2,745 (P) 2,887

Table for IMPERVIOUS SURFACE AREAS showing existing and proposed areas and percentages.

Table for RATIO (FAR) showing gross building, detached building, and total areas relative to lot area.

CODE REQUIREMENTS:

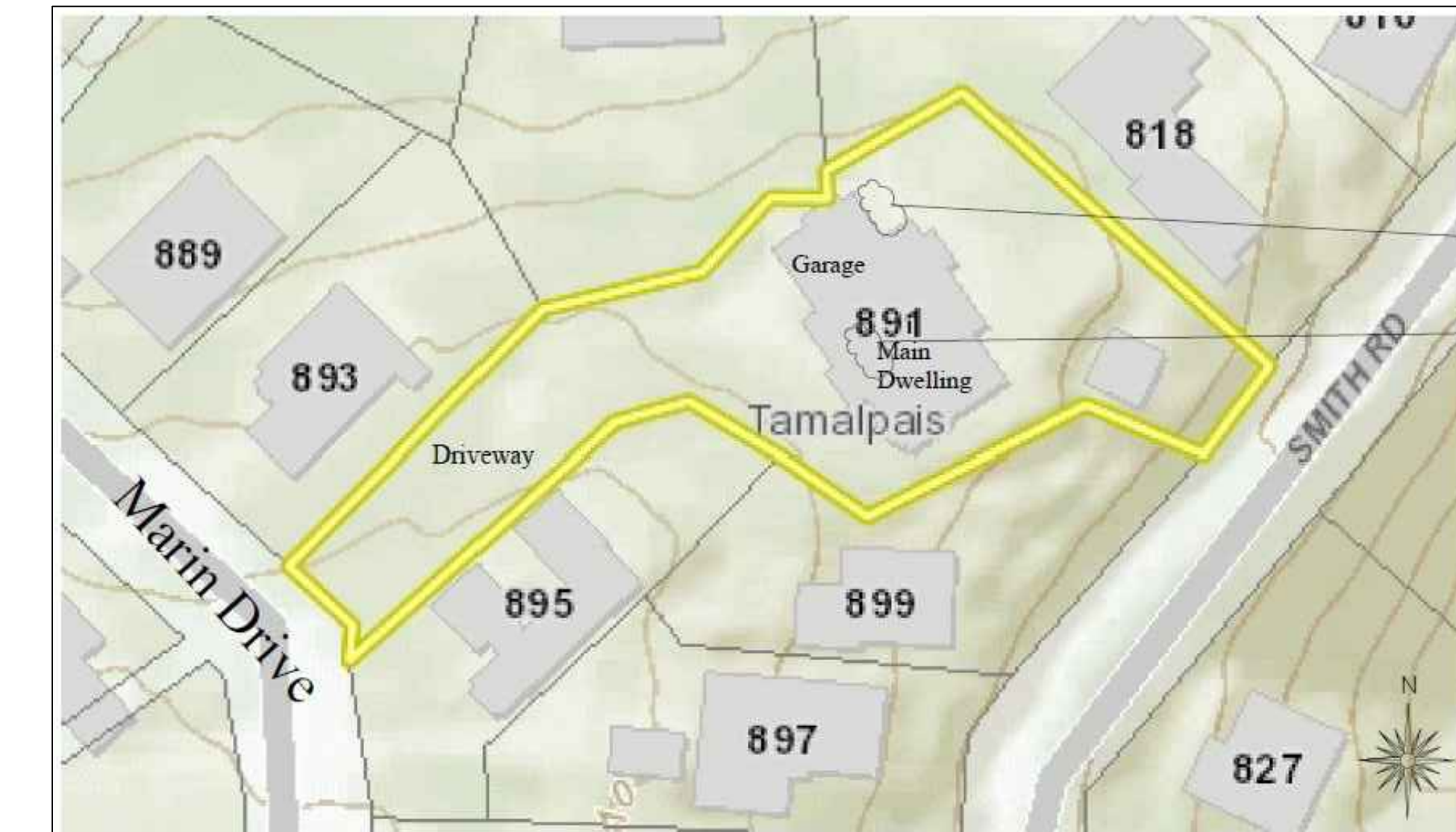
- 2022 California Building Code
2022 California Residential Building Code
2022 California Mechanical Code
2022 California Plumbing Code
2022 California Electrical Code
2022 California Energy Efficiency Standards
2022 California Fire Code
2022 California Green Building Standards Code

DRAWING INDEX:

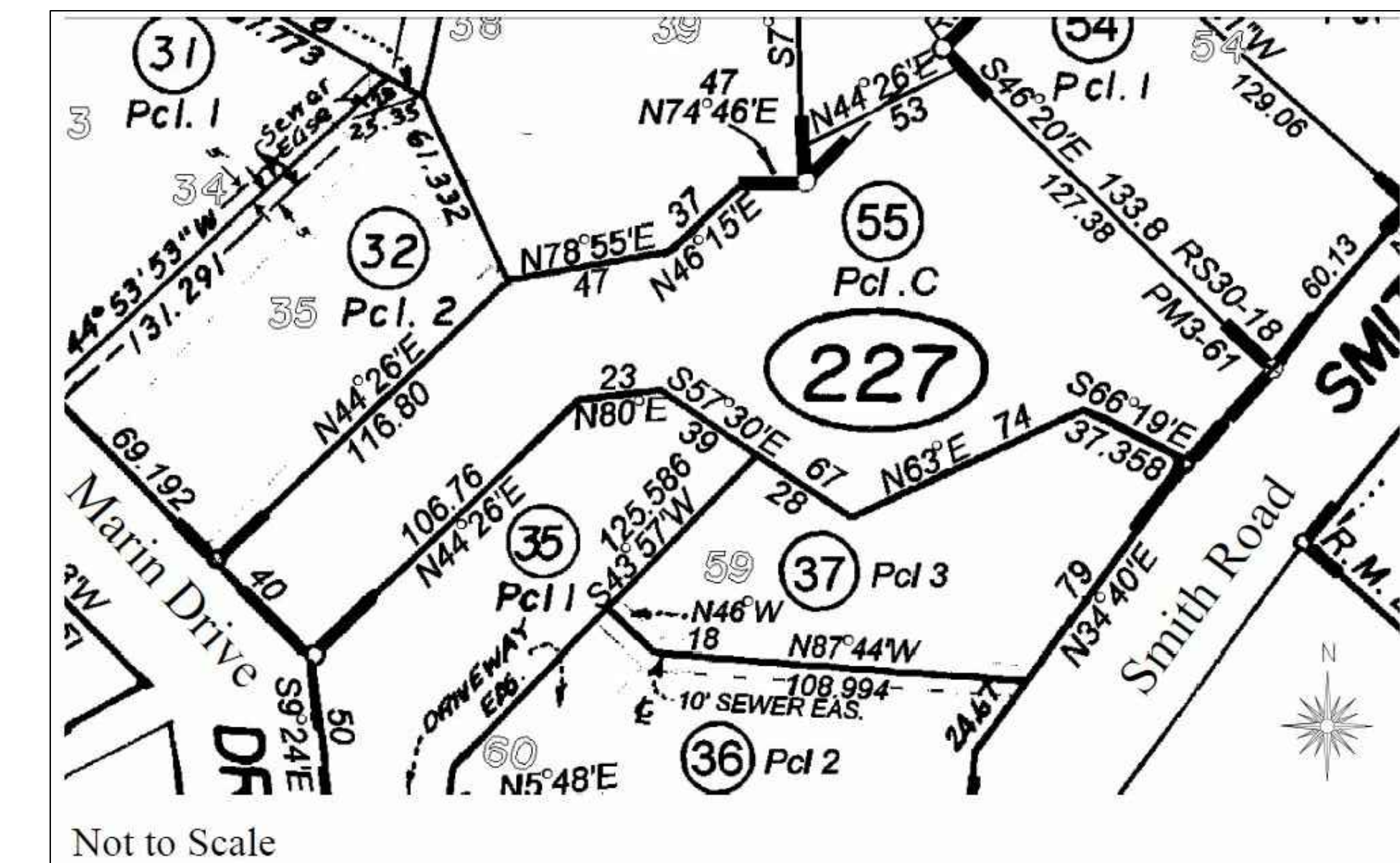
- A1.0: COVER SHEET, GENERAL NOTES, DRAWING INDEX
A2.0: EXISTING SITE PLAN
A2.1: EXISTING SITE PLAN
A3.0: EXISTING FIRST FLOOR PLAN
A4.0: EXISTING EXTERIOR ELEVATIONS
A5.0: EXISTING EXTERIOR ELEVATIONS
A6.0: CERTIFICATE OF COMPLIANCE

GENERAL NOTES

- 1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH CONDITIONS AT THE JOB SITE BEFORE PROCEEDING WITH ANY WORK.
2. DO NOT SCALE THE DRAWINGS. LOCATE ONLY BY WRITTEN DIMENSION OR WRITTEN CLARIFICATION.
3. ANY ERRORS, OMISSIONS, OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT...

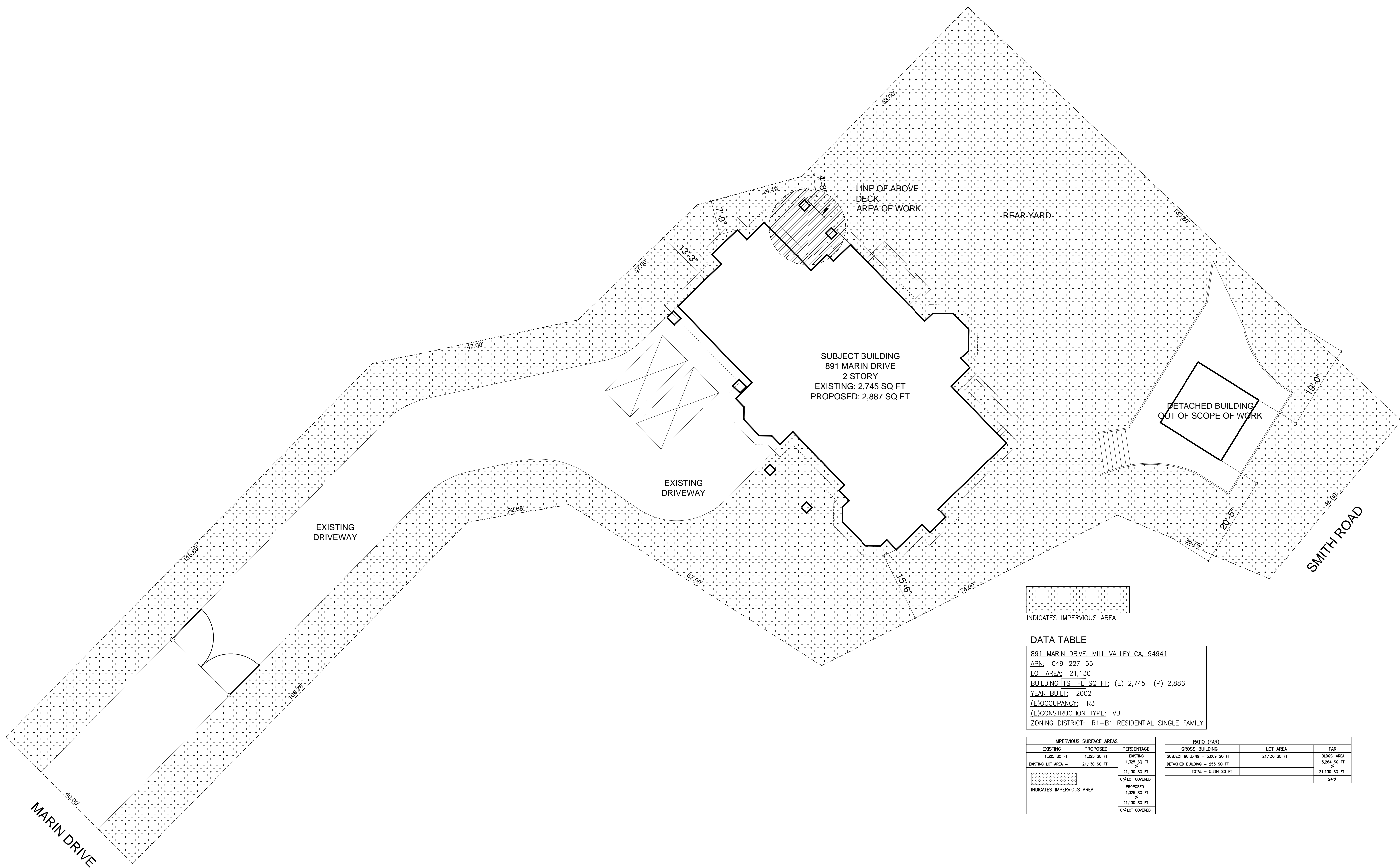


Not to Scale
LOCATION MAP
NO SCALE



Not to Scale
ASSESSORS MAP
NO SCALE

Vertical sidebar containing project title 'INFILL UNDER EXISTING DECK', drawing title 'COVER SHEET, SITE PLAN, GENERAL NOTES, DRAWING INDEX', sheet number 'A1.0', and contact information for ENERTIA DESIGNS.



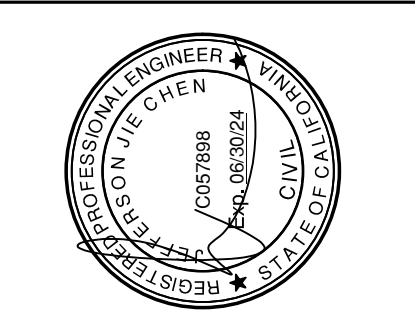
DATA TABLE
 891 MARIN DRIVE, MILL VALLEY CA, 94941
 APN: 049-227-55
 LOT AREA: 21,130
 BUILDING [IST FT] SQ FT: (E) 2,745 (P) 2,886
 YEAR BUILT: 2002
 (E) OCCUPANCY: R3
 (E) CONSTRUCTION TYPE: VB
 ZONING DISTRICT: R1-B1 RESIDENTIAL SINGLE FAMILY

IMPERVIOUS SURFACE AREAS		
EXISTING	PROPOSED	PERCENTAGE
1,325 SQ FT	1,325 SQ FT	EXISTING
EXISTING LOT AREA =	21,130 SQ FT	1,325 SQ FT
		21,130 SQ FT
		6% LOT COVERED
		PROPOSED
		1,325 SQ FT
		21,130 SQ FT
		6% LOT COVERED

RATIO (FAR)		
GROSS BUILDING	LOT AREA	FAR
SUBJECT BUILDING = 5,009 SQ FT	21,130 SQ FT	BLDG. AREA
DETACHED BUILDING = 255 SQ FT		5,264 SQ FT
TOTAL = 5,264 SQ FT		21,130 SQ FT
		24%

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ENERTIA DESIGNS
 ARCHITECTURAL ENGINEERING & INTERIOR



DATE	REVISIONS
01/04/24	BLDG

EXISTING SITE PLAN

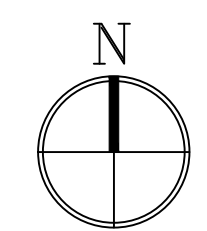
ELIZABETH TOSARIS
 891 MARIN DRIVE, MILL VALLEY CA 94941
 etosaris@yahoo.com
 650-269-3825

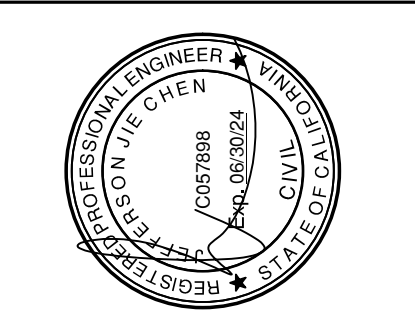
INFILL UNDER EXISTING DECK

891 MARIN DRIVE APN: 049-227-55
 MILL VALLEY, CA 94941

Date:	01/08/24
Scale:	AS SHOWN
Drawn By:	CA
Job No:	23542
Sheet	A2.0
Of	2 Sheets

EXISTING SITE PLAN
 SCALE: 3/32"=1'-0"
 ONLY FOR REFERENCE





DATE	REVISIONS
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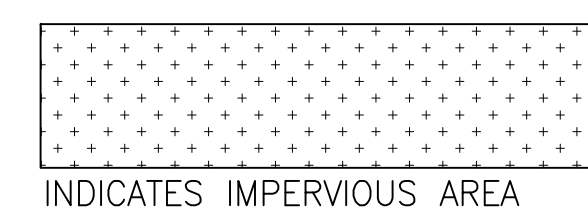
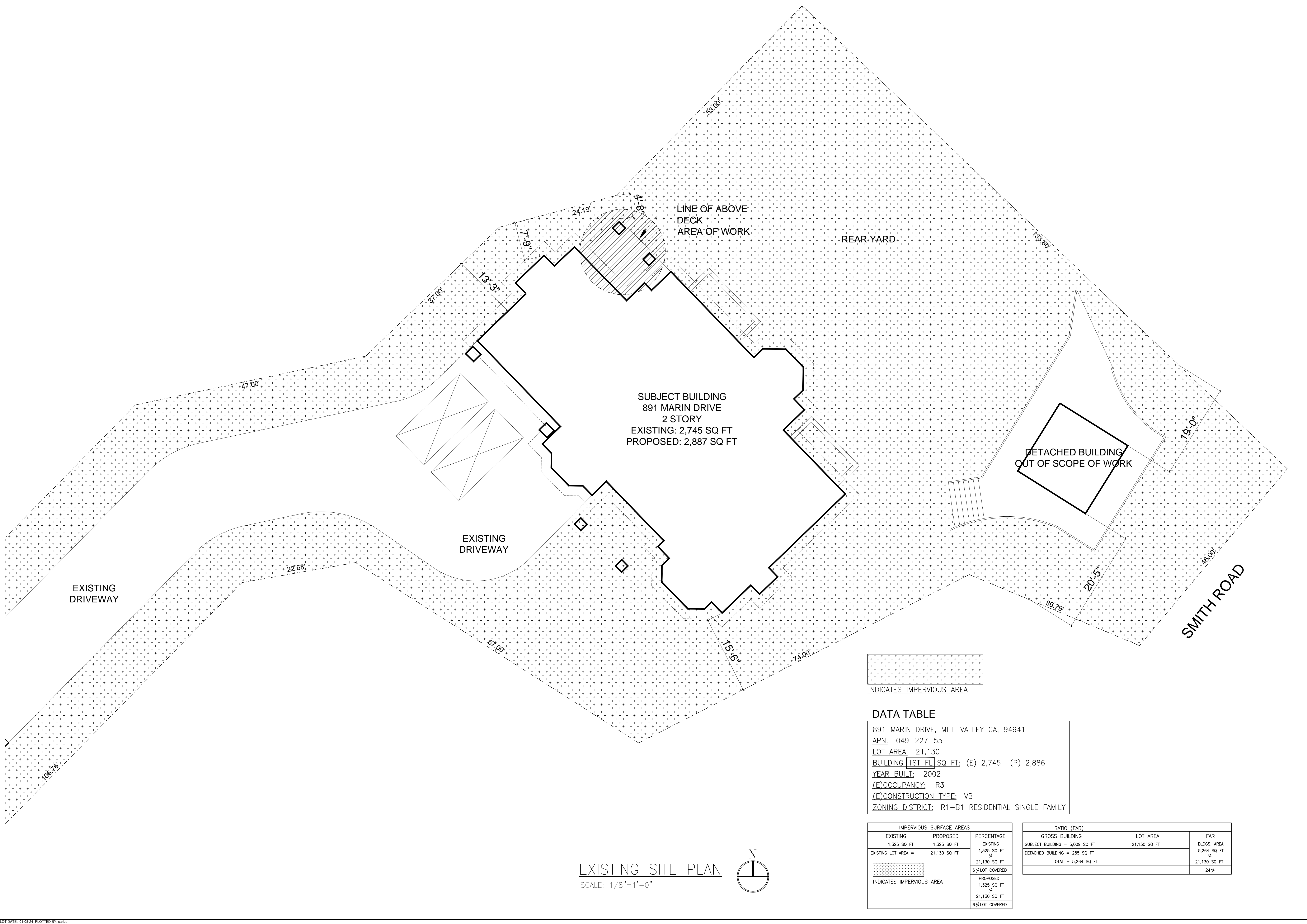
EXISTING SITE PLAN

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INFILL UNDER EXISTING DECK

891 MARIN DRIVE APN: 049-227-55
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Date: 01/08/24
 Scale: AS SHOWN
 Drawn By: CA
 Job No: 23542
 Sheet
A2.1
 Of 2 Sheets



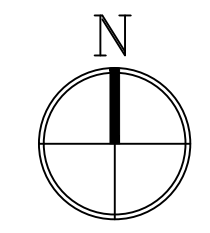
DATA TABLE

891 MARIN DRIVE, MILL VALLEY CA, 94941
 APN: 049-227-55
 LOT AREA: 21,130
 BUILDING [1ST FL] SQ FT: (E) 2,745 (P) 2,886
 YEAR BUILT: 2002
 (E) OCCUPANCY: R3
 (E) CONSTRUCTION TYPE: VB
 ZONING DISTRICT: R1-B1 RESIDENTIAL SINGLE FAMILY

IMPERVIOUS SURFACE AREAS		
EXISTING	PROPOSED	PERCENTAGE
1,325 SQ FT	1,325 SQ FT	EXISTING
		21,130 SQ FT
EXISTING LOT AREA =		6 1/4 LOT COVERED
		PROPOSED
	1,325 SQ FT	21,130 SQ FT
		6 1/4 LOT COVERED

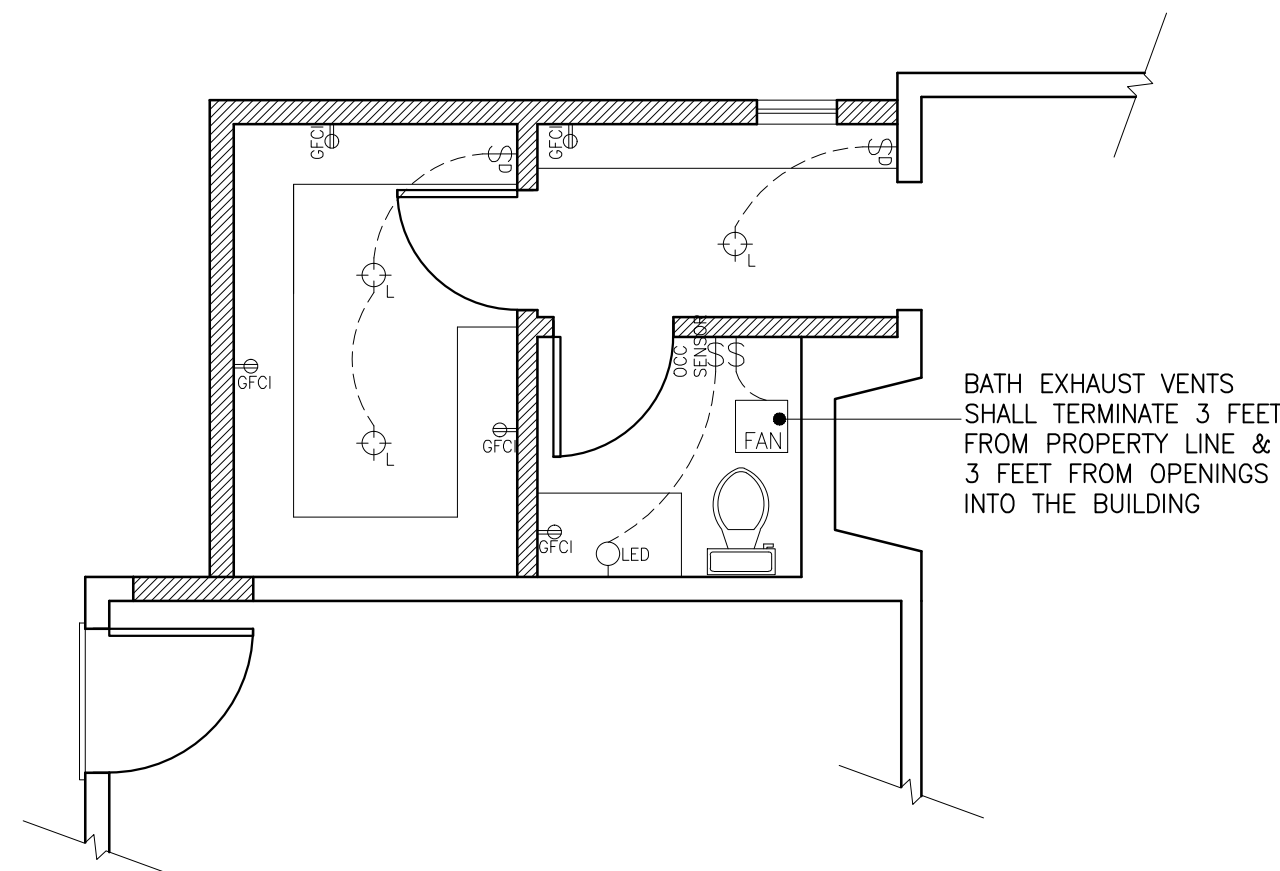
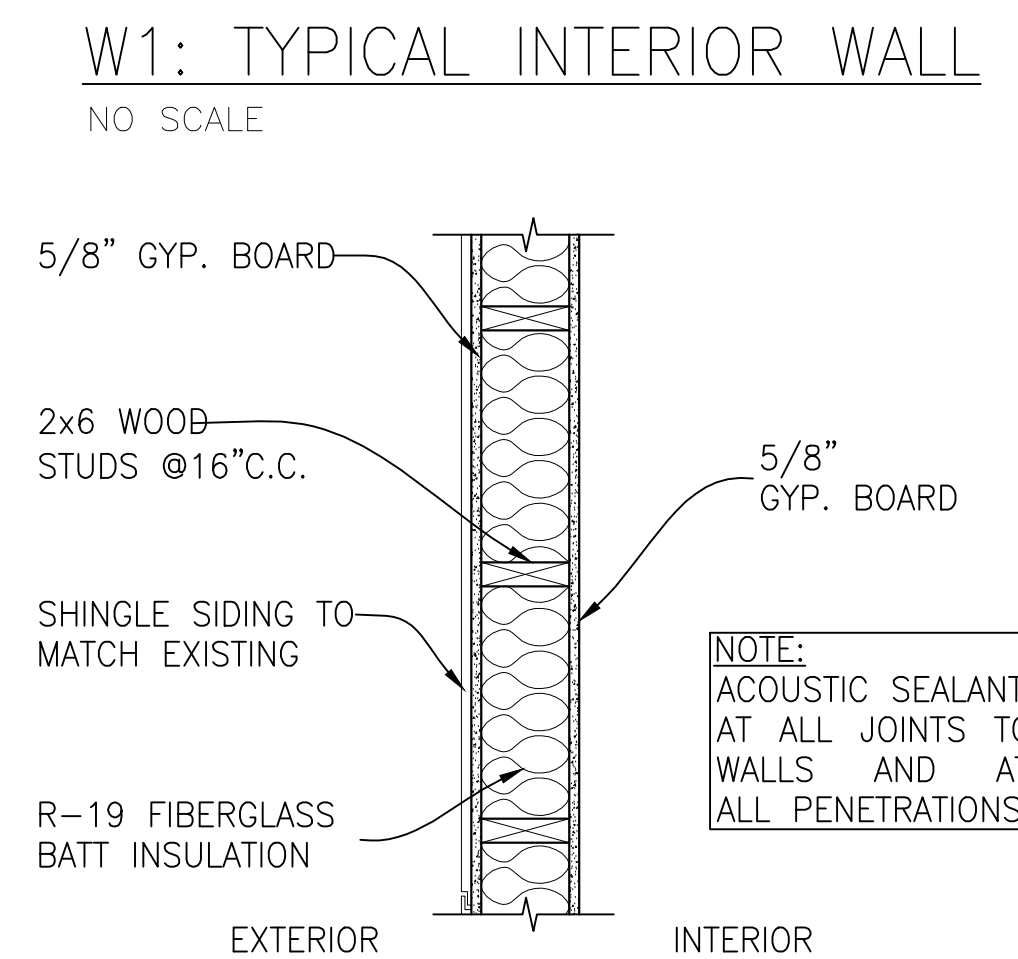
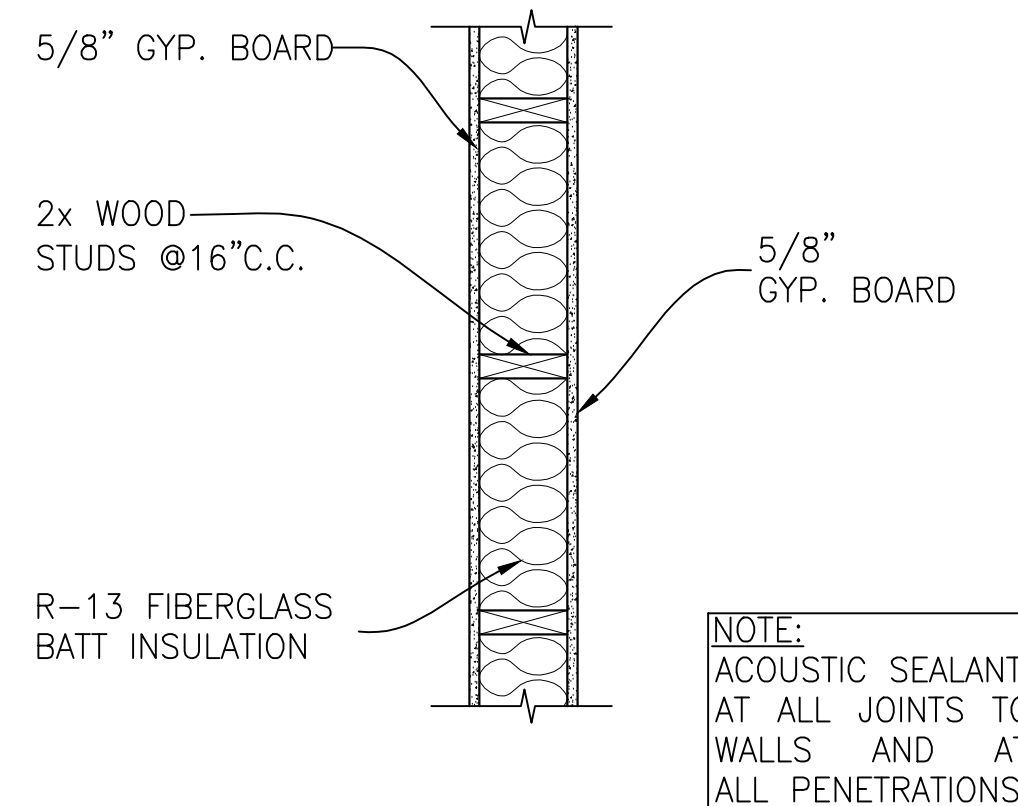
RATIO (FAR)		
GROSS BUILDING	LOT AREA	FAR
SUBJECT BUILDING = 5,009 SQ FT	21,130 SQ FT	BLDGS. AREA
		5,264 SQ FT
DETACHED BUILDING = 255 SQ FT		21,130 SQ FT
TOTAL = 5,264 SQ FT		24%

EXISTING SITE PLAN
 SCALE: 1/8"=1'-0"

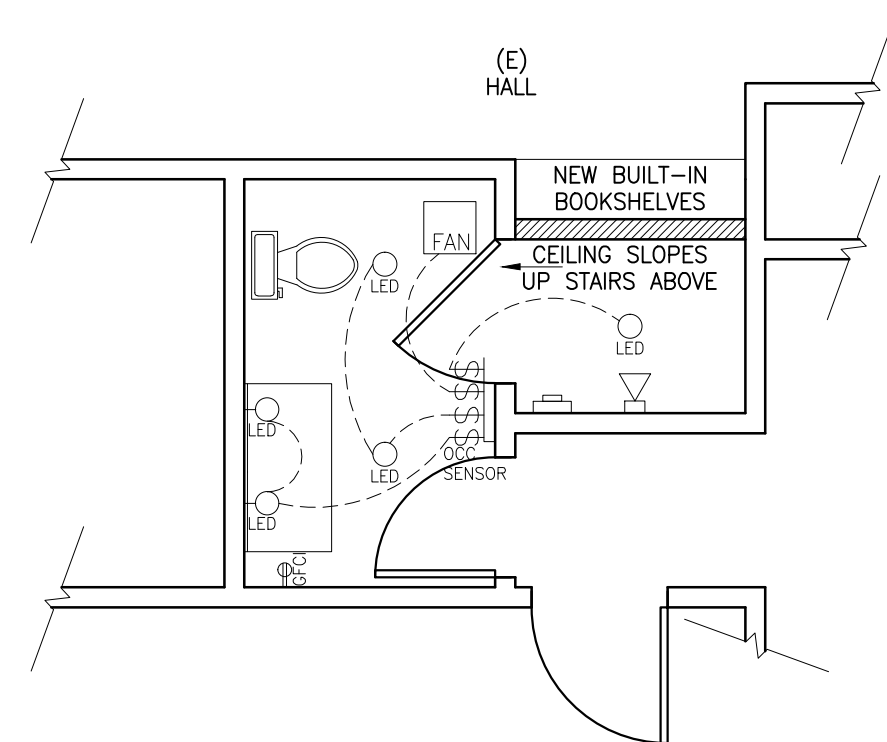


BATHROOM NOTES
LIGHTING
 A. ALL LIGHTING IN EACH BATHROOM SHALL BE HIGH EFFICACY (FLUORESCENT OR QUALITY LED PER TABLE 150.0-A). ALL JAB HIGH EFFICACY LIGHTING SHALL BE CONTROLLED BY DIMMER OR A MANUAL-ON VACANCY SENSOR. A MINIMUM OF ONE FIXTURE SHALL BE CONTROLLED BY A MANUAL-ON VACANCY SENSOR.
 B. RECESSED LUMINARIES IN INSULATION CEILING SHALL BE RATED AS ZERO CLEARANCE INSULATION COVER (IC) AND SHALL INCLUDE A LABEL CERTIFYING AIR-TIGHT (AT) DESIGNATION.
 C. REMODELED BATHROOM SHALL BE EQUIPPED WITH MECHANICAL VENTILATION WITH AN EXHAUST CAPACITY OF AT LEAST 50 CFM PER CRC Sec. R303.3, CMC 402.5 HCD1/HCD2. EXHAUST FAN SHALL BE EQUIPPED WITH HUMIDITY CONTROL PER CGBC 4.506 AND SWITCHED SEPARATELY FROM THE LIGHTING SYSTEM PER CECS Sec. 150(k)8. VENT TERMINATION SHALL BE 36" MINIMUM FROM ANY PROPERTY LINE, OPENING WINDOW OR AIR INLET INTO THE BUILDING PER CMC 504.5
 NOTE: ALL NEW LIGHTS THROUGHOUT THE RESIDENCE, SHALL BE HIGH EFFICACY. (CENC 150.0(k)1A).

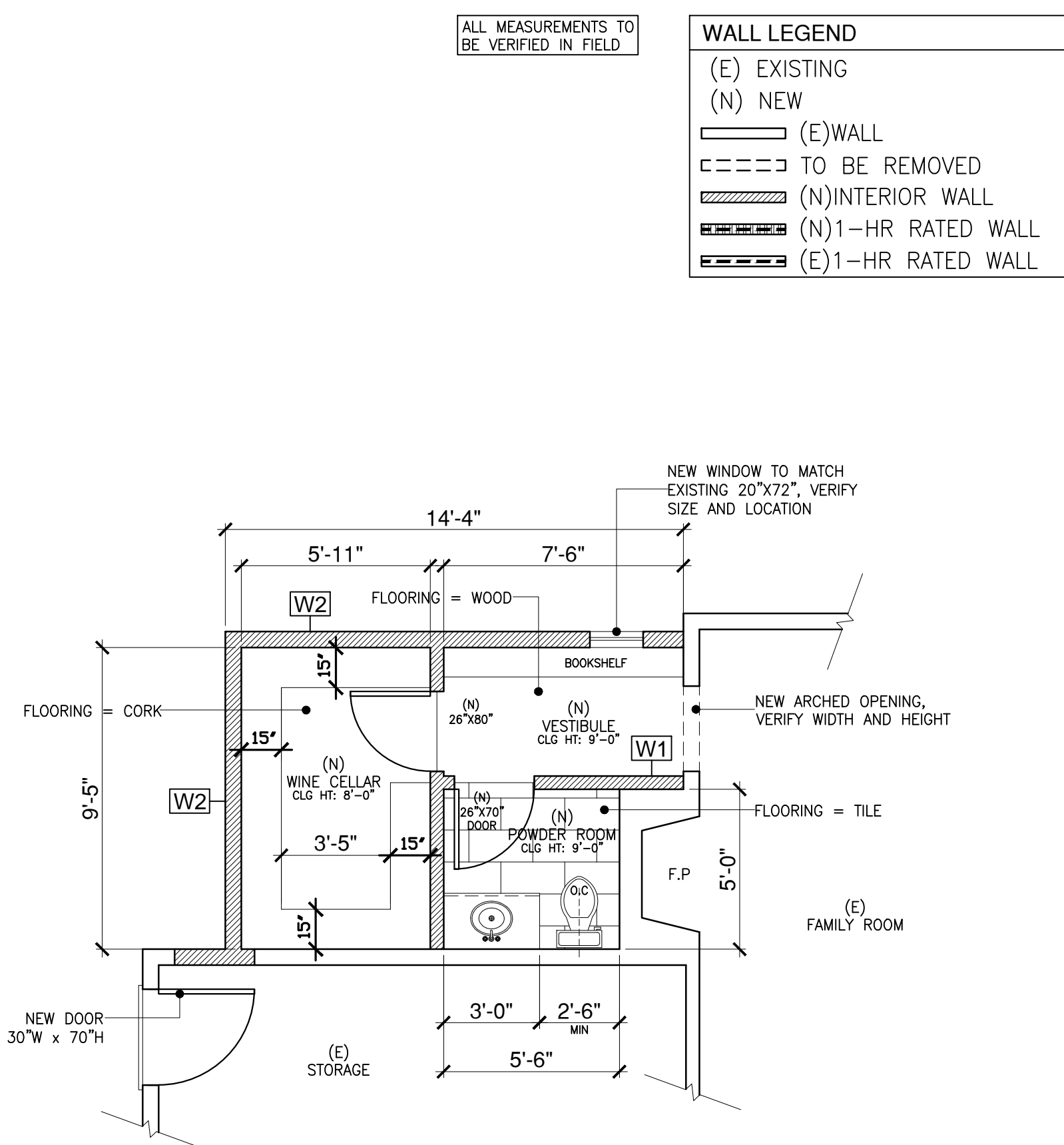
BATHROOM NOTES
ELECTRICAL
 A. 20-AMP DEDICATED CIRCUIT FOR BATHROOM RECEPTACLE OUTLET OR A DEDICATED 20-AMP CIRCUIT FOR BATHROOM BATH LIGHTING SHALL NOT BE ON AN OUTLET CIRCUIT PER CEC Art. 210.00 (C) (3)
 B. ONE RECEPTACLE OUTLET WITHIN 3 FEET OD THE OUTSIDE EDGE OF BASIN. RECEPTACLE OUTLET SHALL BE LOCATED ON A WALL THAT IS ADJACENT TO THE BASIN, OR ON THE SIDE OR FACE OF THE BASIN CABINET NOT MORE THAN 12 INCHES BELOW THE COUNTERTOP PER CEC Art. 210.52 (D)
 C. GFCI PROTECTED OUTLET PER CEC Art. 210.8 (A)
 D. ADDED/REPLACED 125-VOLT, 15 AND 20 AMPERE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES PER CEC Art. 406.12



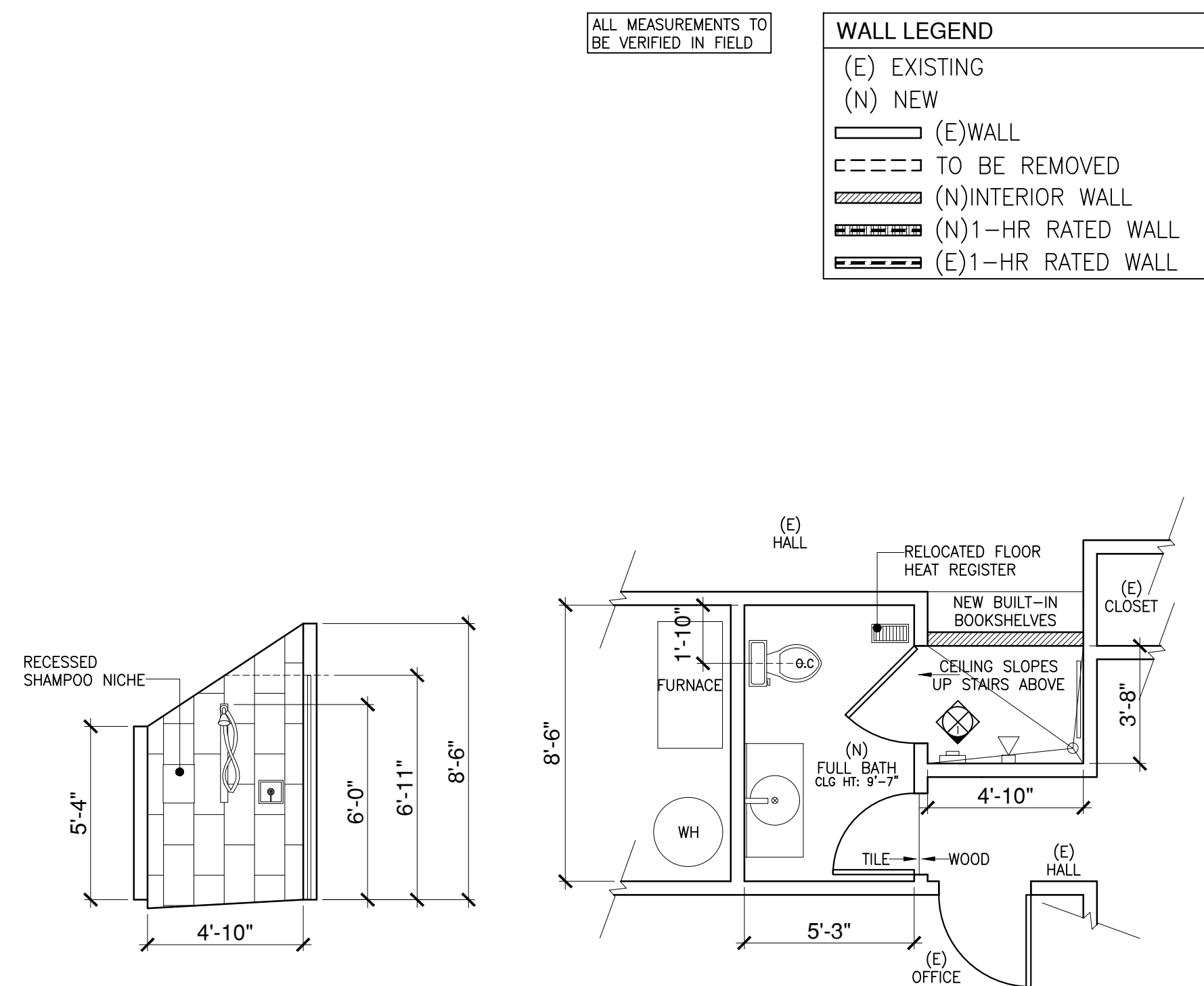
FIRST FLOOR/LIGHTING AND ELECTRICAL
 SCALE: 1/4"=1'-0"
 OPEN AREA BELOW EXISTING BALCONY



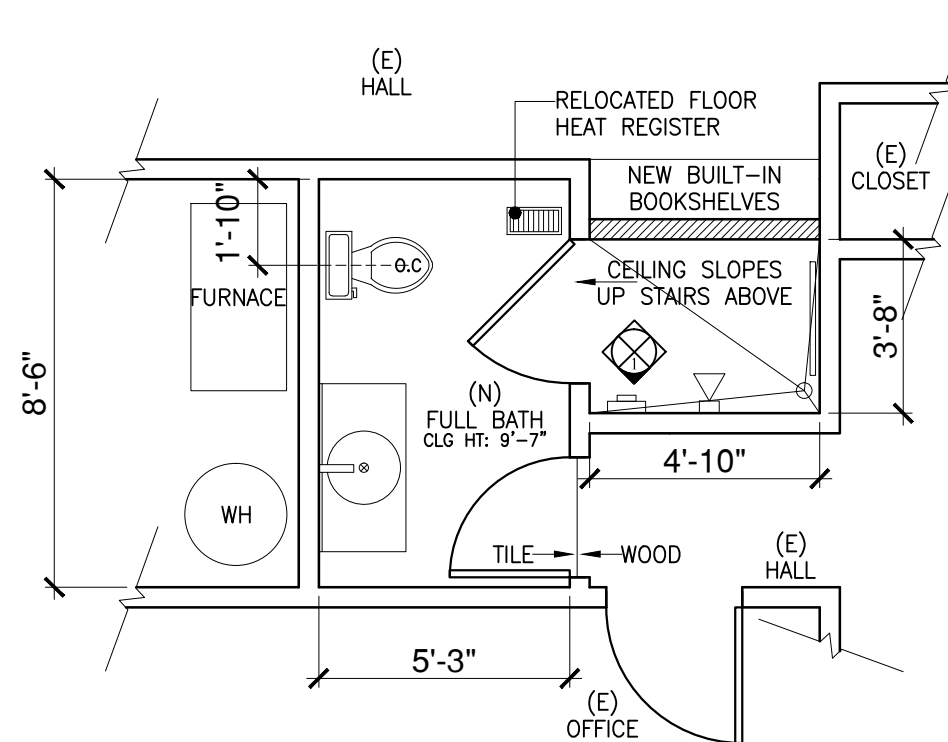
FIRST FLOOR/LIGHTING AND ELECTRICAL
 SCALE: 1/4"=1'-0"
 OPEN AREA BELOW EXISTING BALCONY



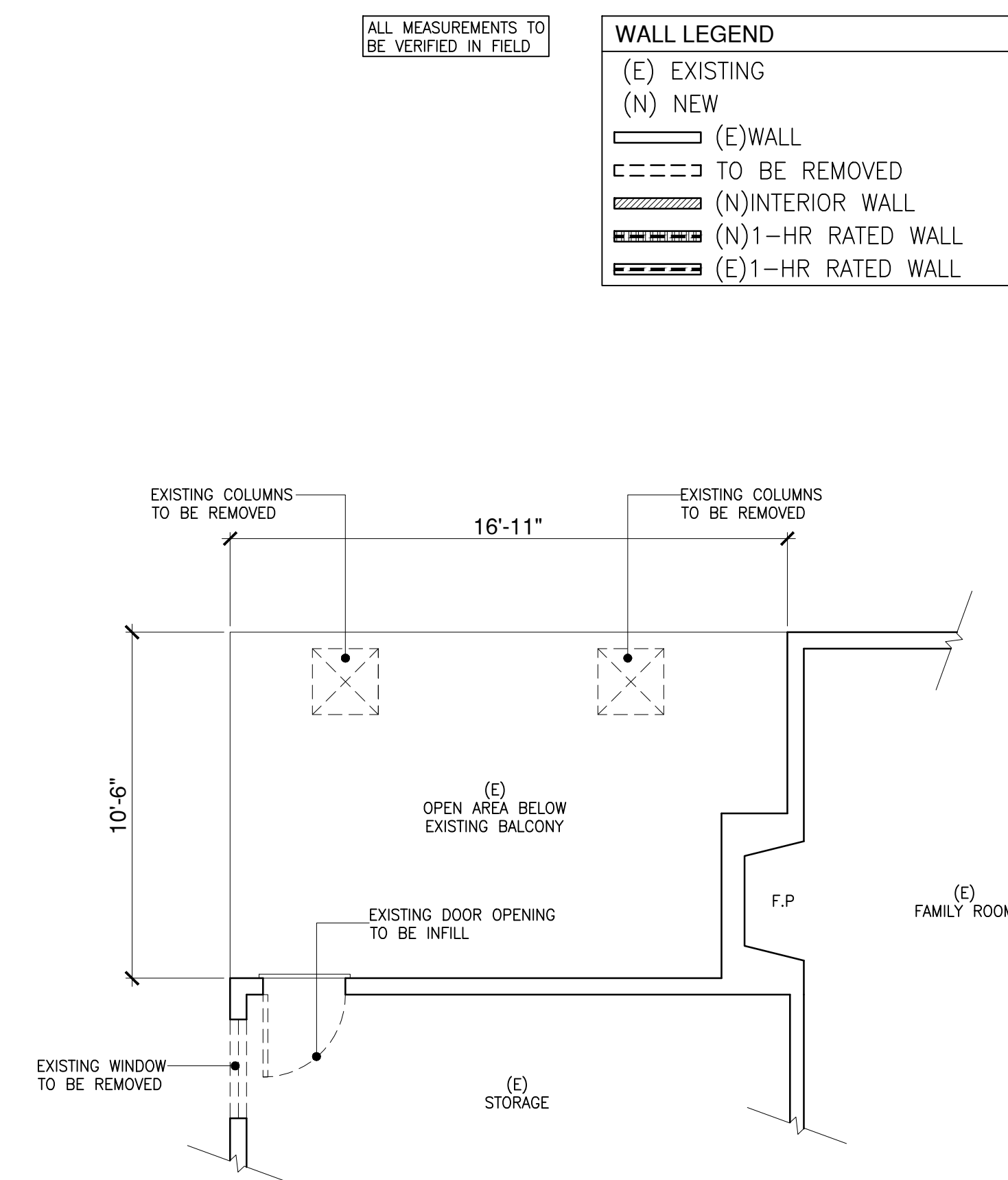
PROPOSED FIRST FLOOR PLAN
 SCALE: 1/4"=1'-0"
 OPEN AREA BELOW EXISTING BALCONY
 132 SQ FT OF REMODEL AREA



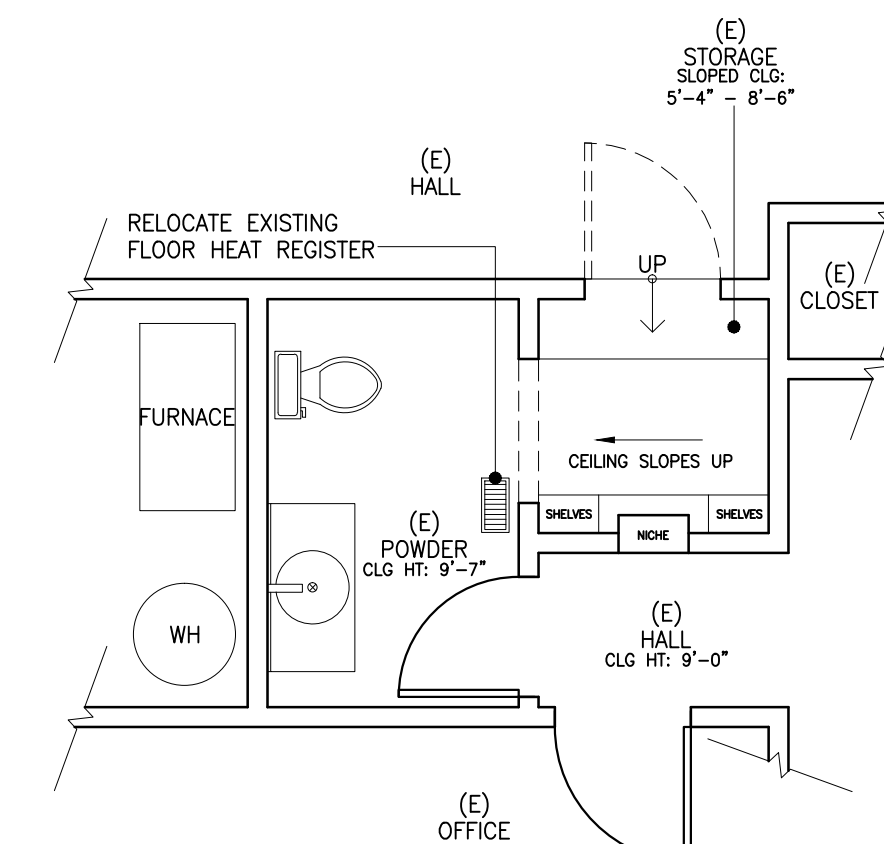
INTERIOR ELEVATION
 SCALE: 1/4"=1'-0"
 SHOWER



PROPOSED FIRST FLOOR PLAN
 SCALE: 1/4"=1'-0"
 HALF TO FULL BATHROOM PLAN
 25 SQ FT OF REMODEL AREA



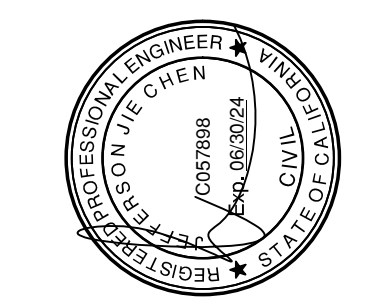
EXISTING FIRST FLOOR PLAN
 SCALE: 1/4"=1'-0"
 OPEN AREA BELOW EXISTING BALCONY



EXISTING FIRST FLOOR PLAN
 SCALE: 1/4"=1'-0"
 HALF TO FULL BATHROOM PLAN

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EXISTING FIRST FLOOR PLAN
 PROPOSED FIRST FLOOR PLAN

ELIZABETH TOSARIS
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INFILL UNDER EXISTING DECK

891 MARIN DRIVE
 MILL VALLEY, CA 94941

Date:	01/08/24
Scale:	AS SHOWN
Drawn By:	CA
Job No:	23542

Sheet
A3.0
 Of 2 Sheets



EXISTING EAST ELEVATION
SCALE: 1/4"=1'-0"

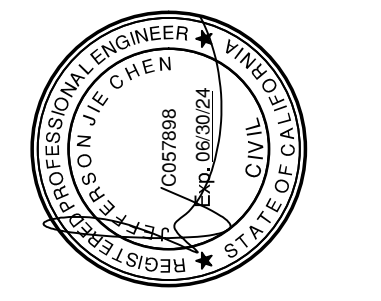
WALL LEGEND	
(E)	EXISTING
(N)	NEW
	(E) WALL
	TO BE REMOVED
	(N) INTERIOR WALL
	(N) 1-HR RATED WALL
	(E) 1-HR RATED WALL



PROPOSED EAST ELEVATION
SCALE: 1/4"=1'-0"

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ENERTIA DESIGNS
ARCHITECTURAL ENGINEERING & INTERIOR



DATE	REVISIONS
01/04/24	BLDG

EXISTING FIRST FLOOR PLAN
PROPOSED FIRST FLOOR PLAN

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INFILL UNDER EXISTING DECK

891 MARIN DRIVE APN: 049-227-55
MILL VALLEY, CA 94941

Date:	01/08/24
Scale:	AS SHOWN
Drawn By:	CA
Job No:	23542

Sheet
A4.0
Of 2 Sheets

DRAWING NAME: G:\external\projects\415000000\415000000\415000000\Change\Projects\20240101_Marin_Drive\Drawings\A4.0.dwg
PLOT DATE: 01/08/24 PLOTTED BY: casbs



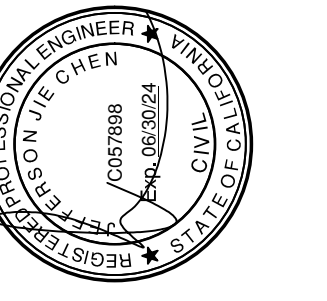
EXISTING SOUTH ELEVATION

SCALE: 1/4"=1'-0"



PROPOSED SOUTH ELEVATION

SCALE: 1/4"=1'-0"



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FIRST FLOOR/FIRE LADDER MANEUVER

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INFILL UNDER EXISTING DECK

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 MILL VALLEY, CA 94941

Date:	01/08/24
Scale:	AS SHOWN
Drawn By:	CA
Job No:	23542

Sheet
A5.0
 Of 2 Sheets