

PROJECT TEAM

OWNER:	KIKI GOSHAY 81 ROCK ROAD KENTFIELD, CA 94909 T 415-461-0317 KIKIGOSHAY@COMCAST.NET	STRUCTURAL ENGINEER:	HOLMES ENGINEERING 235 MONTGOMERY STREET, SUITE 1250 SAN FRANCISCO, CA 94104 T 415-693-1600 CONTACT: DENNY KWAN 415-716-8701, denny.kwan@holmes.us ADAM AZOFEIFA 415-796-7146, adam.azofeifa@holmes.us
GENERAL CONTRACTOR/ PROJECT DESIGNER:	LOUIS PTAK CONSTRUCTION, INC. P.O. BOX F PACIFIC GROVE, CA 93950 T 831-372-8025 GARRETT WEHAN 949-573-3498, gwehan@louisptak.com EITAN SPANIER 510-684-8792, espanier@louisptak.com	ELECTRICAL ENGINEER:	SUMMIT ENGINEERING, INC. 463 AVIATION BOULEVARD, SUITE 200 SANTA ROSA CA 95403 T 707-527-0775 CONTACT: ALEX SNEED 707-978-5740, alex@summit-sr.com NORMAN VACHON norman@summit-sr.com
LANDSCAPE ARCHITECT	ARTERRA LANDSCAPE ARCHITECTS 88 MISSOURI STREET SAN FRANCISCO, CA 94107 T 415-861-3100 CONTACT: ALIX KIDWELL T 408-914-1705, alix@arterrasf.com	ENERGY DESIGN CONSULTANT:	BEYOND EFFICIENCY, INC. 710 CHANNING WAY BERKELEY CA 94710 CONTACT: DAN JOHNSON 415-964-2282, dan@beyondefficiency.us NATHAN ITIS nathan@beyondefficiency.us
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LIGHTING DESIGNER:	DAVID WILDS PATTON LIGHTING DESIGN PO BOX 1621 PACIFICA CA 94044 CONTACT: DAVID PATTON M. 650-544-3047 dwpattson@dwpplightingdesign.com	WATERPROOFING/ ENVELOPE CONSULTANT:	BLANCO ARCHITECTURE 1215 SECOND STREET SAN RAFAEL CA 94901 CONTACT: RICHARD CICCARELLI M.415-650-6081 richard@blancoarchitecture.com



GOSHAY RESIDENCE

75 ROCK ROAD KENTFIELD

DRAWING INDEX

ARCHITECTURAL DRAWINGS:

A0.0	COVER SHEET
A0.1	PROJECT INFO
A0.3	MATERIALS
A1.0	SITE SURVEY
A1.1	DEMO/EXISTING SITE PLAN
A1.2	DEMO/EXISTING FLOOR PLAN
A1.3	EXISTING ELEVATIONS
A1.4	EXISTING ELEVATIONS
A1.5	SITE PLAN
A1.6	STORY POLE PLAN
A2.1	FLOOR PLAN
A2.2	LOWER ROOF PLAN
A2.3	UPPER ROOF PLAN
A3.1	ELEVATIONS
A3.2	ELEVATIONS
A3.3	ELEVATIONS
A4.1	SECTIONS
A4.2	RETAINING WALL ELEVATION/SITE SECTIONS
A5.1	LIGHTING FIXTURES & SCHEDULES
A5.2	EXTERIOR LIGHTING & RCP

CIVIL DRAWINGS:

C1	COVER SHEET
C2	OVERALL SITE PLAN
C3	GRADING AND DRAINAGE PLAN
C4	UTILITY PLAN
C5	EROSION CONTROL PLAN
C6	SECTIONS
C7	DETAIL
C8	SUBDRAIN AND ROOF DRAINAGE PLAN
C9	SUBDRAIN AND ROOF DRAINAGE PLAN

LANDSCAPE DRAWINGS:

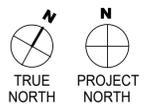
L0.0	COVER SHEET
L0.1	LANDSCAPE PLAN
L0.2	VEGETATION MANAGEMENT PLAN
L0.3	VEGETATION MANAGEMENT NOTES

CONDITIONS OF APPROVAL:

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GOSHAY RESIDENCE
75 Rock Road
Partial Demolition and renovations to an existing single family residence
Assessor's Parcel #: 074-161-27
75 Rock Road
Kentfield CA 94904



Revision No. _____ Date _____

Date: 04.12.2024

Issued For

DESIGN REVIEW

Drawn By: EBS Checked By: GW

Scale

Sheet Title

COVER SHEET

Sheet No.

A0.0

ABBREVIATIONS:

&	And	N.	North
/	Angle	N.I.C.	Not in Contract
@	At	NO.	Number
⊘	Center Line	N.T.S.	Not to Scale
∅	Diameter		
#	Number or Pound	O.C.	On Center
±	Plus or Minus	O.H.	Opposite Hand
		OPNG.	Opening
ADJ.	Adjacent or Adjustable	OPP.	Opposite
A.F.F.	Above Finish Floor	OVHD.	Overhead
ALT.	Alternate		
ALUM.	Aluminum	PL.	Plate
ANOD.	Anodized	PLAM.	Plastic Laminate
APPL.	Appliance(s)	PLAS.	Plaster
APPROX.	Approximately	PLSTC.	Plastic
ARCH.	Architectural	PLYWD.	Plywood
AVG.	Average	PNL.	Panel
		PREFAB.	Prefabricated
BD.	Board	PREFIN.	Prefinished
BLDG.	Building	PT.	Point
BLK./BLKG.	Block/Blocking	P.T.	Pressure Treated
BTWN.	Between	PTN.	Partition
CAB.	Cabinet	RAD.	Radius
CEM.	Cement, Cementitious	R.A.G.	Return Air Grill
C.I.P.	Cast in Place	RECT.	Rectangle, Rectangular
CLG.	Ceiling	REF.	Reference
CLR.	Clear	REFR.	Refrigerator
C.M.U.	Concrete Masonry Unit	REINF.	Reinforce, Reinforced
COL.	Column	REQ'D.	Required
CONC.	Concrete	RESIL.	Resilient
COND.	Condition	REV./REV'D.	Reverse(d)/Revise(d)
CONSTR.	Construction	RM.	Room
CONT.	Continue	R.O.	Rough Opening
CPT.	Carpet		
		S.	South
DBL.	Double	S.A.G.	Supply Air Grill
DEPT.	Department	S.C.	Solid Core
DET.	Detail	SCHED.	Schedule(d)
DIA.	Diameter	SD.	Smoke Detector
DIM.	Dimension	SECT.	Section
DISP.	Garbage Disposal	SF.	Square Foot or Feet
DN.	Down	SNGL.	Single
DW.	Dishwasher	SHWR.	Shower
DWG.	Drawing	SHT.	Sheet
		SHTG.	Sheathing
E.	East	SIM.	Similar Condition
EA.	Each	S.I.G.	Slab on Grade
EL.	Elevation	SPEC(D).	Specification/Specified
ELEC.	Electric, Electrical	SS.	Standard
ENCL.	Enclose(d), Enclosure	STD.	Standard
ENG.	Engineer	STOR.	Storage
EQ.	Equal	STRL.	Structural
EQUIP.	Equipment	SYM.	Symmetrical
EQUIV.	Equivalent		
(E)/EXST.	Existing	T&G	Tongue & Groove
		TC	Trash Compactor
FAB.	Fabricated, Fabrication	THR.	Threshold
FDN.	Foundation	TJ	Trus Joist I-Joist
FIN.	Finish	TYP.	Typical Condition
FLR.	Floor, Flooring		
FLUOR.	Fluorescent	UNFIN.	Unfinished
F.O.F.	Face of Finish	U.O.N.	Unless Otherwise Noted
F.O.S.	Face of Stud	UTIL.	Utility
FP.	Fireplace		
FR./FRMG.	Frame, Framing	VERT.	Vertical
FURN.	Furniture	V.I.F.	Verify in Field
FURR.	Furred, Furring		
FXT.	Fixture(s)	W.	West
		W/ & W/O	With & Without
GA.	Gauge	W.C.	Water Closet
GALV.	Galvanized	WD.	Wood
G.F.I.	Ground Fault Interrupter	W/D	Washer & Dryer
GL.	Glass	W/H	Water Heater
GLMB.	Glue Laminiate Beam	W.O.	Where Occurs
GND.	Ground	WT	Weight
GRD.	Grade, Graded		
G.S.M	Galvanized Sheet Metal		
GYP.	Gypsum		
H.B.	Hose Bib		
H.C.	Hollow Core		
HD./HDR.	Head/Header		
HDWD.	Hardwood		
HDWE.	Hardware		
H.M.	Hollow Metal		
HORIZ.	Horizontal		
HR.	Hour		
HT.	Height		
HVAC.	Heating, Ventilation & Air Conditioning		
INSUL.	Insulation, Insulated		
INT.	Interior		
JT.	Joint		
JST.	Joist		
LAM.	Laminate		
LT.	Light		
LVR.	Louver		
MATL.	Material		
MAX.	Maximum		
MECH.	Mechanical		
MEMB.	Membrane		
MDF.	Medium Density Fiber Board		
MFD.	Manufactured		
MFR.	Manufacturer		
MICRO.	Microwave		
MIN.	Minimum		
MISC.	Miscellaneous		
MILWK.	Millwork		
MTD.	Mounted		
MTL.	Metal		

GENERAL NOTES:

- Contractor shall be responsible for the development, coordination and execution of construction methods and procedures and in accordance with all state & local building codes in effect for Marin County California.
- Contractor shall be responsible for initiating, maintaining and supervising all safety precautions and programs in connection with his work.
- Execute the work in a careful and orderly manner, with the least possible disturbance to the public.
- Coordinate all facets of work and all trades involved so as to avoid conflict in the location, installation and construction of all elements of the work as indicated in the Construction Documents.
- Contractor shall notify the designer of any discrepancies between the designer's Documents and other project Consultant documents as well as documents prepared by design/build Subcontractors as well as conflicts between all project documents and existing conditions prior to pricing, ordering, or construction. In addition, the Contractor is responsible for verifying all field conditions and dimensions as well as confirming that all details, dimensions, etc. in project Documents are buildable as shown. If there are any questions or conflicts, the Contractor must first obtain clarification from designer before proceeding with such work or related construction.
- Contractor shall be responsible for the correction of work at his own expense for work installed in conflict with the Contract Documents.
- Contractor shall be responsible for safe removal and disposal of all existing construction. He shall be responsible for repair of any damages arising out of demolition work.
- Contractor shall provide temporary security and dust barriers as required during construction.
- Contractor shall provide all necessary blocking, stiffeners, bracing, framing, hangers or other support for all fixtures, equipment, cabinetry, furnishings and all other items in this contract or existing construction requiring the same or for N.I.C. items specifically noted.
- All materials used shall conform with local codes with regard to fire safety.
- All dimensions are taken from face of framing, uon.
- The Contractor shall install all equipment, fixtures & appliances according to manufacturer's instructions and specifications and shall verify that all clear opening dimensions in cabinetry adequately accommodate the specified equipment as well as verify that every piece of equipment and every appliance is in perfect working order.
- All rigid conduit, ducts, plumbing pipes and appliance vents shall be isolated from building construction by means of resilient sleeves, mounts, or minimum 1/4" thick approved resilient material.
- No dimension shall be taken by scaling the drawings.
- All details and references are usually noted only once, the first time they appear, but are typical for similar conditions elsewhere, UON.
- Floor shall be leveled as required for installation of scheduled floor finishes.
- New 5/8" gypsum board shall be installed on all interior walls throughout. See wall legend for additional information.
- All dimensions are to be exactly within 1/8"± along full height and full width of walls. Contractor shall not adjust any dimensions without written instructions from the designer.
- For partitions not located by dimensions on the floor plan, refer to specific details as noted.
- For doors that are not located by specific plan dimensions, refer to typical door jamb details.
- The Contractor shall notify the designer after all wall locations have been marked on the floor. The designer shall observe the wall location layout prior to the contractor proceeding with wall construction.
- The Contractor shall notify the designer a minimum of three days before closing walls so that site observations as required by the designer may take place.
- Minimum 36" landings outside all exterior doors per section 1003.3.1.6, with landings not more than 8" below inside finished floors at inward swinging or sliding doors; 1" at outward swinging, per section 1003.3.3.3.
- Refer to interior elevations for further information regarding closets, millwork, fixtures & finishes.
- Refer to referenced elevations, details & schedules for additional information on all exterior window/door frames, exterior windows & doors and interior doors & frames.
- Refer to residential appliance specifications for detailed information on appliances.
- Plumbing fixtures shall be installed in accordance with the *California Plumbing Code* and shall meet the applicable referenced standards.
- Architect has not undertaken a survey of hazardous materials on the project site and has no knowledge of the presence of any hazardous materials on the project site. If any hazardous materials are encountered, Contractor shall immediately notify the Owner.
- These documents, and the design they represent, are the exclusive property of the designer. The Contractor is responsible for securely maintaining the documents on site during construction.
- Provide smoke alarms per code.
- Provide carbon monoxide alarms outside of all sleeping areas.
- Provide tamper resistant receptacles for all new electrical outlets.

PROJECT DESCRIPTION:

SITE LOCATION: 75 ROCK ROAD, KENTFIELD, CA 94904
A.P.N.: 074-161-27
ZONING: RSP-1 (RESIDENTIAL, SINGLE FAMILY, PLANNED, DENSITY OF 1 UNIT PER ACRE)
WILDLAND INTERFACE: YES
COUNTY WIDE PLAN DESIGNATION: SF3(RESIDENTIAL,SINGLE FAMILY,1 UNIT PER 1-5 ACRES)
COMMUNITY PLAN AREA: KENT WOODLANDS
OCCUPANCY: R3
DESCRIPTION OF USE: SINGLE FAMILY RESIDENTIAL
CONSTRUCTION TYPE: TYPE VB
NUMBER OF STORIES: 1
SPRINKLERS: YES
LATITUDE / LONGITUDE: N 37° 57' 17.46" / W 122° 33' 29.21"

AREA SUMMARY:

LOT AREA: 42,513 FT² / 0.98 ACRES
EXISTING BUILDING AREA: 3,736 FT²
PROPOSED BUILDING AREA: 4,183 FT²
EXISTING FLOOR AREA: 2,857 FT²
PROPOSED FLOOR AREA: 3,304 FT²
EXISTING FLOOR AREA RATIO: .067
PROPOSED FLOOR AREA RATIO: .098
EXISTING AREA OF DISTURBANCE: 17,690 SF
PROPOSED AREA OF DISTURBANCE: 19,926 SF
AREA OF ADDITIONAL DISTURBANCE: 2,236 SF

SCOPE OF WORK:

DEMOLITION OF EXISTING EXTERIOR WALLS, SLAB AND FOUNDATION SYSTEM AS REQUIRED TO ACCOMMODATE DESIGN CHANGES AND ADDITION OF 440 SQUARE FEET TO REMODEL OF EXISTING RESIDENCE PREVIOUSLY APPROVED UNDER BUILDING PERMIT #174524.

APPLICABLE CODES

ALL CONSTRUCTION SHALL COMPLY WITH ALL LOCAL CODES AND ORDINANCES AND THE CODES LISTED BELOW:

2022 ADMINISTRATIVE CODE
 2022 CALIFORNIA BUILDING CODE: CBC
 2022 CALIFORNIA RESIDENTIAL CODE: CRC
 2022 CALIFORNIA ELECTRICAL CODE: CEC
 2022 CALIFORNIA MECHANICAL CODE: CMC
 2022 CALIFORNIA PLUMBING CODE: CPC
 2022 CALIFORNIA ENERGY CODE
 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
 2022 CALIFORNIA REFERENCED STANDARDS CODE
 2022 CALIFORNIA ENERGY EFFICIENCY STANDARDS CODE: CEES
 2022 FIRE CODE
 AND ALL OTHER REQUIREMENTS PER THE COUNTY OF MARIN AND THE MARIN COUNTY MUNICIPAL CODE
 CALIFORNIA TITLE 24 (AS NOTED BELOW)
 2022 CALIFORNIA ADMINISTRATIVE CODE (TITLE 24, PART 1)
 2022 CALIFORNIA BUILDING CODE (TITLE 24, PART 2)
 2022 CALIFORNIA RESIDENTIAL CODE (TITLE 24, PART 2.5)
 2022 CALIFORNIA ELECTRICAL CODE (TITLE 24, PART 3)
 2022 CALIFORNIA MECHANICAL CODE (TITLE 24, PART 4)
 2022 CALIFORNIA PLUMBING CODE (TITLE 24, PART 5)
 2022 CALIFORNIA ENERGY CODE (TITLE 24, PART 6)
 2022 CALIFORNIA FIRE CODE (TITLE 24, PART 9)
 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (TITLE 24, PART 2)
 2022 CALIFORNIA REFERENCED STANDARDS CODE (TITLE 24, PART 2)
 INTERNATIONAL BUILDING CODE (IBC)
 UNIFORM MECHANICAL CODE (UMC), CURRENT EDITION
 UNIFORM PLUMBING CODE (UPC), CURRENT EDITION
 NATIONAL ELECTRICAL CODE (NEC), CURRENT EDITION

SYMBOLS LEGEND:

	GRID LINES		ELEVATION DATUM POINT INDICATES HEIGHT ABOVE FINISHED FLOOR
	INDICATES THAT TWO ELEMENTS ARE IN ALIGNMENT		INDICATES ROOM NAME AND NUMBER
	DETAIL NUMBER REFERENCE AND SHEET LOCATION		INDICATES DOOR OR WINDOW NUMBER AND REFERENCES TO DOOR AND WINDOW SCHEDULE
	DETAIL OR ENLARGED PLAN REFERENCE AND SHEET NUMBER LOCATION		INDICATES SPECIFIC FINISH AND REFERENCE TO FINISH SCHEDULE
	DETAIL OR ENLARGED PLAN REFERENCE AND SHEET NUMBER LOCATION		INDICATES CEILING HEIGHT ABOVE FINISHED FLOOR
	INDICATES AREA TO BE ENLARGED OR DETAILED		INDICATES WALL OR PARTITION TYPE AND REFERENCE TO WALL TYPE LEGEND
	INTERIOR ELEVATION NUMBER REFERENCE AND SHEET		INDICATES KEYNOTE REFERENCE
	SECTION NUMBER LOCATION AND SHEET LOCATION		

VICINITY MAP: NOT TO SCALE



SUBJECT PROPERTY
75 ROCK ROAD

DIRECTIONS:

FROM US 101 SOUTH:
 Take exit 450A toward Lucky Dr/Doherty Dr
 Keep right at the fork to continue on Fifer Ave
 Turn left onto Lucky Dr
 Turn right onto Magnolia Ave
 Continue onto College Ave
 Turn left onto Woodland Rd
 Turn right onto Goodhill Rd
 Turn right to stay on Goodhill Rd
 Turn right onto Rock Rd

DEFERRED SUBMITTALS

- RESIDENTIAL FIRE SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH NFPA 13D AND STATE AND LOCAL REQUIREMENTS.

SPECIAL INSPECTIONS

OBSERVATIONS AND TESTING

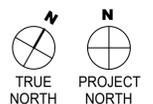
GEOTECHNICAL OBSERVATIONS AND TESTING:
 THE GEOTECHNICAL ASPECTS OF THE PROJECT, INCLUDING FOUNDATION EXCAVATIONS, SUBGRADE PREPARATION BENEATH HARDSCAPE, PLACEMENT AND COMPACTION OF ENGINEERED FILL BENEATH HARDSCAPE AND THE INSTALLATION OF SURFACE DRAINAGE CONTROL SYSTEMS SHOULD BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS PRESENTED IN THE GEOTECHNICAL REPORT PREPARED BY NERSI HEMATI DATED 07-03-2012. NERSI HEMATI OR HIS REPRESENTATIVE SHOULD BE PRESENT TO OBSERVE AND TEST, AS NECESSARY, THE EARTHWORK, FOUNDATION, AND DRAINAGE INSTALLATION PHASES OF THE PROJECT.

GOSHAY RESIDENCE

75 Rock Road

Partial Demolition and renovations to an existing single family residence

Assessor's Parcel #: 074-161-27
75 Rock Road
Kentfield CA 94904



Revision No. _____ Date _____

Date: 04.12.2024

Issued For _____

DESIGN REVIEW

Drawn By: EBS Checked By: GW

Scale _____

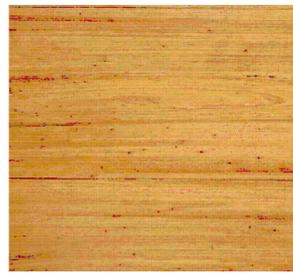
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PROJECT INFO

Sheet No. _____

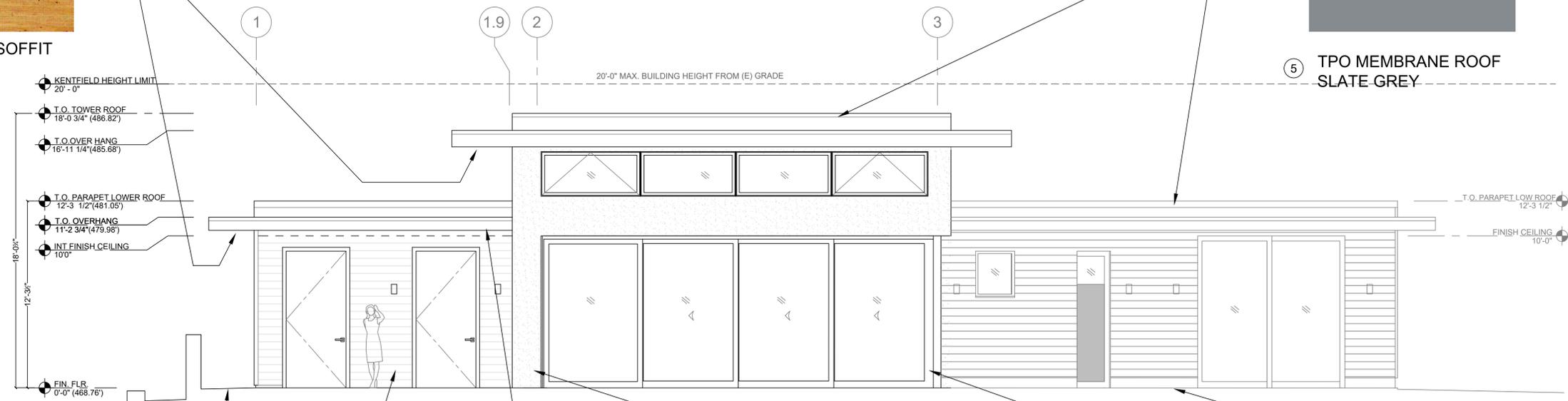
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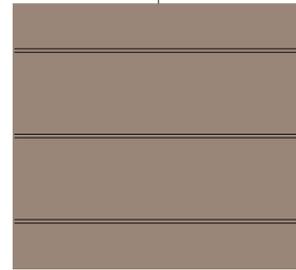
8 EXTERIOR SOFFIT CLADDING CYPRESS



5 TPO MEMBRANE ROOF SLATE GREY



1 RETAINING WALL FINISH BEAR CANYON VENEER STONE



3 PAINTED CEMENT BOARD NICKEL GAP SIDING DRIFTWOOD



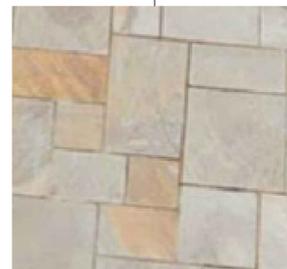
7 SMOOTH FINISH STUCCO IRON MOUNTAIN



6 ALUMINUM CLAD WINDOWS AND DOORS DARK BRONZE



9 PATIO INTEGRAL COLOR CONCRETE SPRING MOSS SMOOTH TROWEL FINISH



14 FLAGSTONE LANDSCAPE PATH NATURAL CLEFT LILAC BLUE STONE



PAINTED CEMENT BOARD FASCIA IRON MOUNTAIN



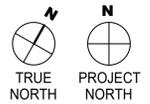
GREAT ROOM FLOOR LARGE FORMAT PORCELAIN TILE



DECK SURFACE FINISH IPE 1x6

PROPOSED MATERIALS

GOSHAY RESIDENCE
75 Rock Road
Partial Demolition and renovations to an existing single family residence
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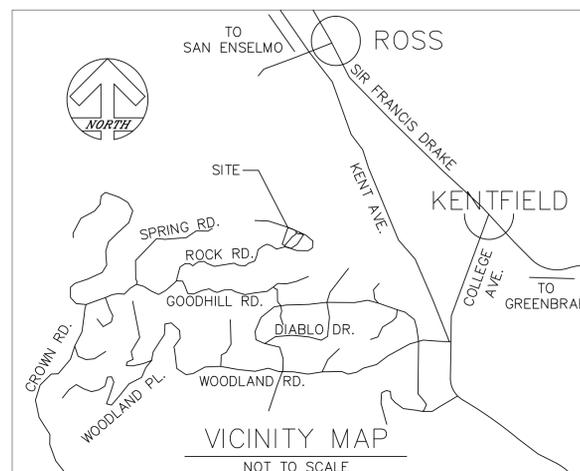
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Sheet Title

MATERIAL PALETTE

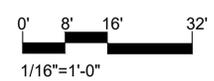
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LEGEND

---	RECORD BOUNDARY LINE
- - - -	RECORD ADJOINING BOUNDARY LINE
---	EDGE OF CONCRETE
---	EDGE OF GRAVEL
—GB—	GRADE BREAK
---	BUILDING OVERHANG
---	WOOD FENCE
-X-X-	WIRE FENCE
—OHW—	OVERHEAD WIRE
---	TREE DRIP LINE
---	ASPHALT CONCRETE SURFACE
---	GRAVEL SURFACE
---	CONCRETE SURFACE
---	DECKING
---	STONE SURFACE
---	TILE SURFACE
⊗	FIRE HYDRANT
⊕	WATER VALVE
⊕	IRRIGATION VALVE
⊕	HOSE BIB
⊕	POWER/JOINT POLE
⊕	WATER METER
⊕	SEWER MANHOLE
⊕	AREA DRAIN
⊕	WELL
⊕	SURVEY CONTROL POINT
⊕	FOUND 5/8" REBAR AS NOTED
⊕	SPOT ELEVATION
x T	TOP OF WALL ELEVATION
⊕	TREE—TYPE & DIAMETER
BO	BLACK OAK TREE
LO	LIVE OAK TREE
RW	REDWOOD TREE
MPL	MAPLE TREE
FRT	FRUIT TREE
ORN	ORNAMENTAL TREE
STM	TREE STUMP
RCP	REINFORCED CONCRETE PIPE
INV	INVERT
FF	FINISHED FLOOR
FS	FINISHED SLAB
DI	DROP INLET
AD	AREA DRAIN
SS	SANITARY SEWER
CO	CLEAN OUT
TB	TOP OF BANK
TW	TOP OF WALL
BW	BOTTOM OF WALL



GOSHAY RESIDENCE
TOPOGRAPHIC MAP

MUNSELLE CIVIL ENGINEERING
CIVIL ENGINEERING • LAND SURVEYING
513 CENTER STREET
HEALDSBURG, CA 95448
(707) 395-0968

APN 074-161-27
75 ROCK ROAD
KENTFIELD, CA 94904
NOVEMBER, 2022

GENERAL NOTES

BOUNDARY LINES SHOWN HEREON ARE DELINEATED FROM FIELD TIES TO MONUMENTS SHOWN ON THE RECORD MAP, RECORDED IN BOOK 6 OF SUBDIVISION AT PAGE 32, MARIN COUNTY RECORDS, AND DOES NOT CONSTITUTE A BOUNDARY SURVEY. THE BEARINGS SHOWN HAVE BEEN ROTATED FROM RECORD TO NORTH AMERICAN DATUM OF 1983 (NAD83) ZONE 3 GRID NORTH. THIS MAP IS NOT INTENDED TO PROVIDE A BOUNDARY RESOLUTION FOR THE SUBJECT PROPERTY.

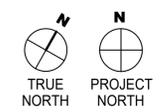
UTILITIES SHOWN HEREON ARE BASED UPON PHYSICAL FEATURES OBSERVED AT THE TIME OF THE SURVEY. THE SURVEYOR ACCEPTS NO LIABILITY FOR THE LOCATION, EXISTENCE OR NON-EXISTENCE OF THOSE UNDERGROUND STRUCTURES, UTILITY LINES AND RELATED APPURTENANCES. LOCATION OF UNDERGROUND UTILITIES SHALL BE PERFORMED BY A SUBSURFACE UTILITY LOCATING COMPANY (IF DESIRED).

BASIS OF BEARINGS: GRID NORTH BASED ON GPS OBSERVATIONS BETWEEN SET CONTROL POINTS POST PROCESSED USING OPUS (ONLINE POSITIONING USER SERVICE).

ELEVATIONS SHOWN HEREON ARE BASED THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). BENCHMARK CONTROL POINT #111 SET 60D LAND CONTROL POINT.
ELEVATION = 466.71' NAVD 88

LOUIS P T A K
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Post Office Box F
Pacific Grove, CA 93950
Phone: 831 372 8025
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Web: www.louispatak.com
California Contractor's License #746195
Project Contact: Eitan Spanier
Phone: 510 684 8792
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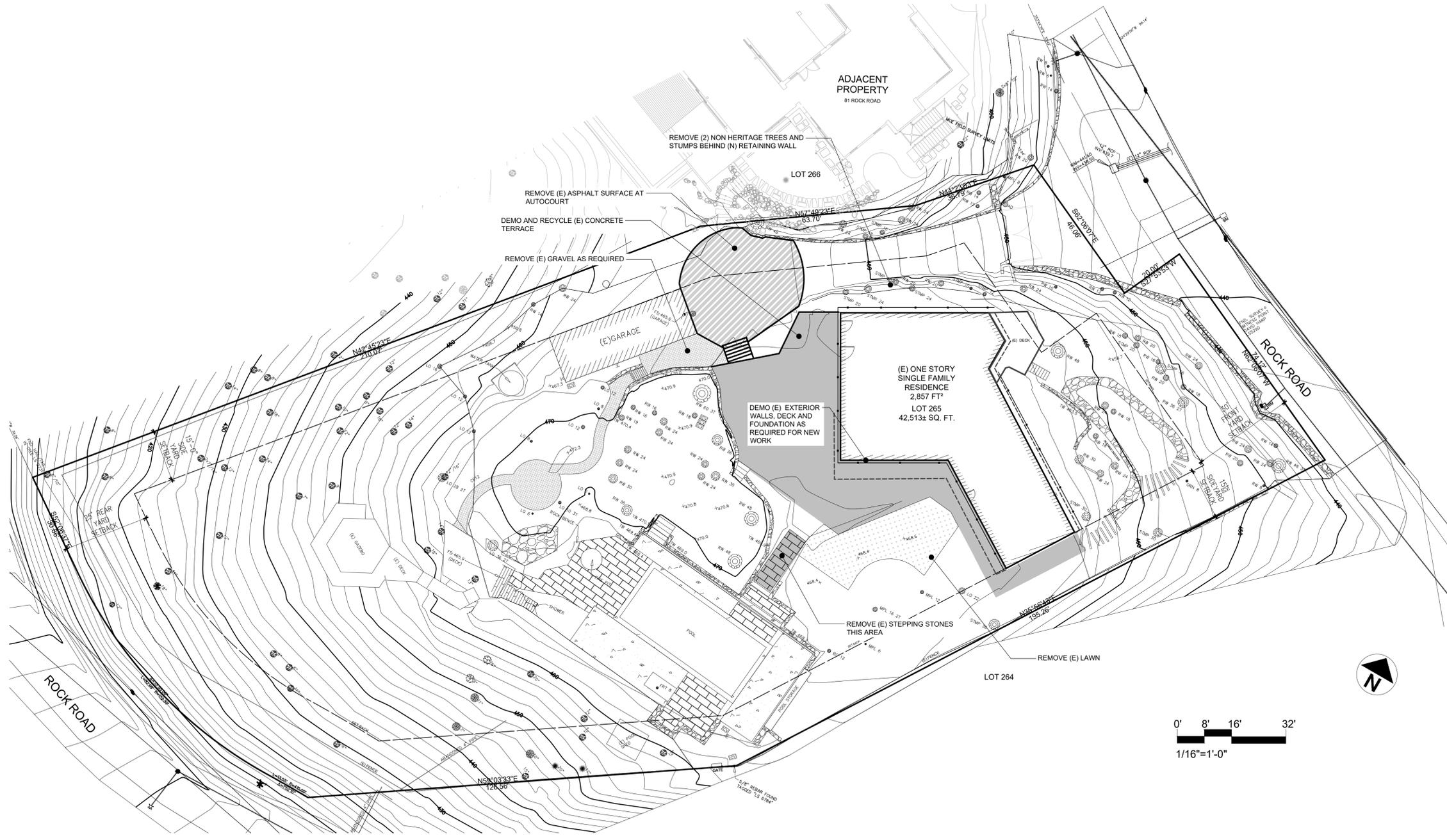
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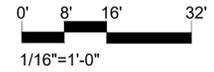
SITE SURVEY

Sheet No.

A1.0



1 DEMO/EXISTING SITE PLAN
1/16" = 1'-0"



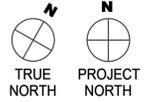
LEGEND

- CONCRETE HARDSCAPE AREAS TO BE DEMOLISHED
- ASPHALT AREA TO BE DEMOLISHED
- LAWN AREAS TO BE REMOVED
- GRAVEL AREAS TO BE REMOVED

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California Contractor's License #746195
Project Contact: Eitan Spanier
Phone: 510 684 8732
Email: espanier@louisptak.com

GOSHAY RESIDENCE
75 Rock Road
Partial Demolition and renovations to an existing single family residence
Assessor's Parcel #: 074-161-27
75 Rock Road
Kentfield CA 94904



Revision No. _____ Date _____

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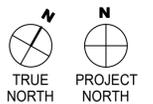
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AS NOTED

Sheet Title
DEMO/EXISTING SITE PLAN

Sheet No.

A1.1

GOSHAY RESIDENCE
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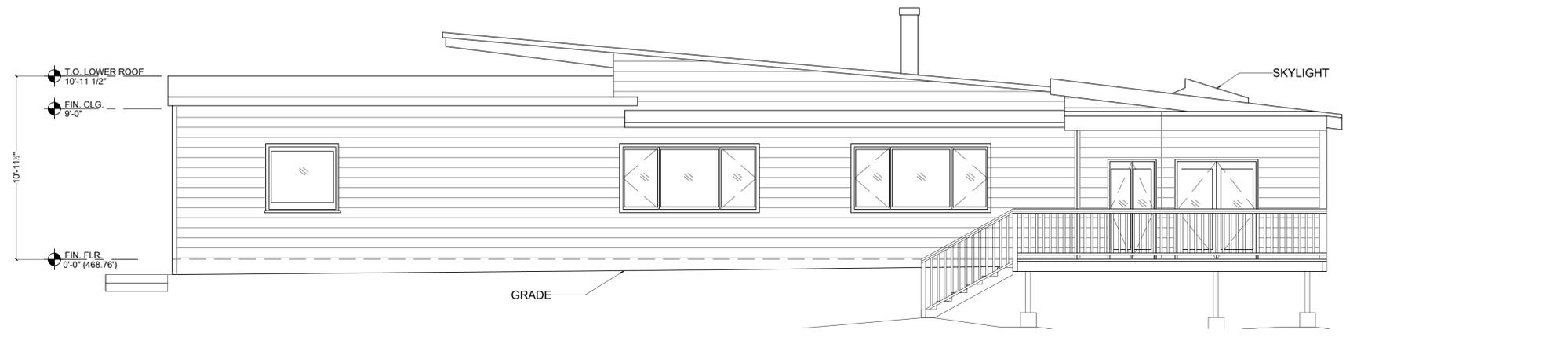
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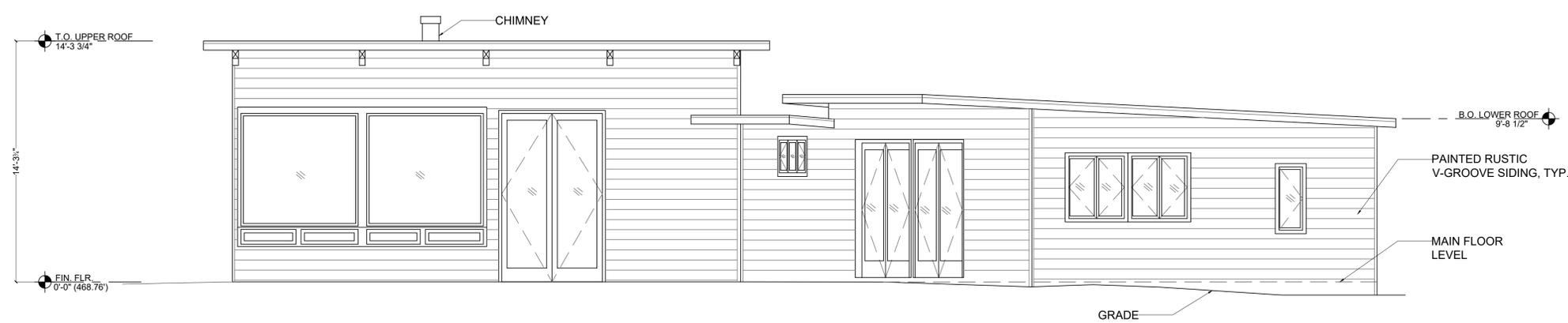
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EXISTING ELEVATIONS

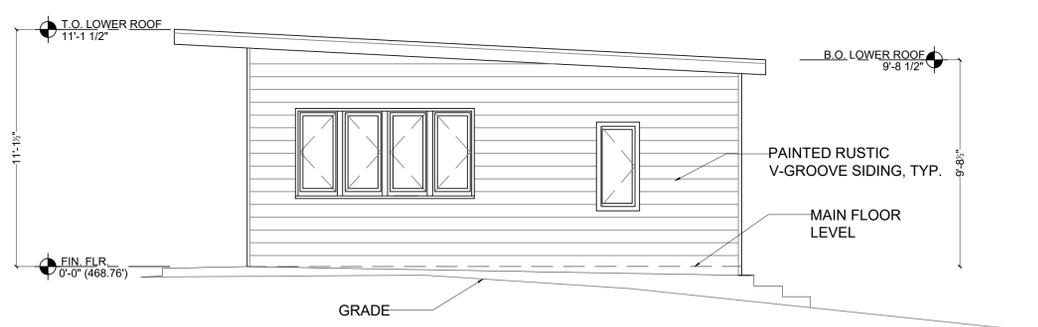
Sheet No.
A1.3



1 NORTH / EAST ELEVATION
1/4" = 1'-0"

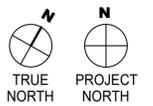


2 SOUTH ELEVATION
1/4" = 1'-0"



3 EAST ELEVATION - STRAIGHT ON
1/4" = 1'-0"

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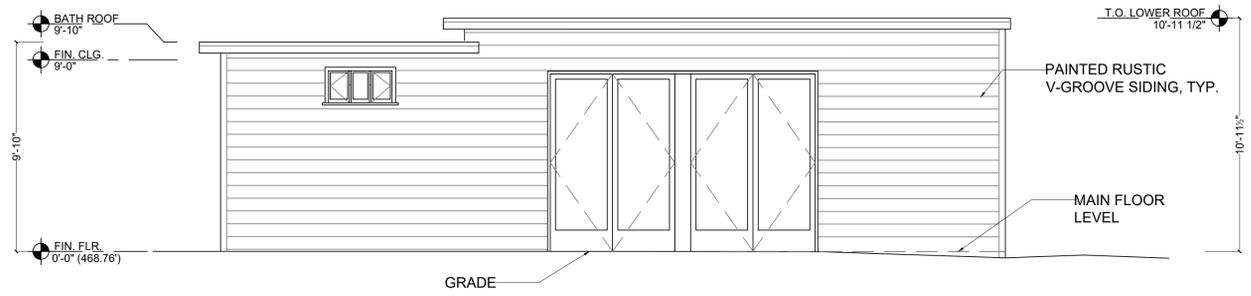
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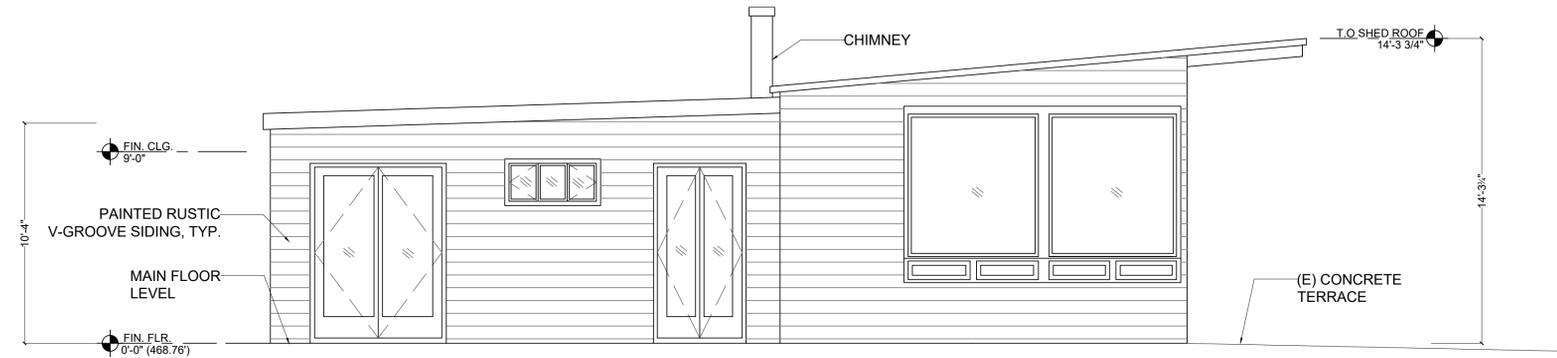
Scale
1/4" = 1'-0"

Sheet Title
EXISTING ELEVATIONS

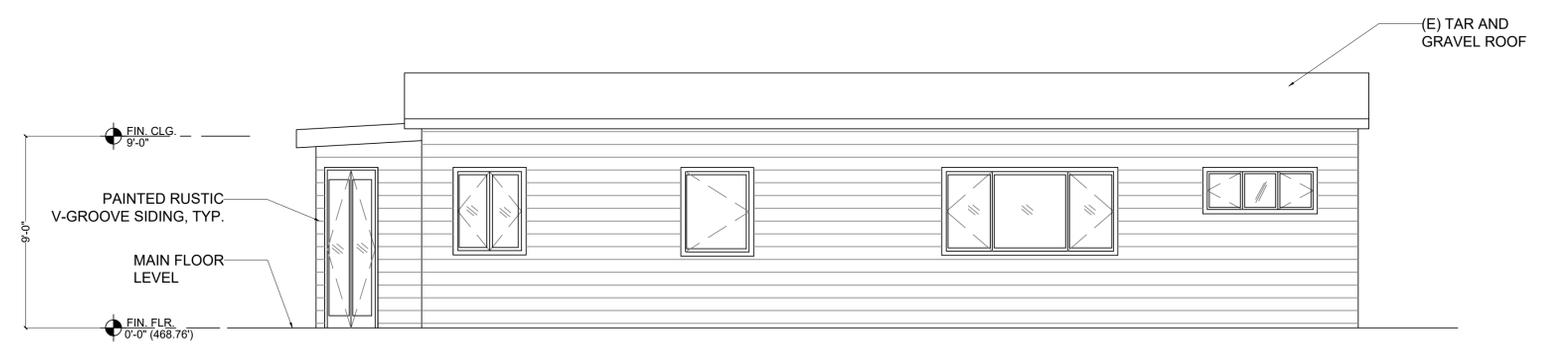
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A1.4



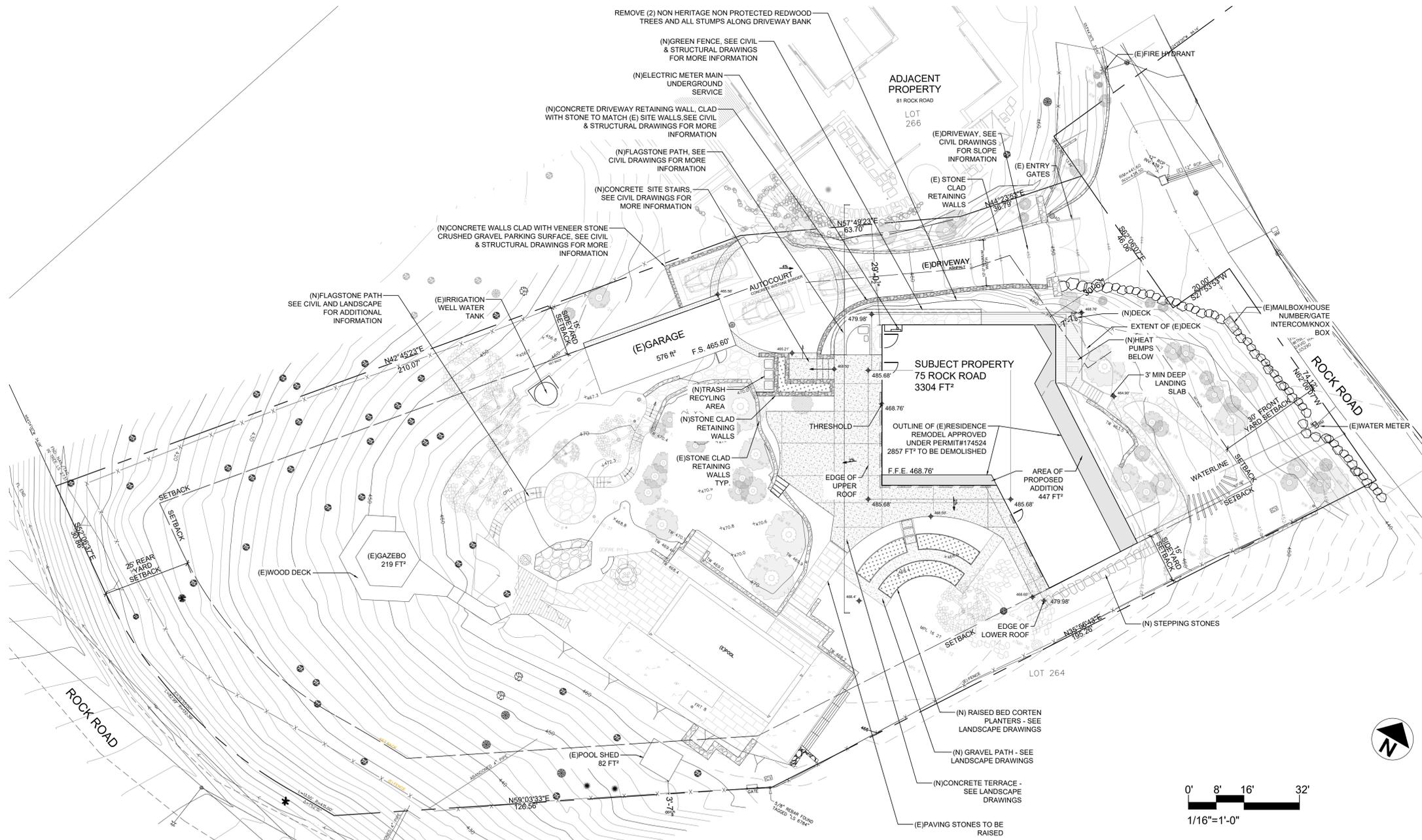
1 SOUTH ELEVATION - STRAIGHT ON
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"



3 NORTH ELEVATION - STRAIGHT ON
1/4" = 1'-0"

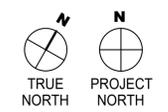


SITE PLAN GENERAL NOTES:

1. SEE A1.5 FOR STORY POLE LOCATIONS AND HEIGHTS

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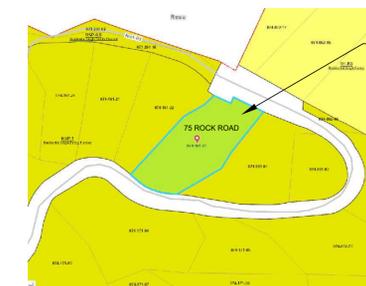
1 SITE PLAN
1/16" = 1'-0"

TABULATION FORM:

1. LOT AREA	
EXISTING	42,513 FT. ²
PROPOSED	42,513 FT. ²
2. BUILDING AREA	
EXISTING	3,736 FT. ²
PROPOSED	4,183 FT. ²
3. FLOOR AREA	
EXISTING	2,857 FT. ²
PROPOSED	3,304 FT. ²
4. FLOOR AREA RATIO	
EXISTING	.087
PROPOSED	.098
5. AREA OF DISTURBANCE	
EXISTING	17,690 FT. ²
PROPOSED	19,926 FT. ²
6. LOT COVERAGE	
EXISTING	3,337 FT. ²
PROPOSED	3,784 FT. ²
7. GRADING CALCULATIONS (CUBIC YARDS)	
CUT	34 CY
FILL	66 CY
OFF HAUL	-
8. PARKING SPACES	
EXISTING	3
PROPOSED	3
9. MINIMUM SETBACKS OF EXTERIOR WALLS	
FRONT	30'
REAR	25'
SIDE	15'
10. MAXIMUM HEIGHT	
	20'



2 SITE SECTION
1/16" = 1'-0"



3 PARCEL MAP
N.T.S.

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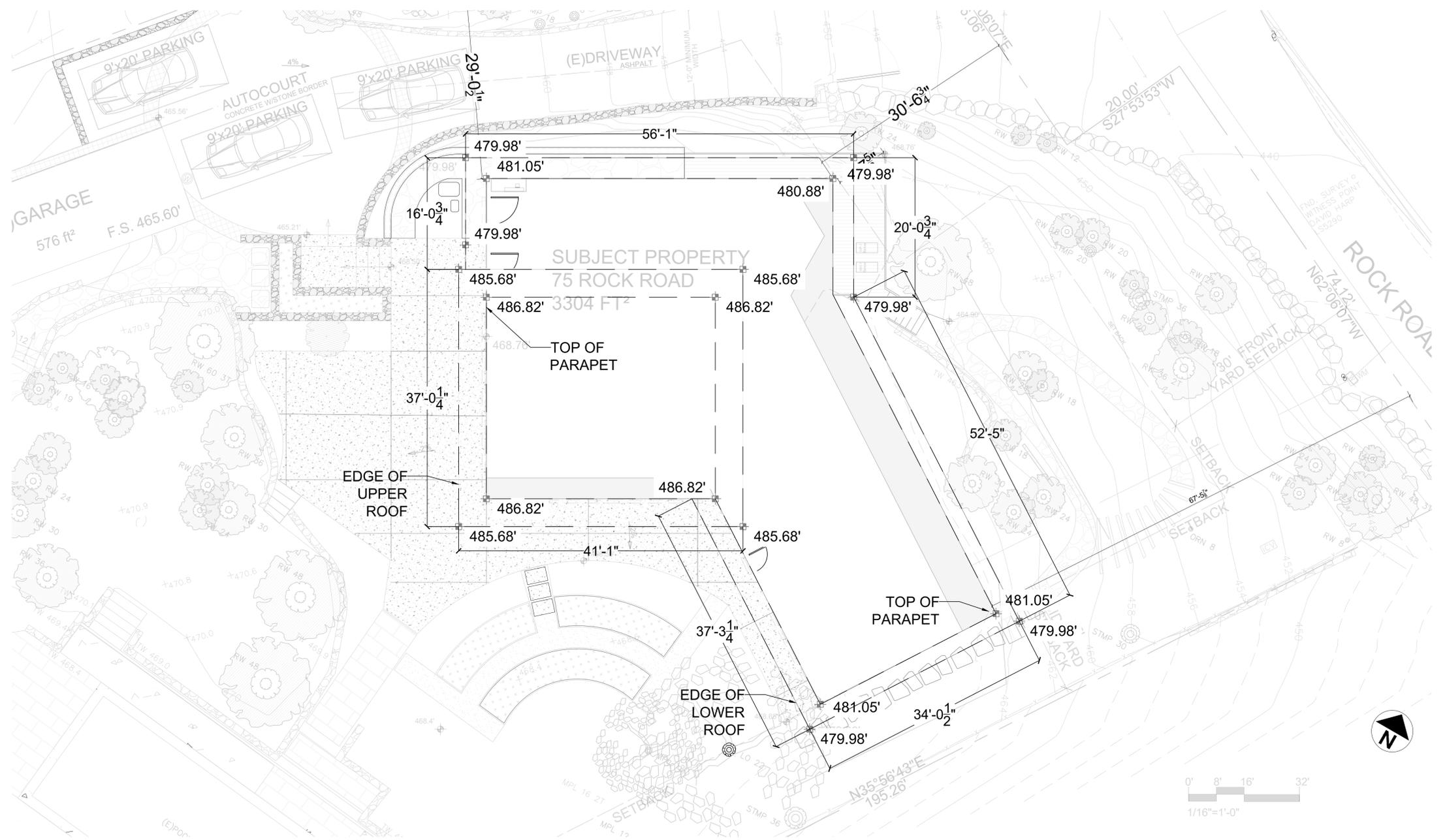
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Sheet Title _____

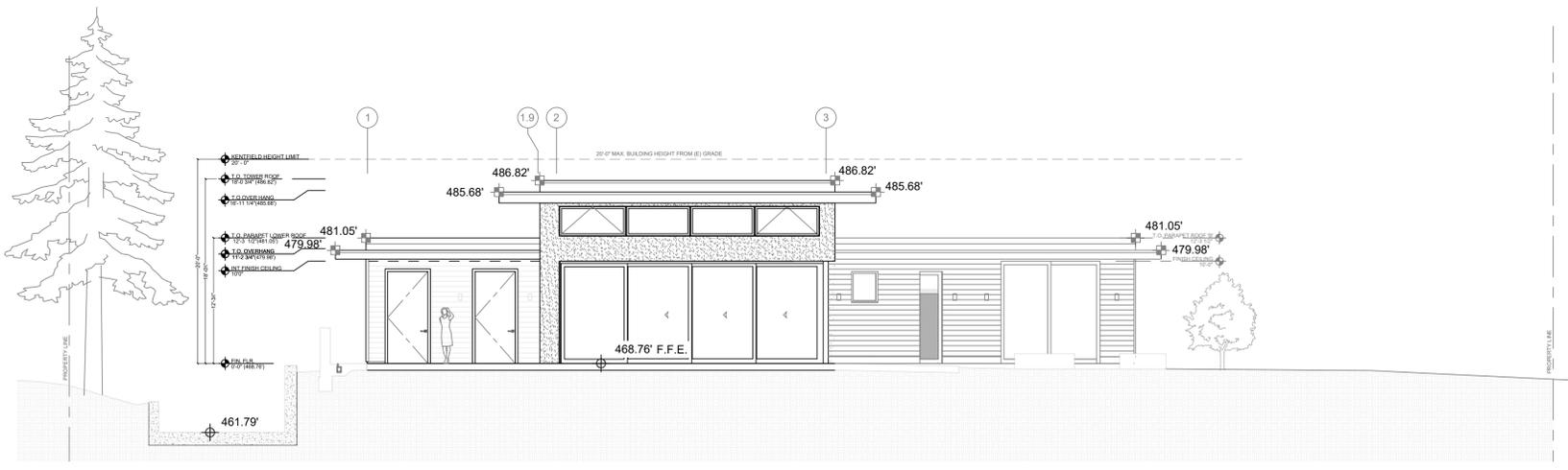
SITE PLAN

Sheet No. _____

A1.5



1 STORY POLE PLAN
1/8" = 1'-0"

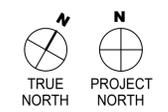


2 SITE SECTION
1/8" = 1'-0"

GOSHAY RESIDENCE

75 Rock Road

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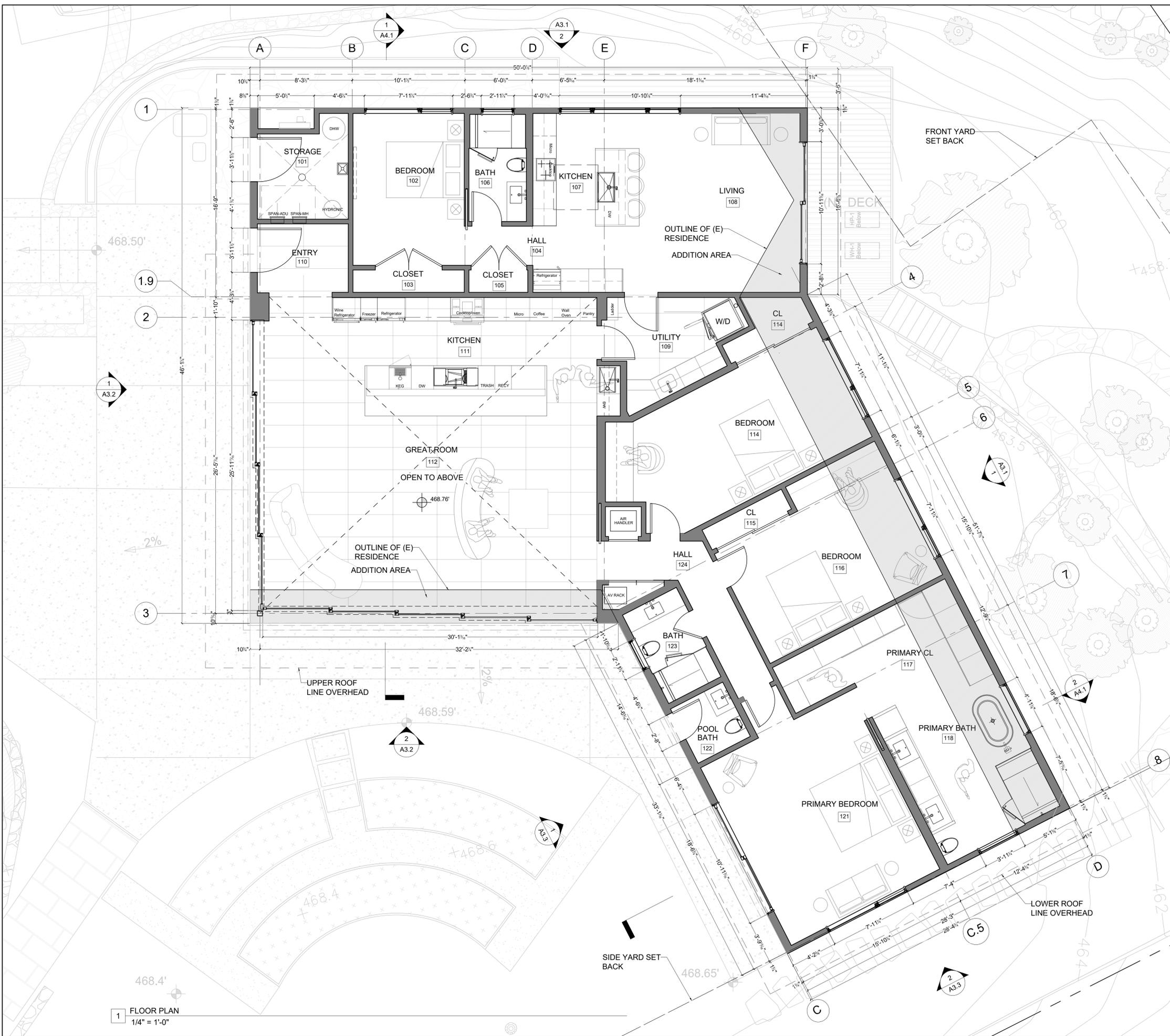
Scale _____

AS NOTED

Sheet Title _____

STORY POLE PLAN

Sheet No. _____



1 FLOOR PLAN
1/4" = 1'-0"

LEGEND

SHEET NOTES

KEY NOTES

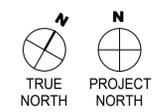
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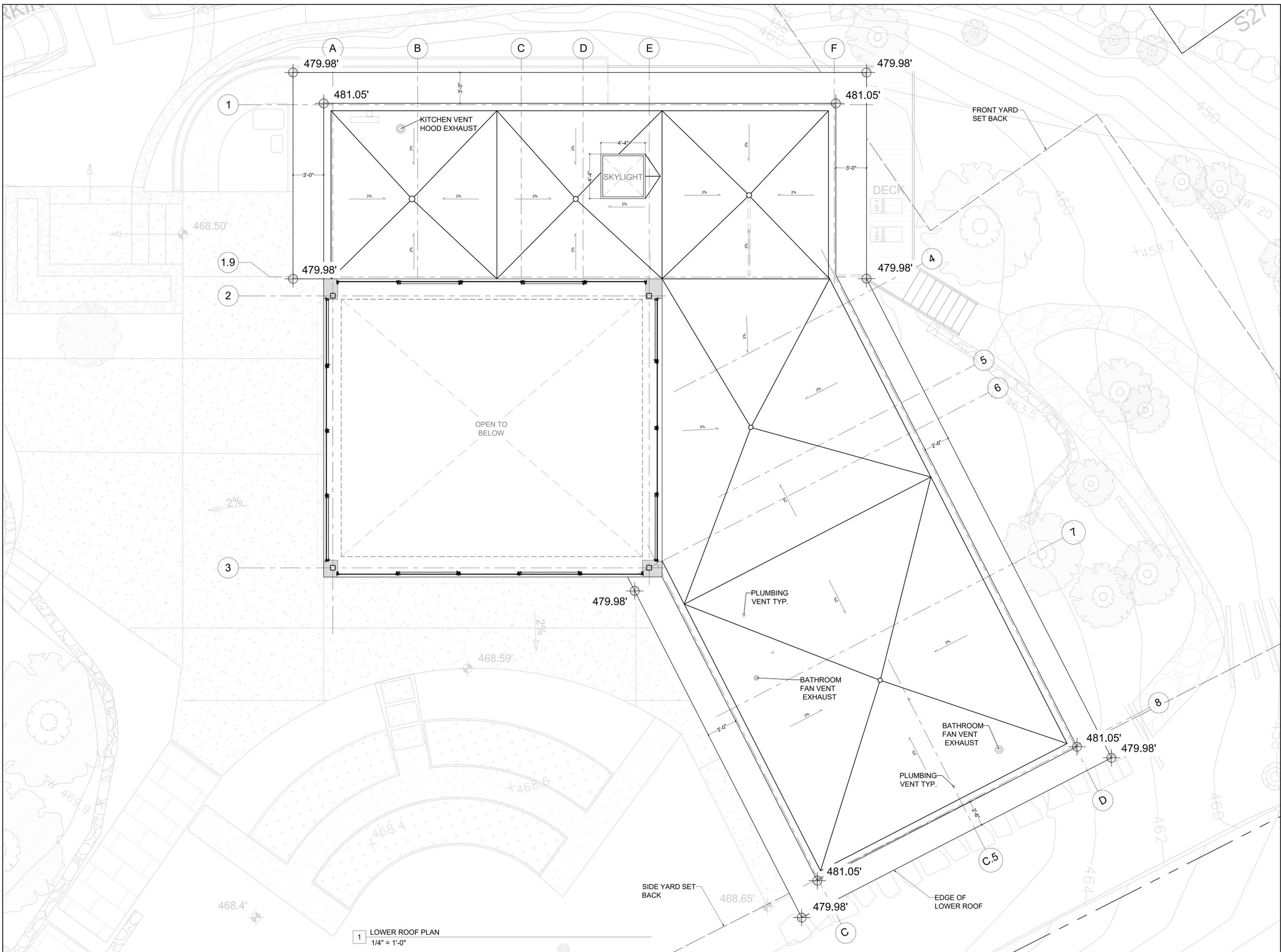
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Scale: 1/4" = 1'-0"

Sheet Title: FLOOR PLAN

Sheet No.: A2.1

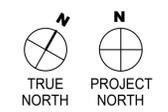


1 LOWER ROOF PLAN
1/4" = 1'-0"

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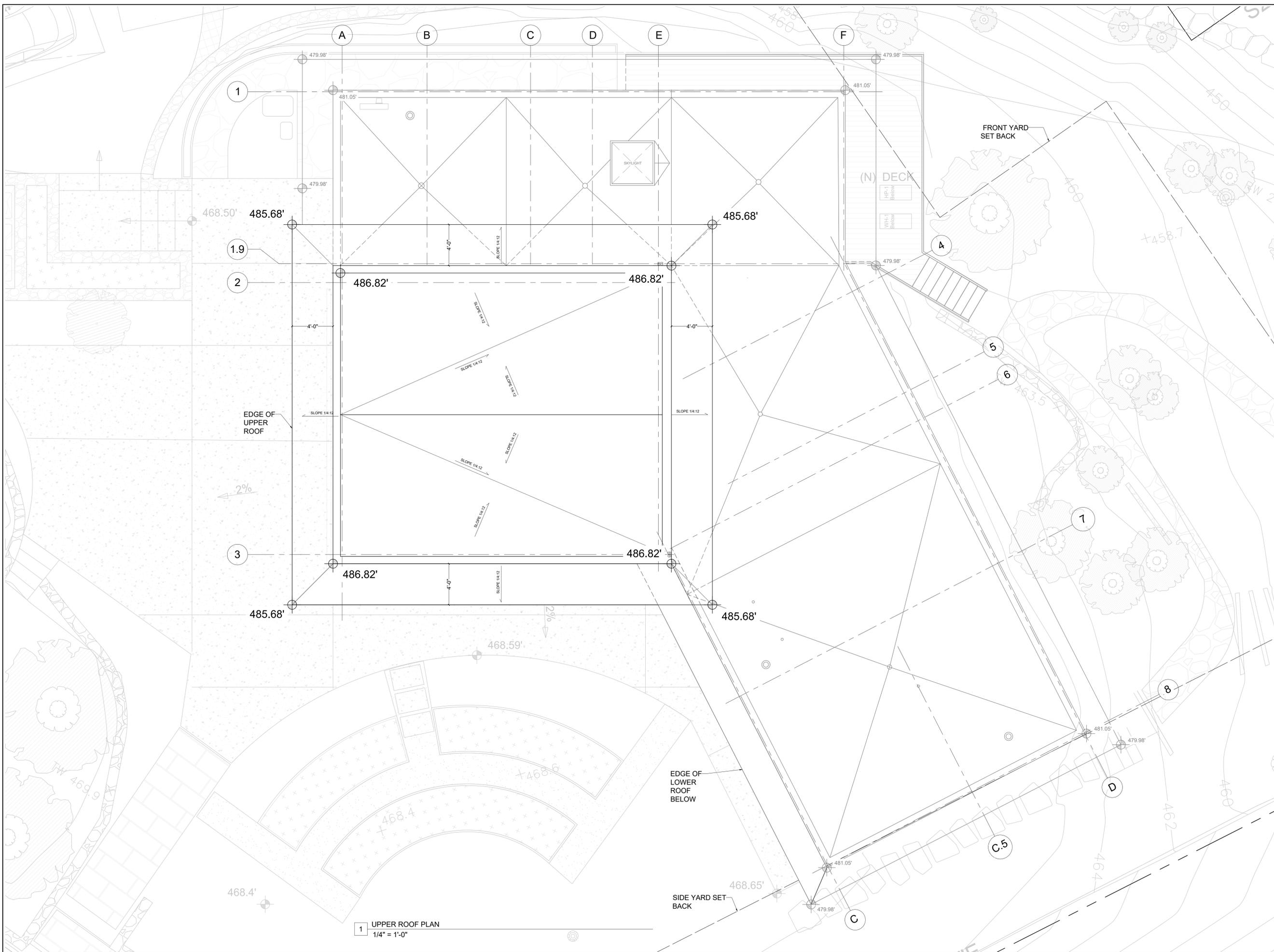
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Scale
1/4" = 1'-0"

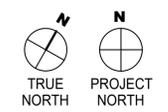
Sheet Title
LOWER ROOF PLAN

Sheet No.
A2.2



1 UPPER ROOF PLAN
1/4" = 1'-0"

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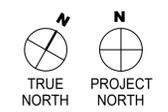
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Scale
1/4" = 1'-0"

Sheet Title
UPPER ROOF PLAN

Sheet No.
A2.3

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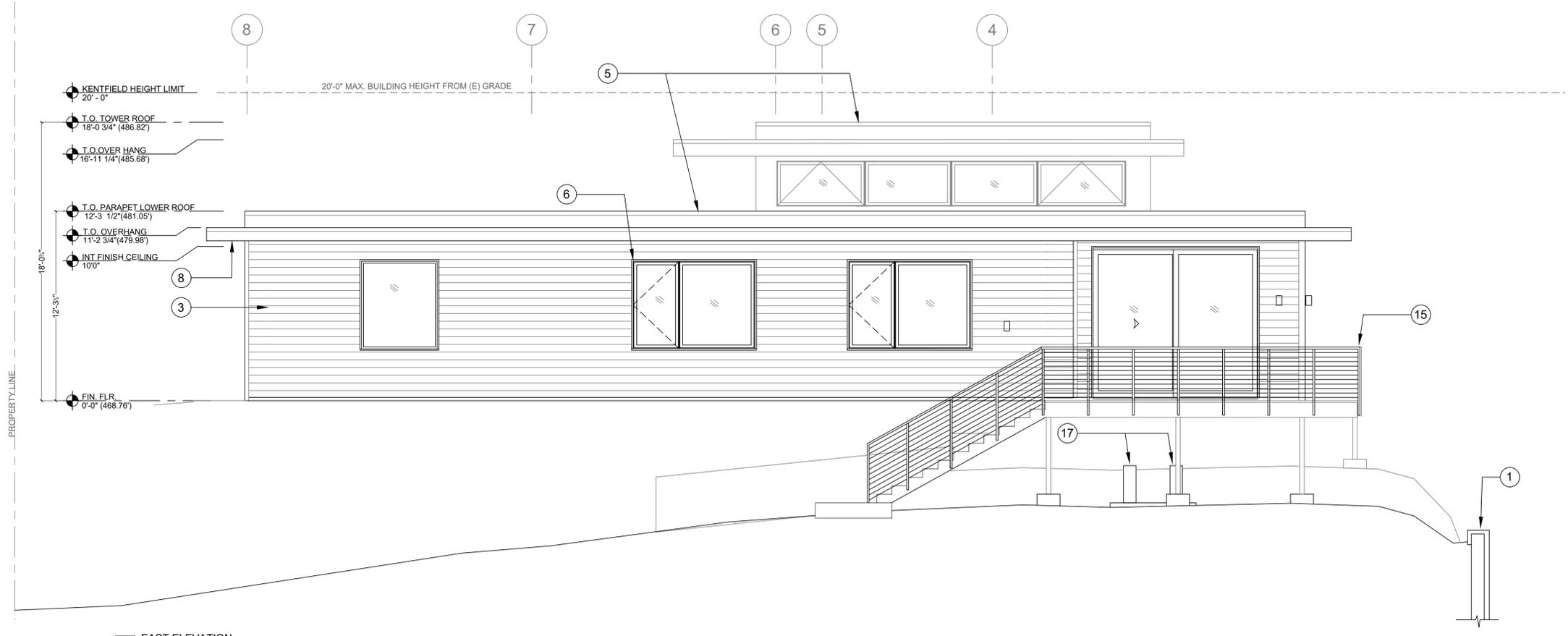
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Scale
1/4" = 1'-0"

Sheet Title
ELEVATIONS

Sheet No.
A3.1



- KEY NOTES:**
- 1 STONE CLAD RETAINING WALL
 - 2 GREEN FENCE
 - 3 PAINTED CEMENT BOARD V GROOVE SIDING
 - 4 WOOD SLAB DOOR
 - 5 TPO ROOFING MEMBRANE
 - 6 BRONZE CLAD WINDOWS AND DOORS
 - 7 STUCCO WALL FINISH
 - 8 WOOD CLAD SOFFIT
 - 9 CONCRETE TERRACE
 - 10 (E) TREE
 - 11 EXTERIOR LIGHT FIXTURE
 - 12 (N)STEPPING STONES
 - 13 EXPOSED STEEL COLUMN
 - 14 FLAGSTONE PATH
 - 15 GUARDRAIL @ 42" A.F.F., DARK PAINTED METAL
 - 16 PG AND E METER MAIN
 - 17 MECHANICAL EQUIPMENT 54 dba MAX.
 - 18 (N)TREE SEE LANDSCAPE DRAWINGS
 - 19 (N)STEP LIGHT
 - 20 OBSCURE GLASS ON DOOR

1 EAST ELEVATION
1/4" = 1'-0"

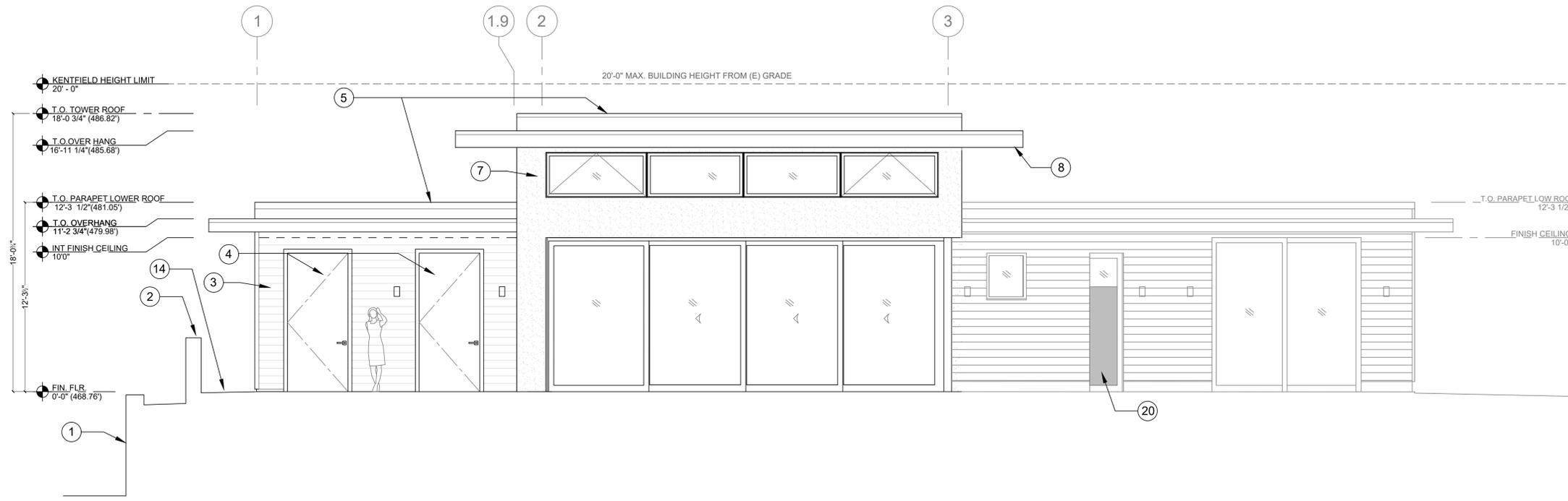


2 NORTH ELEVATION
1/4" = 1'-0"

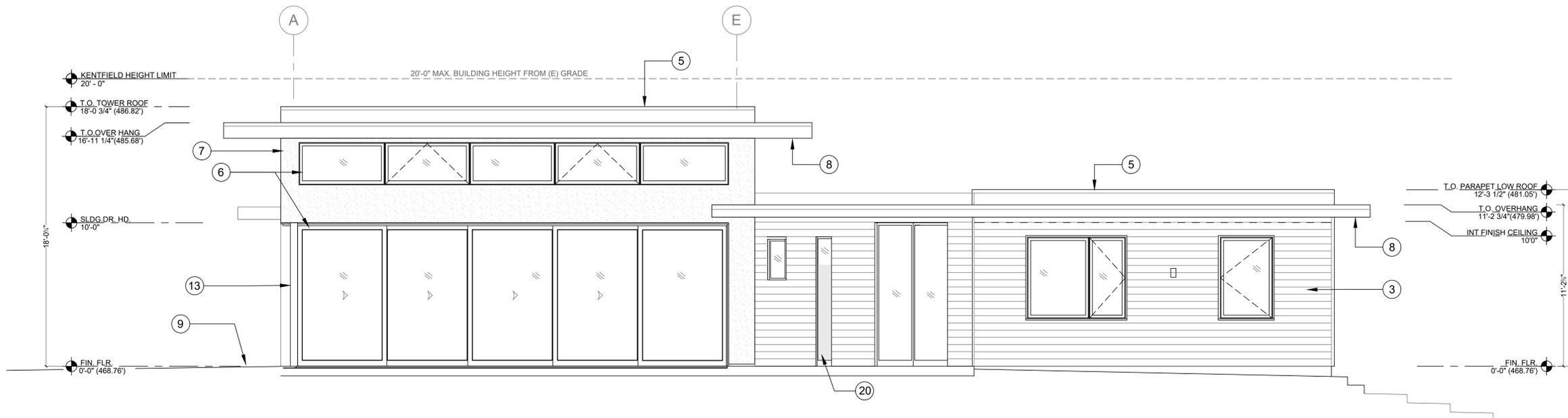
GOSHAY RESIDENCE
75 Rock Road
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KEY NOTES:

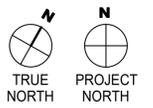
- 1 STONE CLAD RETAINING WALL
- 2 GREEN FENCE
- 3 PAINTED CEMENT BOARD V GROOVE SIDING
- 4 WOOD SLAB DOOR
- 5 TPO ROOFING MEMBRANE
- 6 BRONZE CLAD WINDOWS AND DOORS
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- 17 MECHANICAL EQUIPMENT 54 dba MAX.
- 18 (N) TREE SEE LANDSCAPE DRAWINGS
- 19 (N) STEP LIGHT
- 20 OBSCURE GLASS ON DOOR



1 WEST ELEVATION
1/4" = 1'-0"



2 SOUTH ELEVATION
1/4" = 1'-0"



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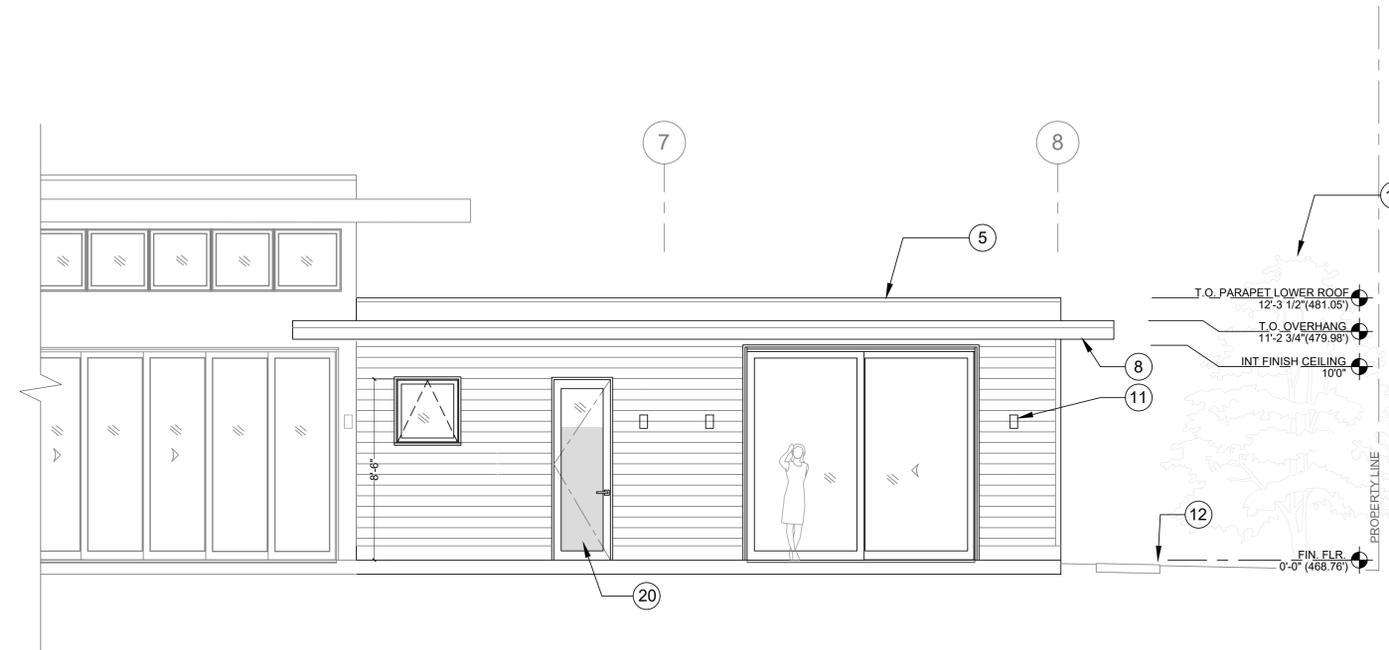
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Scale: 1/4" = 1'-0"

Sheet Title: ELEVATIONS

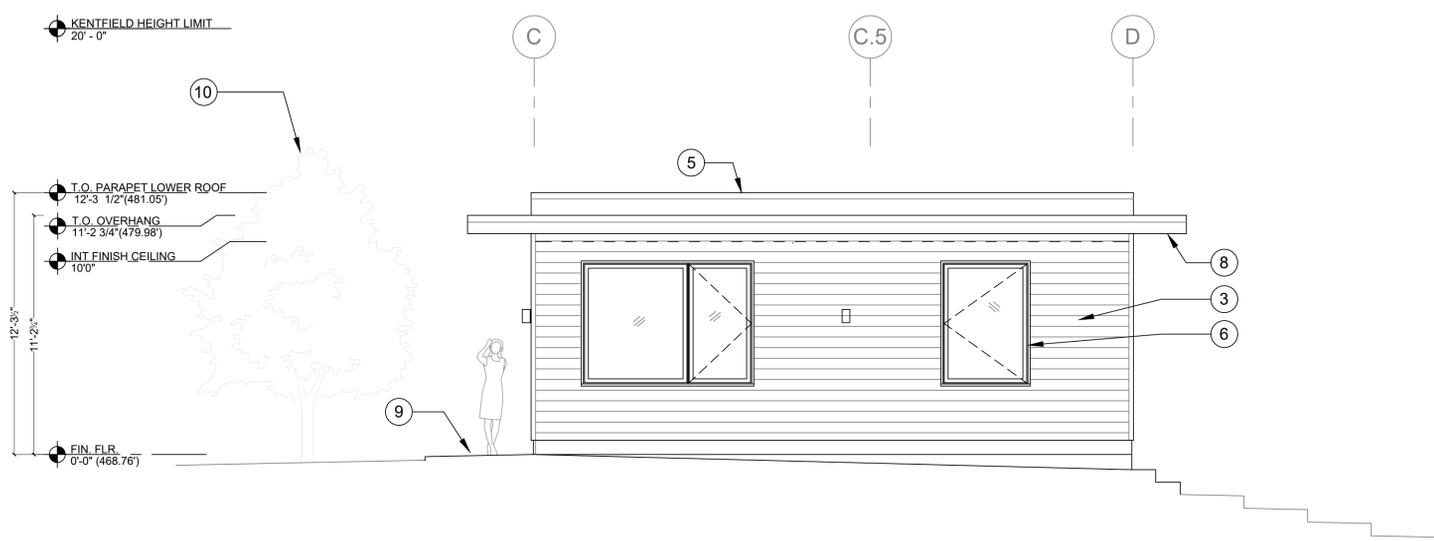
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KEY NOTES:

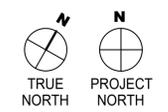
- 1 STONE CLAD RETAINING WALL
- 2 GREEN FENCE
- 3 PAINTED CEMENT BOARD V GROOVE SIDING
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1 PARTIAL SOUTH/EAST ELEVATION
1/4" = 1'-0"



2 SOUTH/EAST ELEVATION
1/4" = 1'-0"

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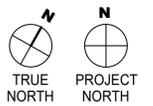
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Scale
1/4" = 1'-0"

Sheet Title
ELEVATIONS

Sheet No.
A3.3

GOSHAY RESIDENCE
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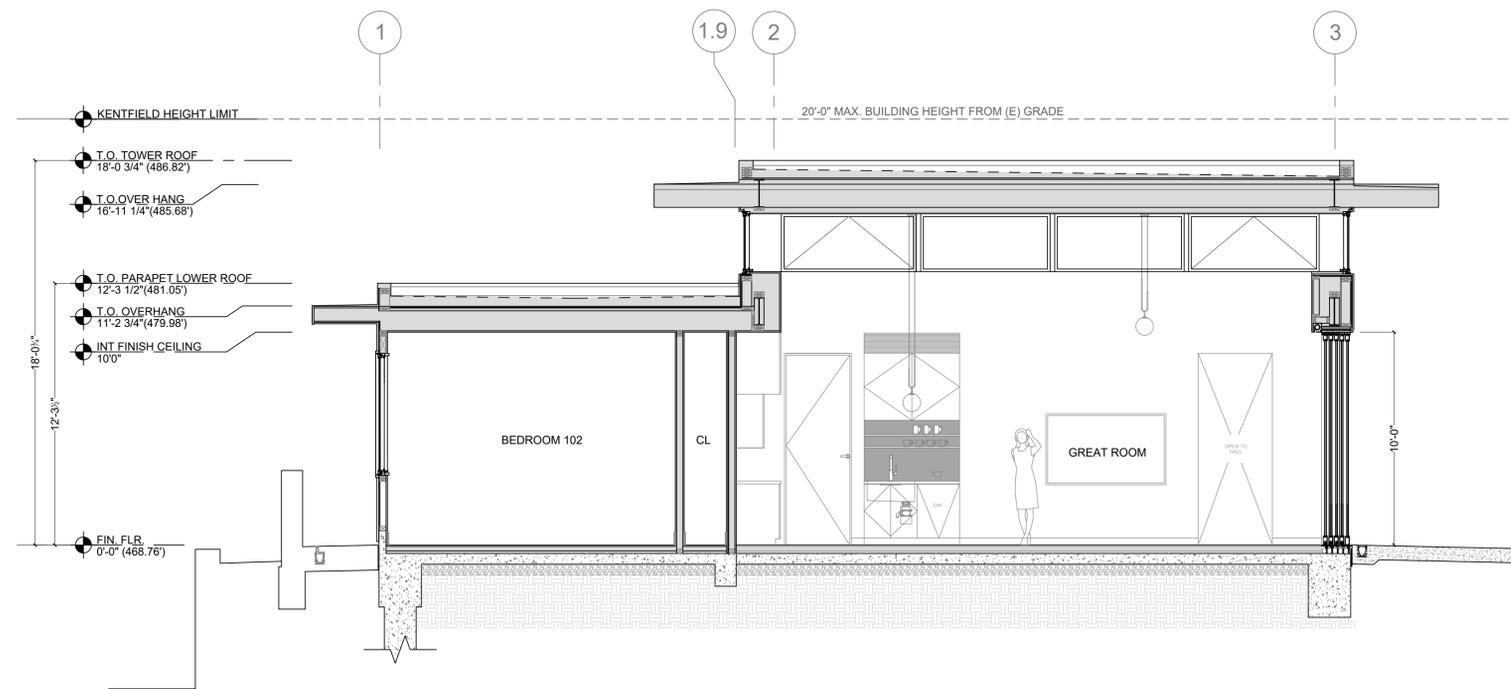
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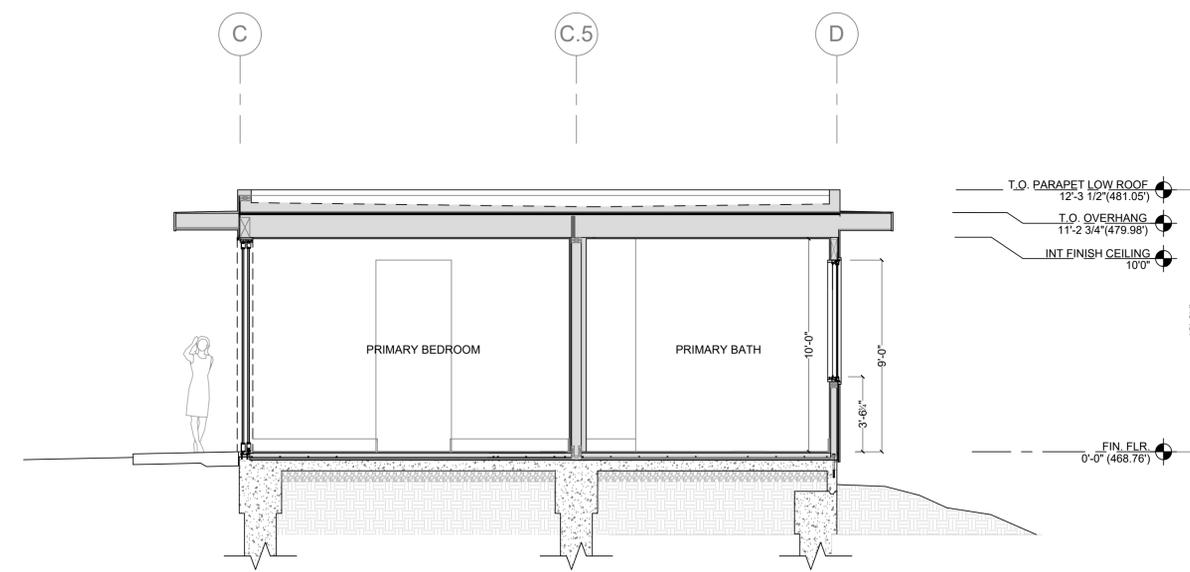
Scale
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Sheet Title
BUILDING SECTIONS

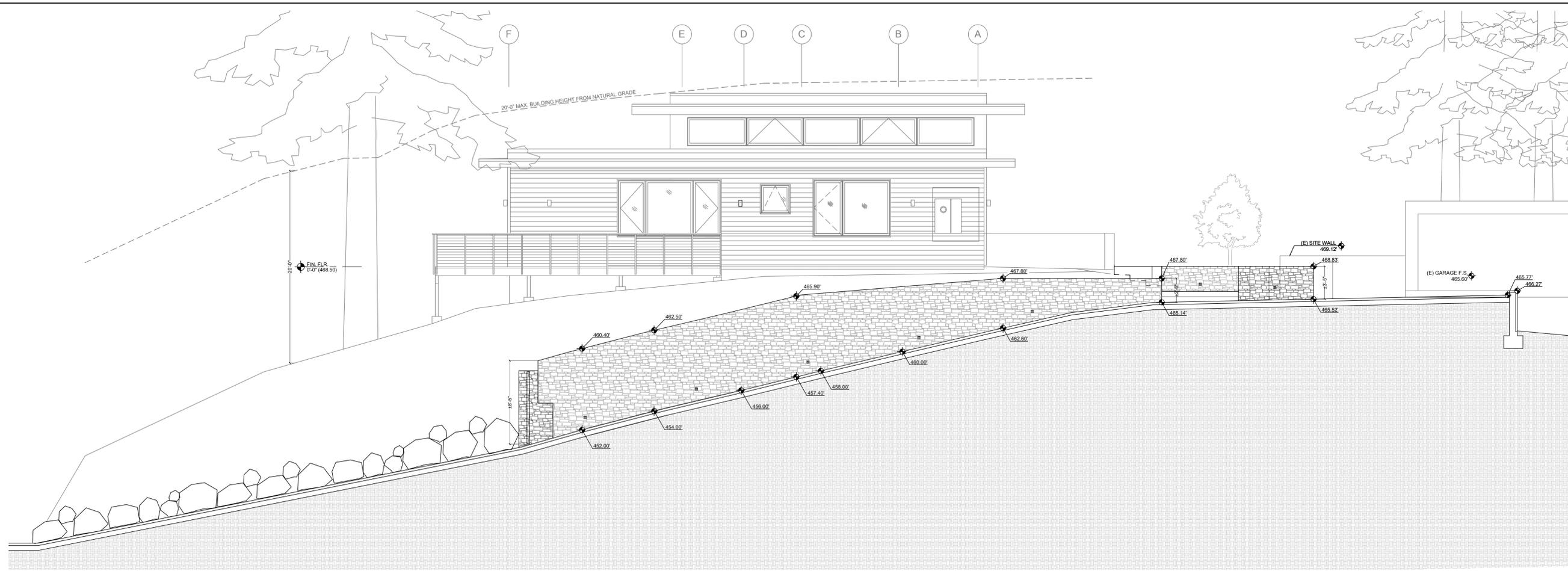
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A4.1



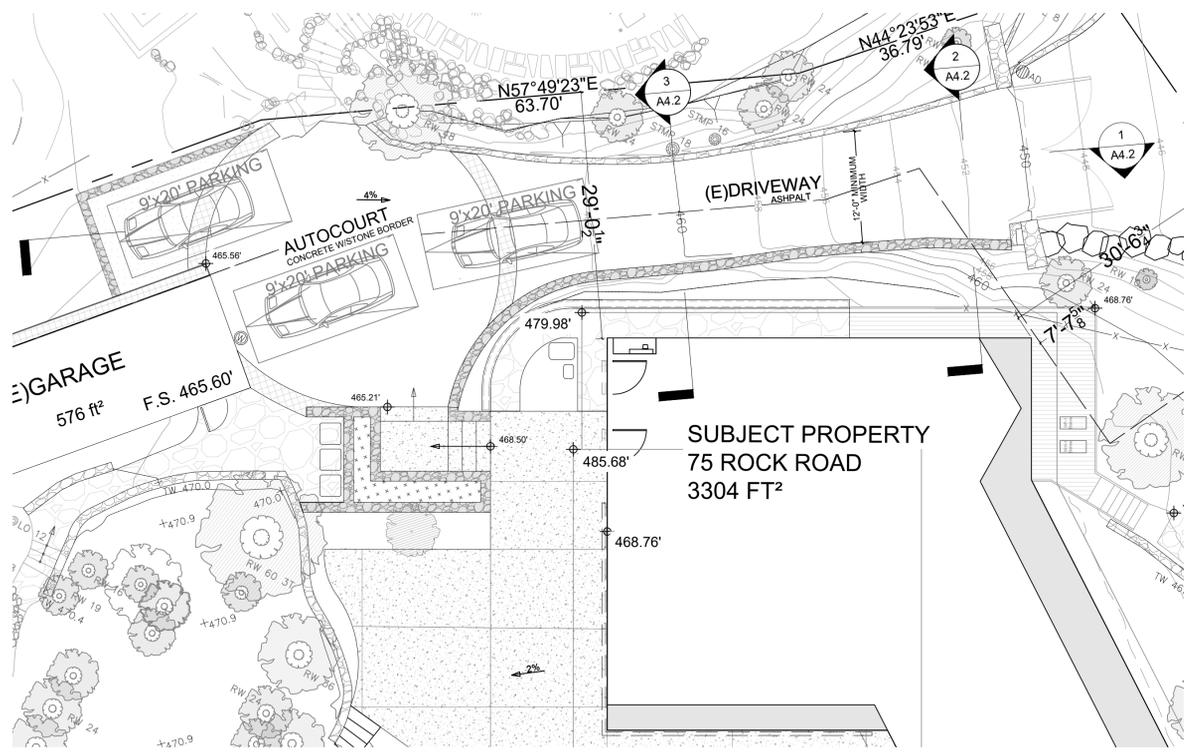
1 SECTION
1/4" = 1'-0"



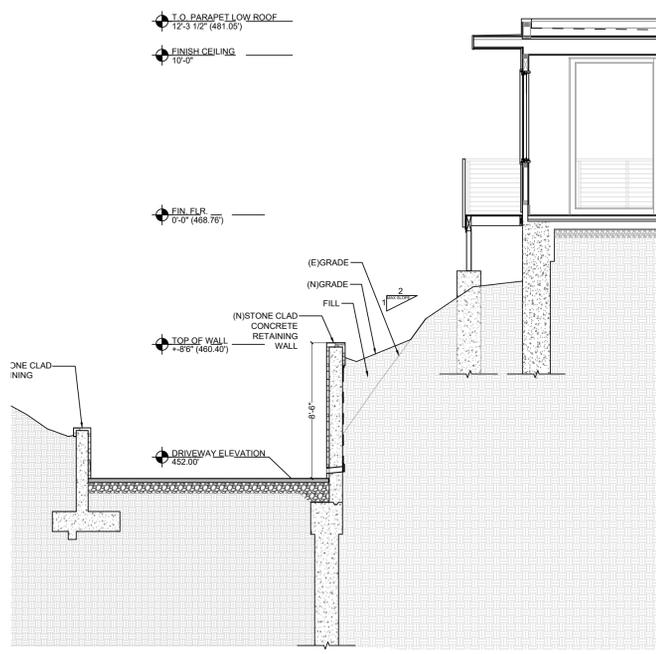
2 SECTION
1/4" = 1'-0"



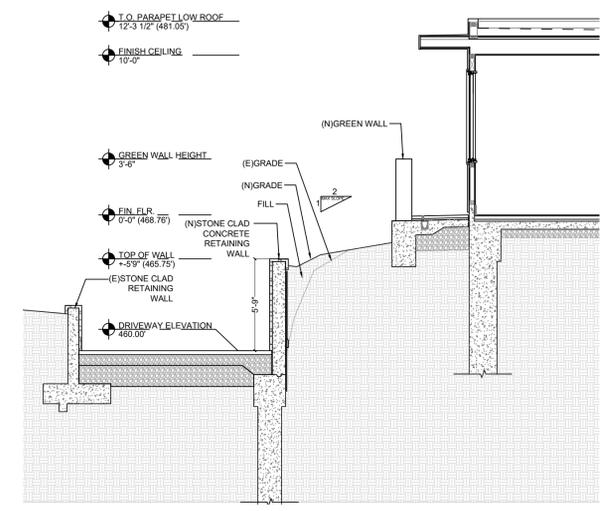
1 DRIVEWAY RETAINING WALL/SITE ELEVATION
3/16" = 1'-0"



4 DRIVEWAY RETAINING WALL/SITE KEY
N.T.S.

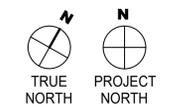


2 DRIVEWAY RETAINING WALL/SITE SECTIONS
3/16" = 1'-0"



3 DRIVEWAY RETAINING WALL/SITE SECTIONS
3/16" = 1'-0"

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AS NOTED

Sheet Title
DRIVEWAY RETAINING WALL/SITE SECTIONS

Sheet No.

A4.2



Lighting Fixture Schedule							
TYPE	MANUFACTURER	DESCRIPTION	MODEL SPEC	LAMP	WATTS	LUMENS	NOTES:
DX1	BEGA	EXTERIOR DIRECTIONAL WALL LIGHT	B33581	LED	8.6	151	
E12W	ACULUX	3" IC ROUND RECESSED	INIT 3-12LM-27K-90	LED	12	1281	PIN HOLE TRIM DAMP LOCATION
D102	ROLL & HILL	PENDANT LIGHT	KOKO PENDANT 02	LED	3	300	
L1	SPJ LIGHTING INC.	PATH LIGHT	SPJ18-811-MBR-2W-27K-8-15V	LED	2	150	
L2	BEGA	FLUSH MOUNT STEP LIGHT	B24210	LED	5	321	
L3	SPJ LIGHTING INC.	MARKER LIGHT	SPJ-GDG-LB1-MBR-FLOOD-300-2700K-8-15V	LED	5	200	
L4	SPJ LIGHTING INC.	UP LIGHT	VSPJ-MR.UNIVERSE-MBR-2W-27K-8-15	LED	2	150	

Roll & Hill
T: +1 718 387 6132
www.rollandhill.com

Koko
Series: Koko
Product: Pendant 02
Dimensions: With 10" glass L: 10in/25.4cm x W: 10in/25.4cm x H: 31in/78.7cm
With 8" glass L: 8in/20.3cm x W: 8in/20.3cm x H: 29in/73.7cm
Weight: With 10" glass 5.8lb/2.6kg
With 8" glass 4lb/1.8kg

Pendant 02
Materials: Brass, Glass
Glass Color: Frosted opal
Finishes/Colors: Matte Black, Unlacquered Brass
Cord Colors: Black, Natural Linen
Suspension: Cord 96in/244cm length included. 14in/36cm length available for additional cost. Cord length can be adjusted on site.
Ceiling Slope: 0°-90° mounting slope.
Certifications: UL EUL (120V) CE (240V)

Designed by Nash Maltritz Updated 02AUG2023

ACULUX
TRIM STYLE

INITIA™ INIT3 | 3" APERTURE
Downtight | Wall Wash | 400 - 1500 Lumens

FEATURES
AFFORDABLE & ELEGANT PRECISION RECESSED
• Complete family of recessed downtight, adjustable, and wall wash luminaires
• Available with reflector, bevel and pinhole trims
• Coordinated apertures with Aculux AX3 family

QUIET AND GLARE FREE APERTURES
• Deep source regression with 45-degree visual cutoff
• Total Internal Reflection (TIR) Optics in four (4) beam spreads

EXCELLENT PERFORMANCE
• Up to 1500 lumens delivered!
• Exceptionally consistent color with < 2SDCM
• Excellent color rendition with 80+ CRI | 90+ CRI Available
• WarmDim™ option mimics halogen dimming (3000K - 1800K)

PERFORMANCE
Static White*

LUMEN PACKAGE	WATTS IN	DELIVERED LUMENS	EFFICACY (LPW)
12LM	12	1294	108

Beam
SDD - 50° beam

ICAT

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www.acuitylighting.com • Phone: 800-705-SERV (7378) • Specifications subject to change without notice. INIT3 DL WW | Rev. 05/08/23 Page 1 of 7

Wall luminaire - Narrow beam downward
BEGA

Application
Designed to provide down lighting effects for interior and exterior locations featuring narrow beam light distribution.

Materials
Clear safety glass
Marine grade, copper free (0.3% copper content) A500.0 aluminum alloy
Silicone applied robotically to casting, plasma treated for increased adhesion
High temperature silicone gasket
Mechanically captive stainless steel fasteners
Pure anodized aluminum reflector
NRTL listed to North American Standards, suitable for wet locations
Protection class IP 65
Weight: 5.3 lbs.

Electrical
Operating voltage: 120-277VAC
Minimum start temperature: -32°C
LED module wattage: 7.9W
System wattage: 10.3W
Controlability: 0-10V, TRIAC, and ELV dimmable
Ra > 80
747 lm
LED service life (L70): 60000hrs

LED color temperature
□ 4000K (K4)
□ 5000K (K5)
□ 3000K (K3)
□ 2700K (K2)

BEGA can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details

Finish
All BEGA standard finishes are matte, textured powder coat with minimum 3 mil thickness. BEGA Unidura® finish, a fluoropolymer technology, provides superior fade protection in Black, Bronze, and Silver. BEGA standard White is a super durable polyester powder. Optionally available RAL and custom color finishes provided in either polyester powder or liquid paint.

Available colors
□ Black (BK)
□ Silver (SLV)
□ Bronze (BRZ)
□ White (WHT)
□ CUS: Custom finish

Available options
□ CUS: Custom finish
□ FRC: Frosted lens
□ FSC: Fining
□ MGJ: Marine grade undercoat
□ RAL: RAL finish
□ SRG: Surge protection

Wet Listed

SPJ LIGHTING Inc.
ARCHITECTURAL, LANDSCAPE & OUTDOOR LIGHTING

Directional Light
MR. UNIVERSE

MODEL: MR. UNIVERSE
MATERIAL: Solid Brass
FINISH/SHOWN: Matte Bronze
ELECTRICAL: 8-15v
WATTAGE: 2W
ENGINE: FB-2W-CTL-TA16
LUMENS: 150
MOUNTING: 1/2" NPT, Dual Fin Spike Included

FINISHES
□ Matte Bronze (MBR)
□ Verde (V)
□ Moss (M)
□ Black (B)
□ Rusty (R)
□ Satin Brass (SB)
□ Aged Brass (AB)
□ Raw Copper (RC)
□ Natural Copper (NC)
PVD PFS/PM/AM
□ PVD Polished (PVP)
□ PVD Satin (PVS)
□ PVD Graphite (PVG)
□ PVD Bronze (PVBZ)
□ PVD Black (PVBK)

WATTAGE LUMENS
□ 1W 80
□ 2W 150
□ 3W 200
□ 6W 300
Custom lumen packages are available upon request.

COLOR TEMPERATURE
□ 2200K □ 5000K
□ 2700K □ 6500K
□ 3000K □ RGBW
□ 4000K □ WARM DIMMING
Custom options are available.

ELECTRICAL
□ 8-15V □ 120V

OPTICS
□ SPOT 15d
□ FLOOD 36d
□ WIDE FLOOD 54d
□ WIDE ANGLE FLOOD 120d

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Wet Listed

SPJ LIGHTING Inc.
ARCHITECTURAL, LANDSCAPE & OUTDOOR LIGHTING

Marker Light & Accent
SPJ-GDG-LB1

MODEL: SPJ-GDG-LB1
MATERIAL: Solid Brass
FINISH/SHOWN: PVD Satin
ELECTRICAL: 8-15V, 120V
WATTAGE: 3W
ENGINE: FB-2W-CTL-TA16
LUMENS: 200
OPTIC: Wide Angle Flood
MOUNTING: Recessed

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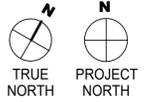
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GOSHAY RESIDENCE
75 Rock Road
Partial Demolition and renovations to an existing single family residence
Assessor's Parcel #: 074-161-27
75 Rock Road
Kentfield CA 94904



Revision No. _____ Date _____

Date: 04.12.2024

Issued For: DESIGN REVIEW

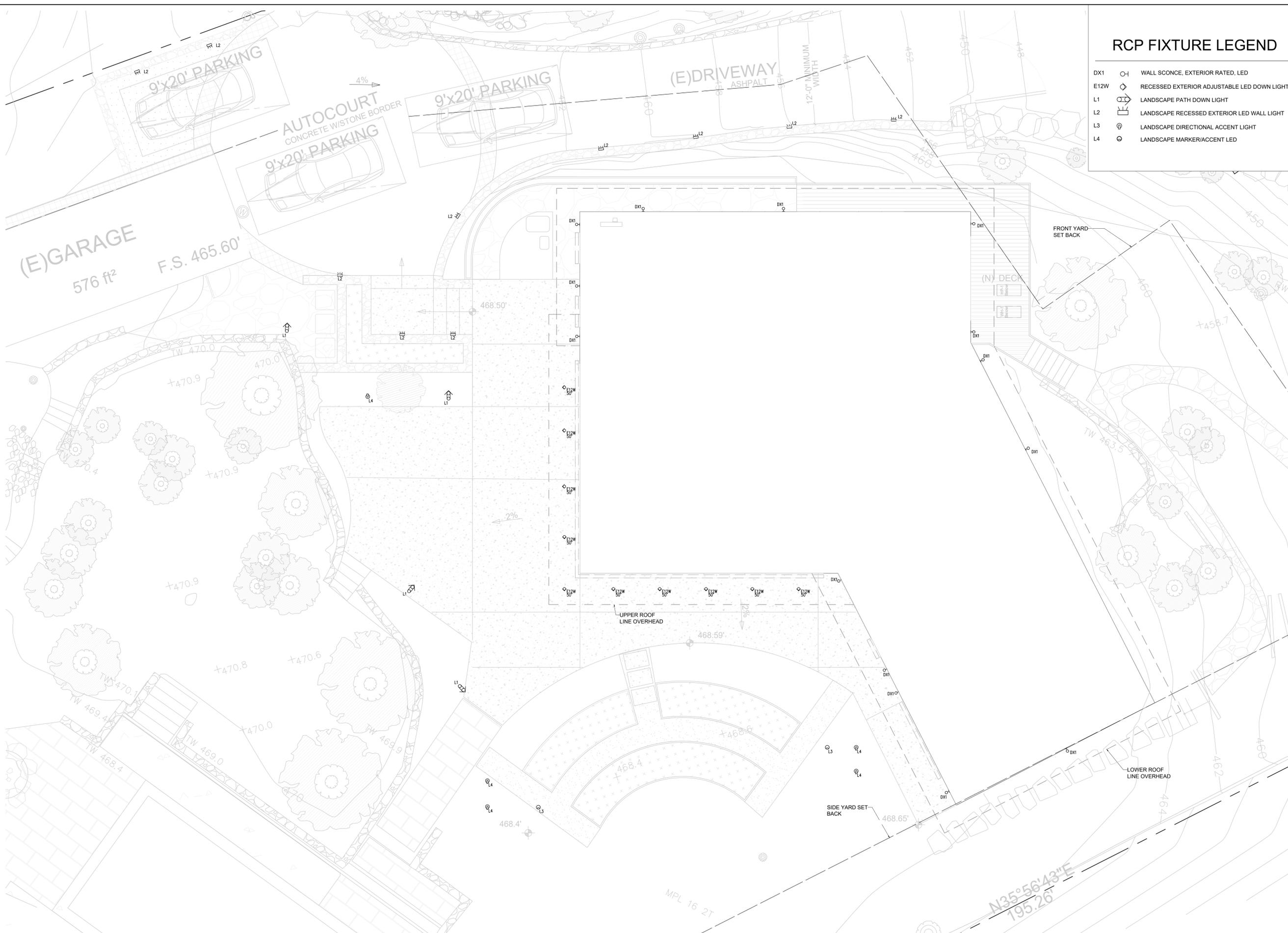
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Sheet Title: LIGHTING FIXTURES & SCHEDULES

Sheet No. _____

A5.1



RCP FIXTURE LEGEND

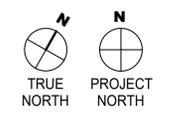
- DX1  WALL SCONCE, EXTERIOR RATED, LED
- E12W  RECESSED EXTERIOR ADJUSTABLE LED DOWN LIGHT
- L1  LANDSCAPE PATH DOWN LIGHT
- L2  LANDSCAPE RECESSED EXTERIOR LED WALL LIGHT
- L3  LANDSCAPE DIRECTIONAL ACCENT LIGHT
- L4  LANDSCAPE MARKER/ACCENT LED

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75 Rock Road
Kentfield CA 94904



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Scale: 1/4" = 1'-0"

Sheet Title: EXTERIOR LIGHTING & RCP

Sheet No. _____

A5.2

1 RCP AND EXTERIOR LIGHTING PLAN
3/16" = 1'-0"

GRADING AND DRAINAGE NOTES

- PERFORM GRADING AND DRAINAGE IMPROVEMENTS IN ACCORDANCE WITH CURRENT EDITION OF THE CALIFORNIA BUILDING CODE (CBC), APPENDIX J AND APPLICABLE COUNTY OF MARIN CODE AND REGULATIONS.
- ALL WORK SHALL BE DONE IN COMPLIANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF RECORD UPON DISCOVERING DISCREPANCIES, ERRORS, OR OMISSIONS IN THE PLANS. PRIOR TO PROCEEDING, THE OWNER SHALL HAVE THE PLANS REVISED TO CLARIFY IDENTIFIED DISCREPANCIES, ERRORS, OR OMISSIONS. THE APPROVED PLANS AND SPECIFICATIONS SHALL NOT BE CHANGED WITHOUT THE WRITTEN APPROVAL OF THE MARIN COUNTY BUILDING DEPARTMENT. PROPOSED MODIFICATIONS TO THE APPROVED PLANS AND SPECIFICATIONS SHALL BE SUBMITTED TO THE PERMIT AUTHORITY IN WRITING, TOGETHER WITH ALL NECESSARY TECHNICAL INFORMATION AND DESIGN DETAILS.
- THE GRADING/DRAINAGE PERMIT AND AN APPROVED COPY OF THE GRADING/DRAINAGE PLANS SHALL BE MAINTAINED ON THE PROJECT SITE THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITIES.
- MARIN COUNTY BUILDING DEPARTMENT MAY ORDER THAT ANY WORK STOP IMMEDIATELY IF IT IS PERFORMED CONTRARY TO CBC APPENDIX J, MILL VALLEY CODE AND REGULATIONS, THE APPROVED PLANS AND SPECIFICATIONS, PERMIT CONDITIONS, OR ANY WORK THAT HAS BECOME HAZARDOUS TO PROPERTY OR THE PUBLIC.
- ISSUANCE OF A GRADING/DRAINAGE PERMIT BY COUNTY OF MARIN DOES NOT ELIMINATE THE RESPONSIBILITY OF THE OWNER TO SECURE PERMITS FROM OTHER AGENCIES WITH REGULATORY RESPONSIBILITIES FOR THE CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE WORK ON THESE PLANS. FAILURE TO OBTAIN ALL REQUIRED PERMITS MAY RESULT IN FINES FROM THE RESPECTIVE AGENCY.
- EXISTING DRAINAGE COURSES RECEIVING WATERS FROM THIS SITE AND LOCATED THROUGHOUT THIS SITE SHALL REMAIN OPEN AND CLEAR OF DEBRIS TO PROPERLY CONVEY STORM WATER. IF EXISTING DRAINAGE COURSES RECEIVING WATERS FROM THIS SITE ARE LOCATED IN CITY RIGHT-OF-WAY AND NEED MAINTENANCE, CONTACT MARIN COUNTY DEPARTMENT OF PUBLIC WORKS AT (415) 473-6530 FOR FURTHER ASSISTANCE. IN ANY EVENT, THE OWNER AND/OR CONTRACTOR SHALL BE HELD LIABLE FOR ANY DAMAGE DUE TO OBSTRUCTING NATURAL DRAINAGE PATTERNS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UNDERGROUND SERVICE ALERT (U.S.A.), TOLL FREE AT 1-800-642-2444, AT LEAST TWO WORKING DAYS BUT NOT MORE THAN 14 CALENDAR DAYS PRIOR TO EXCAVATION. THE CONTRACTOR SHALL UNCOVER RELEVANT UTILITIES TO VERIFY THEIR LOCATION AND ELEVATION. IF UNEXPECTED OR CONFLICTING UTILITIES ARE ENCOUNTERED DURING EXCAVATION, NOTIFY U.S.A., THE UTILITY OWNER, AND/OR THE ENGINEER OF RECORD IMMEDIATELY. UTILITIES INCLUDE BUT ARE NOT LIMITED TO WATER, SEWER, ELECTRICAL, GAS, TELEPHONE, AND CABLE/TV. IF PRACTICAL, THE EXCAVATOR SHALL DELINEATE WITH WHITE PAINT OR OTHER SUITABLE MARKINGS THE AREA TO BE EXCAVATED.
- IN THE EVENT CULTURAL RESOURCES (I.E., HISTORICAL, ARCHAEOLOGICAL, AND PALEONTOLOGICAL RESOURCES, AND HUMAN REMAINS) ARE DISCOVERED DURING GRADING OR OTHER CONSTRUCTION ACTIVITIES, WORK SHALL IMMEDIATELY BE HALTED WITHIN THE VICINITY OF THE FIND. THE NORTHWEST INFORMATION CENTER SHALL BE NOTIFIED AT (707) 664-0880. A QUALIFIED ARCHEOLOGIST SHALL BE CONSULTED FOR AN ON-SITE EVALUATION. ADDITIONAL MITIGATION MAY BE REQUIRED BY THE CITY OF MILL VALLEY PER THE ARCHEOLOGIST'S RECOMMENDATIONS. IF HUMAN BURIALS OR HUMAN REMAINS ARE ENCOUNTERED, THE CONTRACTOR SHALL ALSO NOTIFY THE COUNTY CORNER AT (415) 499-6043.
- SHOULD GRADING OPERATIONS ENCOUNTER HAZARDOUS MATERIALS, OR WHAT APPEAR TO BE HAZARDOUS MATERIALS, STOP WORK IMMEDIATELY IN THE AFFECTED AREA AND CONTACT 911 OR THE APPROPRIATE AGENCY FOR FURTHER INSTRUCTION.
- RETAINING WALLS, UNLESS EXEMPTED, ARE NOT APPROVED UNDER A GRADING PERMIT. A SEPARATE BUILDING PERMIT IS REQUIRED.
- EQUIPMENT SHALL NOT CROSS OR DISTURB CHANNELS OF ACTIVELY FLOWING STREAMS WITHOUT MARIN COUNTY APPROVED PERMIT AND BEST MANAGEMENT PRACTICES.
- GRADING AND DRAINAGE IMPROVEMENTS SHALL BE SET BACK FROM STREAMS, LAKES, PONDS, AND WETLANDS IN COMPLIANCE WITH CITY REQUIREMENTS. EXISTING VEGETATION SHALL BE RETAINED IN STREAM SETBACK AREAS TO FILTER SOIL AND OTHER POLLUTANTS CARRIED IN STORMWATER.
- EXCESS SOIL SHALL BE REMOVED FROM THE SITE UNLESS DEPICTED TO REMAIN ON SITE PER THE APPROVED PLAN. THE SITE RECEIVING SOIL MAY REQUIRE A GRADING PERMIT UNLESS EXEMPTED.
- CONTOURS, ELEVATIONS, AND SHAPES OF FINISHED SURFACES SHALL BE BLENDED WITH ADJACENT NATURAL TERRAIN TO ACHIEVE A CONSISTENT GRADE AND NATURAL APPEARANCE. THE TOP OF CUT SLOPES SHALL BE ROUNDED OFF TO BLEND WITH THE NATURAL TERRAIN. BORDERS OF CUT SLOPES AND FILLS SHALL BE ROUNDED OFF TO A MINIMUM RADIUS OF 5-FEET TO BLEND WITH THE NATURAL TERRAIN.
- FILL MATERIAL SHALL NOT INCLUDE ORGANIC, FROZEN, OR OTHER DELETERIOUS MATERIALS. NO ROCK OR SIMILAR IRREDUCIBLE MATERIAL GREATER THAN 6 INCHES IN ANY DIMENSION SHALL BE INCLUDED IN FILLS EXCEPT WHERE APPROVED BY THE SOILS ENGINEER. FILLS SHALL BE CONSTRUCTED IN LIFTS NOT EXCEEDING 8 INCHES IN DEPTH. COMPLETED FILLS SHALL BE STABLE, WELL-INTEGRATED, AND BONDED TO ADJACENT MATERIALS AND THE MATERIALS ON WHICH THEY REST. FILLS SHALL BE COMPETENT TO SUPPORT ANTICIPATED LOADS AND BE STABLE AT THE DESIGN SLOPES SHOWN ON THE APPROVED PLANS AND SPECIFICATIONS OR AS DIRECTED BY THE SOILS ENGINEER.
- GROUND SURFACES SHALL BE PREPARED TO RECEIVE FILL BY REMOVING VEGETATION, TOPSOIL, AND OTHER UNSUITABLE MATERIALS, AND SCARIFYING THE GROUND TO PROVIDE A BOND WITH THE FILL MATERIAL.
- FILL SHALL NOT BE PLACED ON NATURAL SLOPES STEEPER THAN 2H:(100Z).
- FILLS INTENDED TO SUPPORT STRUCTURES OR SURCHARGES SHALL BE COMPACTED TO A MINIMUM OF 90% OF MAXIMUM DRY DENSITY, AS DETERMINED BY ASTM D 1557, MODIFIED PROCTOR. A HIGHER COMPACTION PERCENTAGE MAY BE REQUIRED BY THE SOILS ENGINEER.
- FILLS NOT INTENDED TO SUPPORT STRUCTURES OR SURCHARGES SHALL BE COMPACTED AS FOLLOWS: (1) FILL GREATER THAN 3 FEET IN DEPTH SHALL BE COMPACTED TO THE DENSITY SPECIFIED BY THE SOILS ENGINEER. (2) FILLS NO GREATER THAN 3 FEET IN DEPTH SHALL BE COMPACTED TO THE DENSITY NECESSARY FOR THE INTENDED USE OR AS DIRECTED BY THE SOILS ENGINEER.
- ANY DISCREPANCY DISCOVERED BY CONTRACTOR IN THESE PLANS OR ANY FIELD CONDITIONS DISCOVERED BY CONTRACTOR THAT MAY DELAY OR OBSTRUCT THE PROPER COMPLETION OF THE WORK PER THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE CIVIL ENGINEER AND OWNER IMMEDIATELY UPON DISCOVERY. NOTIFICATION SHALL BE IN WRITING.

EROSION PREVENTION AND SEDIMENT CONTROL NOTES

- PERFORM EROSION PREVENTION AND SEDIMENT CONTROL IN ACCORDANCE WITH COUNTY OF MARIN REGULATIONS, WHICH FOLLOWS BEST MANAGEMENT PRACTICES (BMPs) AS SPECIFIED IN THE CALIFORNIA STORMWATER QUALITY ASSOCIATION (CASQA) MANUAL.
- EROSION/SEDIMENT CONTROL MEASURES MUST BE INSTALLED AS THE FIRST ORDER OF WORK.
- THE APPROVED PLANS SHALL CONFORM WITH MARIN COUNTY EROSION CONTROL REQUIREMENTS.
- THE OWNER IS RESPONSIBLE FOR PREVENTING STORM WATER POLLUTION GENERATED FROM THE CONSTRUCTION SITE YEAR ROUND. WORK SITES WITH INADEQUATE EROSION AND SEDIMENT CONTROL MAY BE SUBJECT TO A STOP WORK ORDER.
- IF DISCREPANCIES OCCUR BETWEEN THESE NOTES, MATERIAL REFERENCED HEREIN OR MANUFACTURER'S RECOMMENDATIONS, THEN THE MOST PROTECTIVE SHALL APPLY.

RAINY SEASON OPERATIONS

- THE OWNER MUST IMPLEMENT AN EFFECTIVE COMBINATION OF EROSION PREVENTION AND SEDIMENT CONTROL ON ALL DISTURBED AREAS DURING THE RAINY SEASON (OCTOBER 15 - APRIL 15). CONSTRUCTION GRADING AND DRAINAGE IMPROVEMENT SHALL BE PERMITTED DURING THE RAINY SEASON ONLY WHEN ON-SITE SOIL CONDITIONS PERMIT THE WORK TO BE PERFORMED IN COMPLIANCE WITH MARIN COUNTY STANDARD SPECIFICATIONS. STORM WATER BMPs REFERENCED OR DETAILED IN THE PERMIT AUTHORITY'S BEST MANAGEMENT PRACTICES GUIDE SHALL BE IMPLEMENTED AND FUNCTIONAL ON THE SITE AT ALL TIMES.
- THE AREA OF ERODIBLE LAND EXPOSED AT ANY ONE TIME DURING THE WORK SHALL NOT EXCEED 1 ACRE OR 20% OF THE PERMITTED WORK AREA, WHICHEVER IS GREATER, AND THE TIME OF EXPOSURE SHALL BE MINIMIZED TO THE MAXIMUM EXTENT PRACTICABLE.

YEAR ROUND REQUIREMENTS

- DURING THE NON-RAINY SEASON, ON ANY DAY WHEN THE NATIONAL WEATHER SERVICE FORECAST IS A CHANCE OF RAIN OF 30% OR GREATER WITHIN THE NEXT 24 HOURS, STORM WATER BMPs REFERENCED OR DETAILED IN BASMAA MANUAL OR WITHIN PLANS BEST MANAGEMENT PRACTICES GUIDE SHALL BE IMPLEMENTED, INSTALLED, AND FUNCTIONAL ON THE SITE TO PREVENT SOIL AND OTHER POLLUTANT DISCHARGES. AT ALL OTHER TIMES, BMPs SHOULD BE STORED ON SITE IN PREPARATION FOR INSTALLATION PRIOR TO RAIN EVENTS.
- EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED BY THE OWNER BEFORE FORECASTED STORM EVENTS AND AFTER STORM EVENTS TO ENSURE MEASURES ARE FUNCTIONING PROPERLY. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES THAT HAVE FAILED OR ARE NO LONGER EFFECTIVE SHALL BE PROMPTLY REPLACED. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED.
- THE LIMITS OF GRADING SHALL BE DEFINED AND MARKED ON SITE TO PREVENT DAMAGE TO SURROUNDING VEGETATION. PRESERVATION OF EXISTING VEGETATION SHALL OCCUR TO THE MAXIMUM EXTENT PRACTICABLE. ANY EXISTING VEGETATION WITHIN THE LIMITS OF GRADING THAT IS TO REMAIN UNDISTURBED BY THE WORK SHALL BE IDENTIFIED AND PROTECTED FROM DAMAGE BY MARKING, FENCING, OR OTHER MEASURES.
- CHANGES TO THE EROSION PREVENTION AND SEDIMENT CONTROL PLAN MAY BE MADE TO RESPOND TO FIELD CONDITIONS AND SHALL BE NOTED ON THE PLAN.
- DISCHARGES OF POTENTIAL POLLUTANTS FROM CONSTRUCTION SITES SHALL BE PREVENTED USING SOURCE CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SEDIMENT, TRASH, NUTRIENTS, PATHOGENS, PETROLEUM HYDROCARBONS, METALS, CONCRETE, CEMENT, ASPHALT, LIME, PAINT, STAINS, GLUES, WOOD PRODUCTS, PESTICIDES, HERBICIDES, CHEMICALS, HAZARDOUS WASTE, SANITARY WASTE, VEHICLE OR EQUIPMENT WASH WATER, AND CHLORINATED WATER.
- ENTRANCE(S) TO THE CONSTRUCTION SITE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF POTENTIAL POLLUTANTS OFFSITE. POTENTIAL POLLUTANTS DEPOSITED ON PAVED AREAS WITHIN THE COUNTY RIGHT-OF-WAY, SUCH AS ROADWAYS AND SIDEWALKS, SHALL BE PROPERLY DISPOSED OF AT THE END OF EACH WORKING DAY OR MORE FREQUENTLY AS NECESSARY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING CONSTRUCTION VEHICLES LEAVING THE SITE ON A DAILY BASIS TO PREVENT DUST, SILT, AND DIRT FROM BEING RELEASED OR TRACKED OFFSITE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AT THE END OF EACH WORKING DAY OR MORE OFTEN AS NECESSARY.
- ALL DISTURBED AREAS SHALL BE PROTECTED BY USING EROSION PREVENTION MEASURES TO THE MAXIMUM EXTENT PRACTICABLE, SUCH AS ESTABLISHING VEGETATION COVERAGE, HYDROSEEDING, STRAW MULCH, GEOTEXTILES, PLASTIC COVERS, BLANKETS OR MATS. TEMPORARY OR PERMANENT VEGETATION SHALL BE INSTALLED AS SOON AS PRACTICAL AFTER VEGETATION REMOVAL BUT IN ALL CASES PRIOR TO OCTOBER 15. PRIOR TO FINAL INSPECTION, ALL DISTURBED AREAS SHALL BE REVEGETATED OR LANDSCAPING SHALL BE INSTALLED.
- WHENEVER IT IS NOT POSSIBLE TO USE EROSION PREVENTION MEASURES ON EXPOSED SLOPES, SEDIMENT CONTROL DEVICES SUCH AS FIBER ROLLS AND SILT FENCES SHALL BE INSTALLED TO PREVENT SEDIMENT MIGRATION. FIBER ROLLS AND SILT FENCES SHALL BE TRENCHED AND KEYED INTO THE SOIL AND INSTALLED ON CONTOUR. SILT FENCES SHALL BE INSTALLED APPROXIMATELY 2 TO 5 FEET FROM TOE OF SLOPE.
- HYDROSEEDING SHALL BE CONDUCTED IN A THREE STEP PROCESS. FIRST, EVENLY APPLY SEED MIX AND FERTILIZER TO THE EXPOSED SLOPE. SECOND, EVENLY APPLY MULCH OVER THE SEED AND FERTILIZER. THIRD, STABILIZE THE MULCH IN PLACE. AN EQUIVALENT SINGLE STEP PROCESS, WITH SEED, FERTILIZER, WATER, AND BONDED MECHANIS IS ACCEPTABLE.

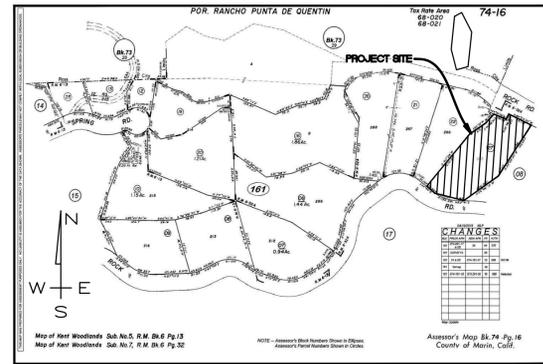
APPLICATIONS SHALL BE BROADCAST MECHANICALLY OR MANUALLY AT THE RATES SPECIFIED BELOW. SEED MIX AND FERTILIZER SHALL BE WORKED INTO THE SOIL BY ROLLING OR TAMPING. IF STRAW IS USED AS MULCH, STRAW SHALL BE DERIVED FROM WHEAT, RICE, OR BARLEY AND BE APPROXIMATELY 6 TO 8 INCHES IN LENGTH. STABILIZATION OF MULCH SHALL BE DONE HYDRAULICALLY BY APPLYING AN EMULSION OR MECHANICALLY BY CRIMPING OR PUNCHING THE MULCH INTO THE SOIL. EQUIVALENT METHODS AND MATERIALS MAY BE USED ONLY IF THEY ADEQUATELY PROMOTE VEGETATION GROWTH AND PROTECT EXPOSED SLOPES.

MATERIALS	APPLICATION RATE (POUNDS PER ACRE)
SEED MIX	
<i>Bromus mollis</i> (BLANDO BROME)	40
<i>Trifolium hirtum</i> (HYKON ROSE CLOVER)	20
FERTILIZER	
16-20-0 & 15% SULPHUR	500
MULCH	
STRAW	4000
HYDRAULIC STABILIZING	
M-BINDER OR SENTINEL	75-100
EQUIVALENT MATERIAL	PER MANUFACTURER

- *NON-ASPHALTIC, DERIVED FROM PLANTS
- DUST CONTROL SHALL BE PROVIDED BY CONTRACTOR DURING ALL PHASES OF CONSTRUCTION.
 - STORM DRAIN INLETS SHALL BE PROTECTED FROM POTENTIAL POLLUTANTS UNTIL DRAINAGE CONVEYANCE SYSTEMS ARE FUNCTIONAL AND CONSTRUCTION HAS BEEN COMPLETED.
 - ENERGY DISSIPATORS SHALL BE INSTALLED AT STORM DRAIN OUTLETS WHICH MAY CONVEY ERODIVE STORM WATER FLOW.
 - SOIL, MATERIAL STOCKPILES, AND FERTILIZING MATERIAL SHALL BE PROPERLY PROTECTED TO MINIMIZE SEDIMENT AND POLLUTANT TRANSPORT FROM THE CONSTRUCTION SITE.
 - SOLID WASTE, SUCH AS TRASH, DISCARDED BUILDING MATERIALS AND DEBRIS, SHALL BE PLACED IN DESIGNATED COLLECTION AREAS OR CONTAINERS. THE CONSTRUCTION SITE SHALL BE CLEARED OF SOLID WASTE DAILY OR AS NECESSARY. REGULAR REMOVAL AND PROPER DISPOSAL SHALL BE COORDINATED BY THE CONTRACTOR.
 - A CONCRETE WASHOUT AREA, SUCH AS A TEMPORARY PIT, SHALL BE DESIGNATED TO CLEAN CONCRETE TRUCKS AND TOWLS. AT NO TIME SHALL CONCRETE PRODUCTS AND WASTE BE ALLOWED TO ENTER COUNTY WATERWAYS SUCH AS CREEKS OR STORM DRAINS. NO WASHOUT OF CONCRETE, MORTAR MIXERS, OR TRUCKS SHALL BE ALLOWED ON SOIL.
 - PROPER APPLICATION, CLEANING, AND STORAGE OF POTENTIALLY HAZARDOUS MATERIALS, SUCH AS PAINTS AND CHEMICALS, SHALL BE CONDUCTED TO PREVENT THE DISCHARGE OF POLLUTANTS.
 - TEMPORARY RESTROOMS AND SANITARY FACILITIES SHALL BE LOCATED AND MAINTAINED DURING CONSTRUCTION ACTIVITIES TO PREVENT THE DISCHARGE OF POLLUTANTS.
 - APPROPRIATE VEHICLE STORAGE, FUELING, MAINTENANCE, AND CLEANING AREAS SHALL BE DESIGNATED AND MAINTAINED TO PREVENT DISCHARGE OF POLLUTANTS.

GRADING AND DRAINAGE PLAN

FOR
75 ROCK ROAD
KENTFIELD, CA
074-161-27



AP MAP

OWNER

KIKI GOSHAY
81 ROCK ROAD,
KENTFIELD, CA 94904
415-342-6283

CONTACT

MUNSELLE CIVIL ENGINEERING
513 CENTER STREET
HEALDSBURG, CA 95448
(707)-395-0968

PROJECT DESCRIPTION

REMODEL OF EXISTING RESIDENCE, ADDITION TO EXISTING RESIDENCE, NEW RETAINING WALL AND AUTOCUT, LANDSCAPING AND SITE IMPROVEMENTS, GRADING AND DRAINAGE IMPROVEMENTS FOR THE PROPERTY.

SURVEY NOTES

TOPOGRAPHIC INFORMATION SHOWN HERE IS BASED UPON FIELD SURVEY PREPARED BY MUNSELLE CIVIL ENGINEERING DATED NOVEMBER 2022.

- BOUNDARY LINES SHOWN HEREON ARE DELINEATED FROM FIELD TIES TO MONUMENTS SHOWN ON THE RECORD MAP, RECORDED IN BOOK 6 OF SUBDIVISION AT PAGE 32, MARIN COUNTY RECORDS, AND DOES NOT CONSTITUTE A BOUNDARY SURVEY. THE BEARINGS SHOWN HAVE BEEN ROTATED FROM RECORD TO NORTH AMERICAN DATUM OF 1983 (NAD83) ZONE 3 GRID NORTH. THIS MAP IS NOT INTENDED TO PROVIDE A BOUNDARY RESOLUTION FOR THE SUBJECT PROPERTY.
- UTILITIES SHOWN HEREON ARE BASED UPON PHYSICAL FEATURES OBSERVED AT THE TIME OF THE SURVEY. THE SURVEYOR ACCEPTS NO LIABILITY FOR THE LOCATION, EXISTENCE OR NON-EXISTENCE OF THOSE UNDERGROUND STRUCTURES, UTILITY LINES AND RELATED APPURTENANCES. LOCATION OF UNDERGROUND UTILITIES SHALL BE PERFORMED BY A SUBSURFACE UTILITY LOCATING COMPANY (IF DESIRED).
- BASIS OF BEARINGS-GRID NORTH BASED ON GPS OBSERVATIONS BETWEEN SET CONTROL POINTS POST PROCESSED USING OPUS (ONLINE POSITIONING USER SERVICE).
- ELEVATIONS SHOWN HEREON ARE BASED THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). BENCHMARK CONTROL POINT #111 SET 60D NAIL CONTROL POINT.
- ELEVATION = 466.71' NAVD 88

ABBREVIATIONS/LEGEND

AB	AGGREGATE BASE	PDE	PRIVATE STORM DRAIN EASEMENT	---	PROPERTY LINE
AC	ASPHALT CONCRETE	PIV	POST INDICATOR VALVE	---	NEIGHBORING PROPERTY LINE
ANG	ANGLE	PDC	POINT OF CONNECTION	---	CENTERLINE
BC	BEGIN CURVE	PSE	PRIVATE SEWER EASEMENT	---	BUILDING LINE
BSL	BUILDING SETBACK LINE	PT	POINT OF TANGENCY	---	GRAVEL DRIVEWAY
BSW	BACK OF SIDEWALK	PUE	PUBLIC UTILITY EASEMENT	---	EDGE OF PAVING
BVC	BEGIN VERTICAL CURVE	PVC	POLYVINYLCHLORIDE PIPE	---	CONCRETE CURB & GUTTER
BW	BOTTOM OF RETAINING WALL	PVT	PRIVATE	---	STRAW WATTLE
CB	CATCH BASIN	R	RADIUS	---	SANITARY SEWER LINE & SIZE
CONC	CONCRETE	R/W	RIGHT OF WAY	---	EXISTING OVER HEAD WIRES
CPP	CORRUGATED PLASTIC PIPE	RC/P	REINFORCED CONCRETE PIPE	---	EXISTING FENCE LINE (TYPE VARIES)
CR	CURB RETURN	RET	RETAINING RETAINING WALL	---	UNDERGROUND GAS LINE
DI	DROP INLET	RPBP	REDUCED PRESSURE BACK FLOW PREVENTER	---	DRIP LINE OF TREE OR BRUSH LINE
DIP	DOWNSPOUT	S.A.D.	SEE ARCHITECTURAL DESIGN	---	SURFACE FLOW DIRECTION
DS	DUCTILE IRON PIPE	S	SLOPE	---	PROPOSED STORM DRAIN
DWY	DRIVEWAY	SD	STORM DRAIN	---	PROPOSED ROOF DRAIN
EC	END CURVE	SDCO	STORM DRAIN CLEANOUT	---	PROPOSED SLOT DRAIN
EG	EXISTING GROUND	SDDI	STORM DRAIN DROP INLET	---	
ELEV	ELEVATION	SDE	PUBLIC STORM DRAIN EASEMENT	---	
EP	EDGE OF PAVEMENT	SDMH	STORM DRAIN MANHOLE	---	
ESMT	EASEMENT	S.L.D.	SEE LANDSCAPE DESIGN	---	
EVC	END VERTICAL CURVE	S.S.D.	SEE STRUCTURAL DESIGN	---	
(E)EX	EXISTING	SS	SANITARY SEWER	---	
FG	FACE OF CURB	SSCO	SANITARY SEWER CLEANOUT	---	
FG	FINISH GRADE	SSMH	SANITARY SEWER MANHOLE STATION	---	
FS	FINISH SURFACE	STA	STANDARD SIDEWALK	---	
GB	GRADE BREAK	STD	STANDARD SIDEWALK EASEMENT	---	
HDPE	HIGH DENSITY POLYETHYLENE	HT	HEIGHT	---	
HT	HEIGHT	SVE	SIDEWALK EASEMENT	---	
MMWD	MARIN MUNICIPAL WATER DISTRICT	TC	TOP OF CURB	---	
DF	OVERFLOW SCUPPER	TG	TOP OF GRATE	---	
PAE	PRIVATE ACCESS, MAINTENANCE, DRAINAGE, EASEMENT AND UTILITY	TW	TOP OF RETAINING WALL	---	
PC	POINT OF CURVATURE	UND	TYPICAL UNLESS NOTED OTHERWISE	---	
PP	PORTLAND CEMENT CONCRETE	V	V WATER	---	
		WL	WATER LINE	---	
		WM	WATER METER	---	
		WS	WATER SERVICE	---	
		VC	VERTICAL CURVE	---	

NOTES:
1. THE QUANTITIES LISTED ARE THE ENGINEER'S ESTIMATE OF SURFACE GRADING ONLY. ADDITIONAL SUBSURFACE GRADING WILL BE REQUIRED FOR BENCHING, KEYWAYS, ETC.

2. CONTRACTOR IS RESPONSIBLE FOR THEIR OWN EARTHWORK QUANTITIES.

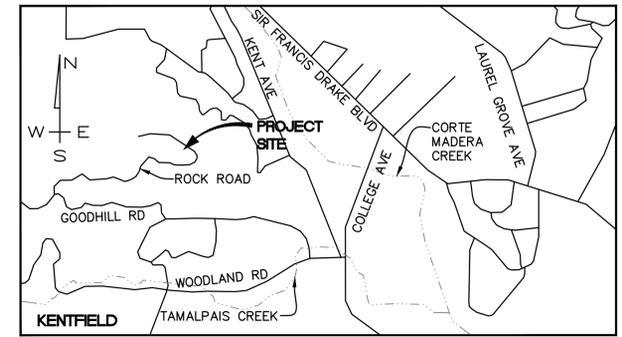
3. NO EXPANSION/CONTRACTION FACTORS HAVE BEEN APPLIED. EXPANSION AND/OR CONTRACTION MAY BE EXPERIENCED DUE TO ACTUAL FIELD CONDITIONS.

4. ANY EXCESS MATERIAL SHALL BE DISPOSED OF ON SITE UNDER THE DIRECTION OF THE PROJECT SOILS ENGINEER AND COORDINATED WITH THE PROJECT CIVIL ENGINEER.

5. APPROX. DISTURBED AREA OF SITE 0.33 AC (14,255 SF±)

INDEX OF DRAWINGS

- C1 COVER SHEET
- C2 OVERALL SITE PLAN
- C3 GRADING AND DRAINAGE PLAN
- C4 UTILITY PLAN
- C5 EROSION CONTROL PLAN
- C6 SECTIONS
- C7 DETAILS
- C8 SUBDRAIN AND ROOF DRAINAGE PLAN (1/2)
- C9 SUBDRAIN AND ROOF DRAINAGE PLAN (2/2)



LOCATION MAP

PROJECT SPECIFIC NOTES

- ALL IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE UNIFORM CONSTRUCTION STANDARDS OF ALL CITIES AND COUNTY OF MARIN UNLESS NOTED OTHERWISE.
- ALL CRACKED, BROKEN OR UPLIFTED SIDEWALK AND/OR CURB/GUTTER FRONTING THE PROPERTY SHALL BE REPLACED. APPLICANT SHALL COORDINATE WITH THE DEPARTMENT OF PUBLIC WORKS PRIOR TO START OF THE PROJECT IMPROVEMENTS TO IDENTIFY THE EXTENTS AND LIMITS OF SIDEWALK REPLACEMENT. CONTACT DPW AT (415) 473-6530 FOR FURTHER INFORMATION.
- SHOULD CURB/GUTTER REQUIRE REPLACEMENT, CURB/GUTTER SHALL BE REPLACED WITH NEW CONCRETE CURB, GUTTER AND/OR DRIVEWAY PARAPET TO ENSURE PROPER DRAINAGE IS MAINTAINED. NEW CONCRETE GUTTER TO MATCH EXISTING CONCRETE GUTTER AND MAY REQUIRE ADDITIONAL ASPHALT TO MATCH EXISTING FLOW LINE. DRIVEWAY, CURB AND GUTTER ARE TO BE COORDINATED WITH DEPARTMENT OF PUBLIC WORKS PRIOR TO START OF CONSTRUCTION. CONTACT DPW AT (415) 473-6530.
- AN ENCROACHMENT PERMIT (REVOCABLE) IS REQUIRED FROM THE PUBLIC WORKS DEPARTMENT FOR ALL WORK WITHIN THE RIGHT-OF-WAY. SHOULD A REVOCABLE ENCROACHMENT PERMIT BE REQUIRED, IT SHALL BE RECORDED AT THE MARIN COUNTY RECORDER'S OFFICE PRIOR TO ANY CONSTRUCTION IN THE RIGHT-OF-WAY.
- AN ENCROACHMENT SECURITY IN THE FORM OF A CERTIFICATE OF DEPOSIT (CD) OR CASH IN THE AMOUNT OF WORK TO BE CONSTRUCTED IN THE RIGHT-OF-WAY SHALL BE SUBMITTED TO THE PUBLIC WORKS DEPARTMENT WITH THE ENCROACHMENT PERMIT.
- APPLICANT IS RESPONSIBLE FOR USING BEST MANAGEMENT PRACTICES FOR THE CONSTRUCTION INDUSTRY ("GENERAL CONSTRUCTION AND SITE SUPERVISION" BROCHURE AVAILABLE AT THE DEPARTMENT OF PUBLIC WORKS) TO PREVENT STORM WATER POLLUTION. APPLICANT SHALL BE RESPONSIBLE FOR ALL ENVIRONMENTAL DAMAGE RESULTING FROM THE CONSTRUCTION OF THIS PROJECT.
- ALL CONSTRUCTION MATERIAL, DEBRIS AND EQUIPMENT SHALL BE STORED ON SITE. IF THAT IS NOT PHYSICALLY POSSIBLE, AN ENCROACHMENT PERMIT SHALL BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS PRIOR TO PLACING ANY CONSTRUCTION MATERIALS, DEBRIS, DEBRIS BOXES OR UNLICENSED EQUIPMENT IN THE RIGHT-OF-WAY.
- ALL SITE DRAINAGE SHALL BE DISSIPATED IN A MANNER THAT PREVENTS EROSION AND CONFORMS TO CURRENT STORM WATER PRACTICES IN MARIN COUNTY. THE APPLICANT IS RESPONSIBLE FOR ENSURING STORM WATER RUNOFF IS MAINTAINED IN ITS NATURAL PATH.

EARTHWORK:

AREA	CUT	FILL	NET
ADDITION	2 CY	7 CY	5 CY FILL
DRIVEWAY AND	2 CY	10 CY	8 CY FILL
SITE GRADING	30 CY	49 CY	19 CY FILL
TOTAL	34 CY	66 CY	32 CY FILL

REVISION	DESCRIPTION	BY	DATE

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 (707) 395-0968



Daniel John Hughes
 Daniel John Hughes
 PCE 60225

DATE

75 ROCK ROAD
COVER SHEET
 074-161-27
 75 ROCK ROAD
 KENTFIELD, CA

MARCH 29, 2024

JOB NO.

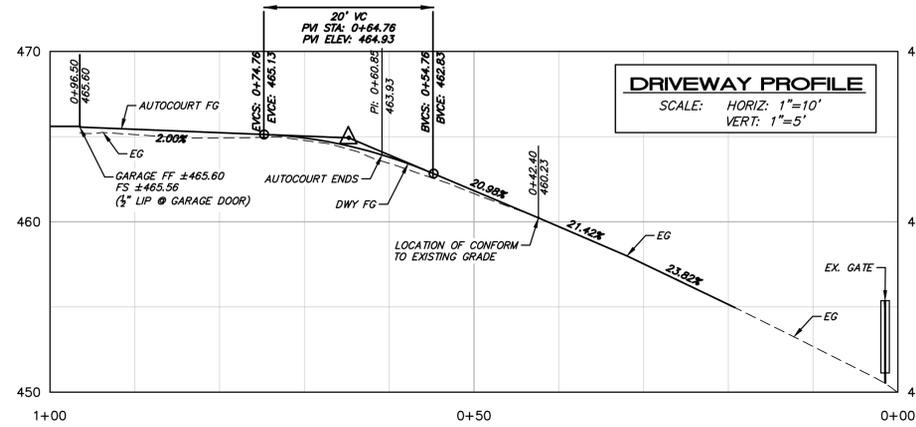
191-22

SHEET NO.



GRADING AND DRAINAGE NOTES

- REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR STRUCTURAL SECTION OF CONCRETE SLABS, WALLS AND FOUNDATION DETAILS.
- DOWNSPOUT LOCATIONS SHOWN ARE APPROXIMATE ONLY AND SHALL BE VERIFIED WITH THE ARCHITECTURAL PLANS.
- INSTALL RETAINING WALL AND FOUNDATION BACKDRAINS AS SHOWN ON THE ARCHITECTURAL AND STRUCTURAL PLANS AND AS REQUIRED BY THE GEOTECHNICAL ENGINEER. DO NOT CONNECT BACKDRAINS TO THE STORM DRAIN OR ROOF LEADER DRAINAGE SYSTEMS. BACKDRAINS SHALL DRAIN THROUGH 3"Ø WEEP HOLES AT 5' O.C. MIN.
- DRAINAGE STRUCTURES, CLEANOUTS OR "Y" CONNECTIONS SHALL BE USED AS APPROPRIATE AT STORM DRAIN ALIGNMENT DEFLECTIONS OR JUNCTIONS OF INTERSECTING DRAIN LINES TO FACILITATE MAINTENANCE.
- ALL PAVED AND UNPAVED FINISHED SURFACES SHALL HAVE POSITIVE DRAINAGE.
- ALL WORK SHALL COMPLY WITH BEST MANAGEMENT PRACTICES TO PREVENT STORM WATER CONTAMINATION.
- ALL WALKING SURFACES ADJACENT TO DROPS ON ELEVATION GREATER THAN 30 INCHES REQUIRES GUARDRAILS PER BUILDING CODE. GUARD RAIL DESIGN SHALL BE BY OTHERS.



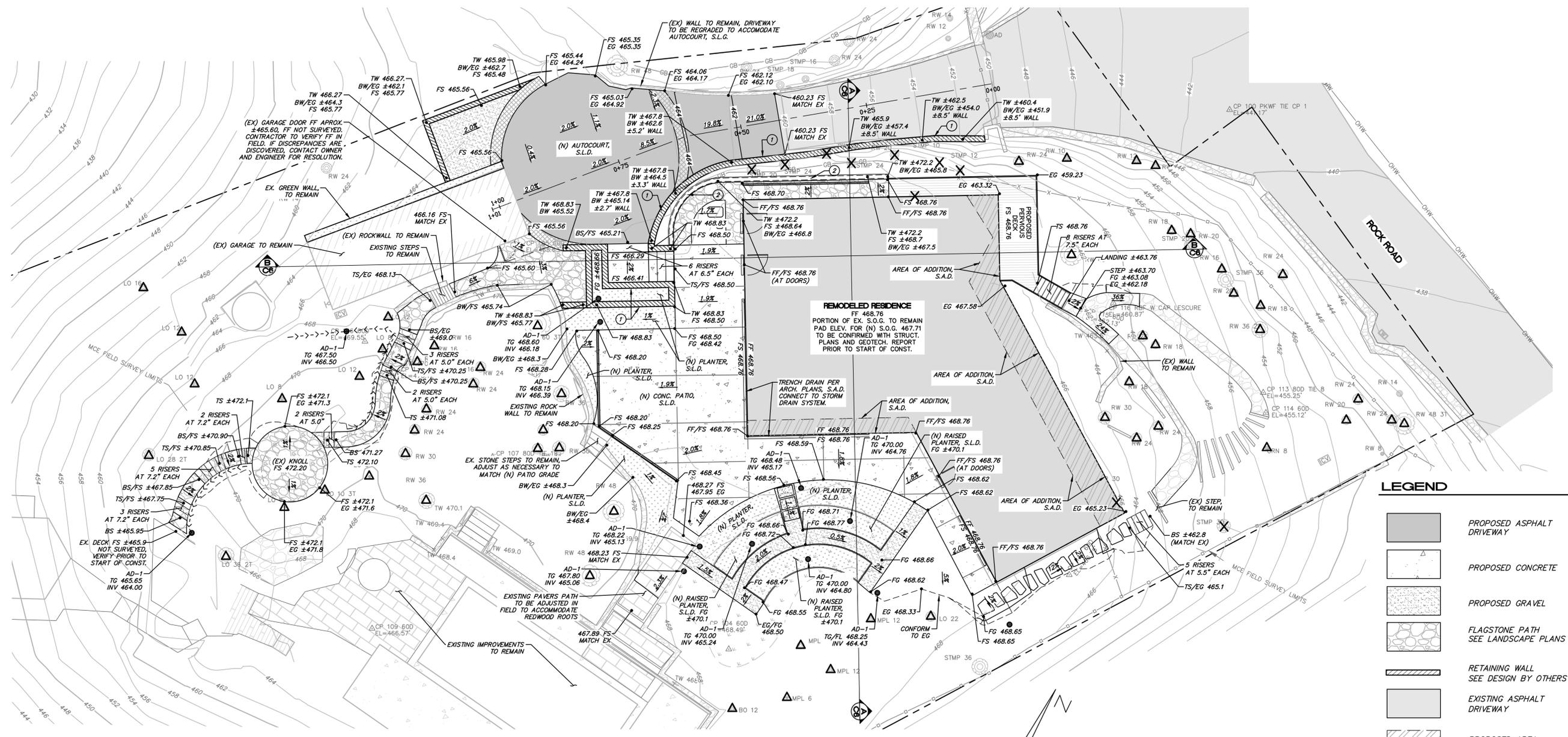
DRAINAGE SCHEDULE

AD-1	6" NDS GREEN GRATE AREA DRAIN, OR APPROVED EQUAL
ST-1	ACD BRICKSLOT 100 TRENCH DRAIN W/ K100 TRENCH DRAIN, OR APPROVED EQUAL.

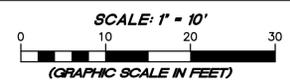
ALL 6" STORM DRAIN PIPE TO BE HDPE DUAL WALL.
ALL 4" STORM DRAIN AND ROOF LEADER TO BE PVC SCH 40 SOLID PIPE, SUBDRAIN TO BE PVC SCH 40 PERFORATED PIPE.

GRADING KEYNOTES

- (N) WALL, SEE STRUCTURAL DESIGN BY HOLMES STRUCTURES
- (N) GREEN FENCE, S.L.D. TW ±472.2' (MIN. 42" ABOVE FS)



GRADING AND DRAINAGE PLAN



LEGEND

- PROPOSED ASPHALT DRIVEWAY
- PROPOSED CONCRETE
- PROPOSED GRAVEL
- FLAGSTONE PATH SEE LANDSCAPE PLANS
- RETAINING WALL SEE DESIGN BY OTHERS
- EXISTING ASPHALT DRIVEWAY
- PROPOSED AREA OF ADDITION
- TREE TO BE SAVED
- TREE TO BE REMOVED

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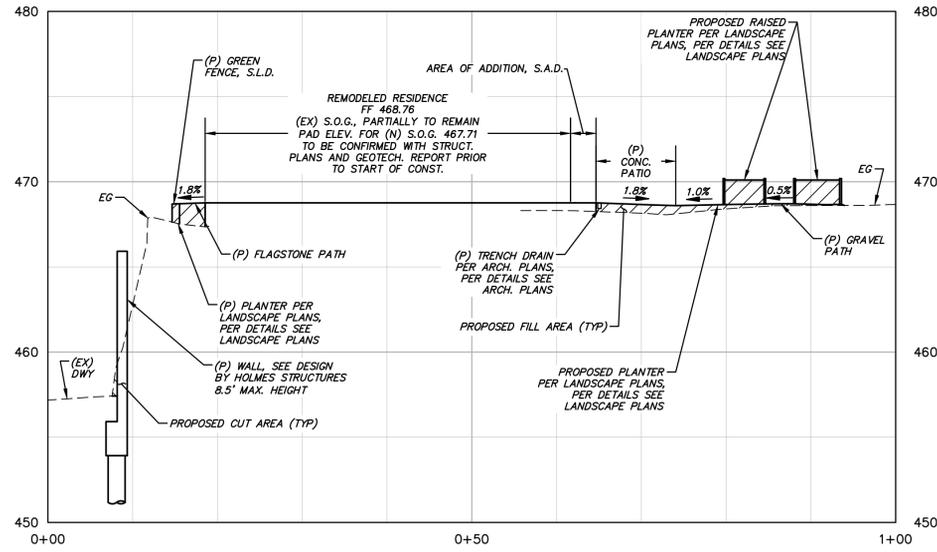
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 PROFESSIONAL ENGINEER
 No. 60225
 DATE

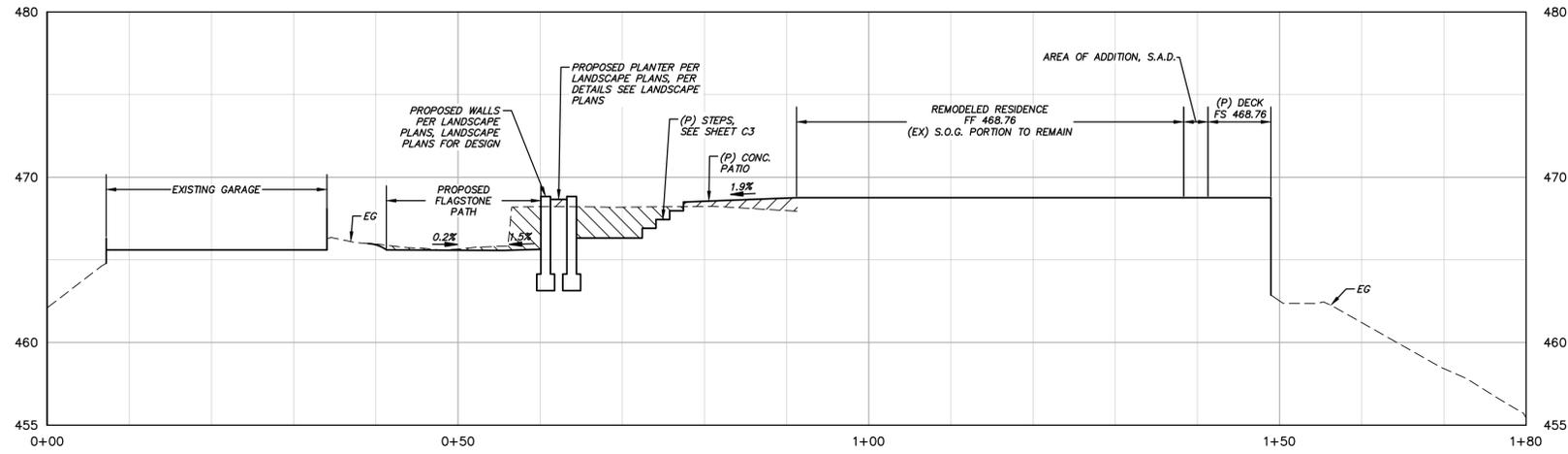
75 ROCK ROAD
 GRADING AND DRAINAGE PLAN
 07/4/18-27
 75 ROCK ROAD
 KENTFIELD, CA

MARCH 29, 2024
 JOB NO. 191-22
 SHEET NO. C3
 OF 9 SHEETS

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SECTION A-A
 SCALE: HORIZ: 1"=10'
 VERT: 1"=5'



SECTION B-B
 SCALE: HORIZ: 1"=10'
 VERT: 1"=5'

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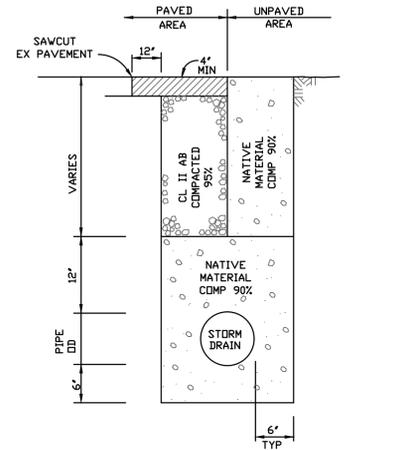
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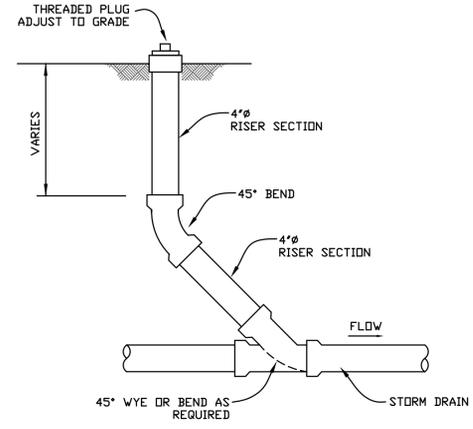
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 PCE 60225

75 ROCK ROAD
 SECTIONS
 074-161-27
 75 ROCK ROAD
 KENTFIELD, CA

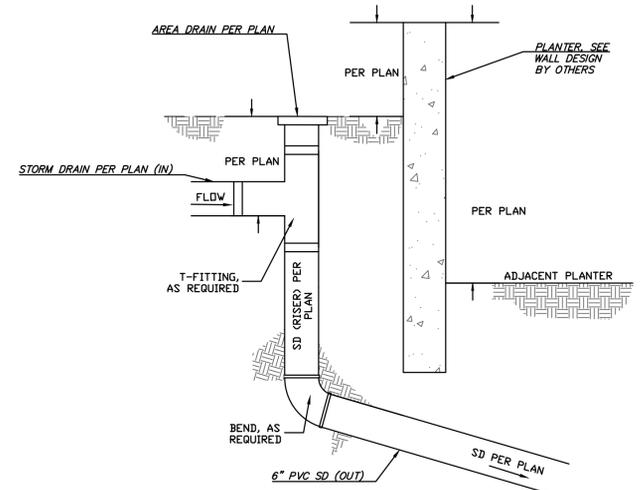
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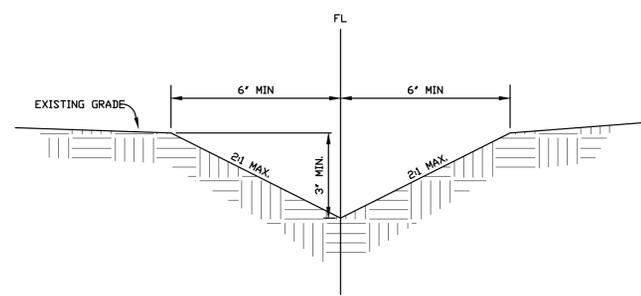
STORM DRAIN TRENCH
NOT TO SCALE



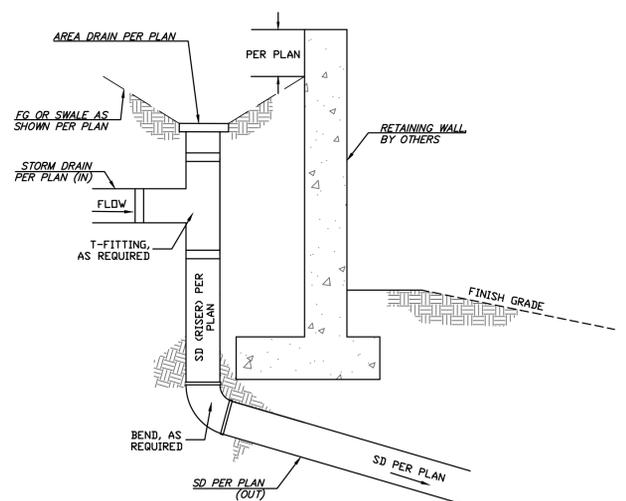
STORM DRAIN CLEANOUT
NOT TO SCALE



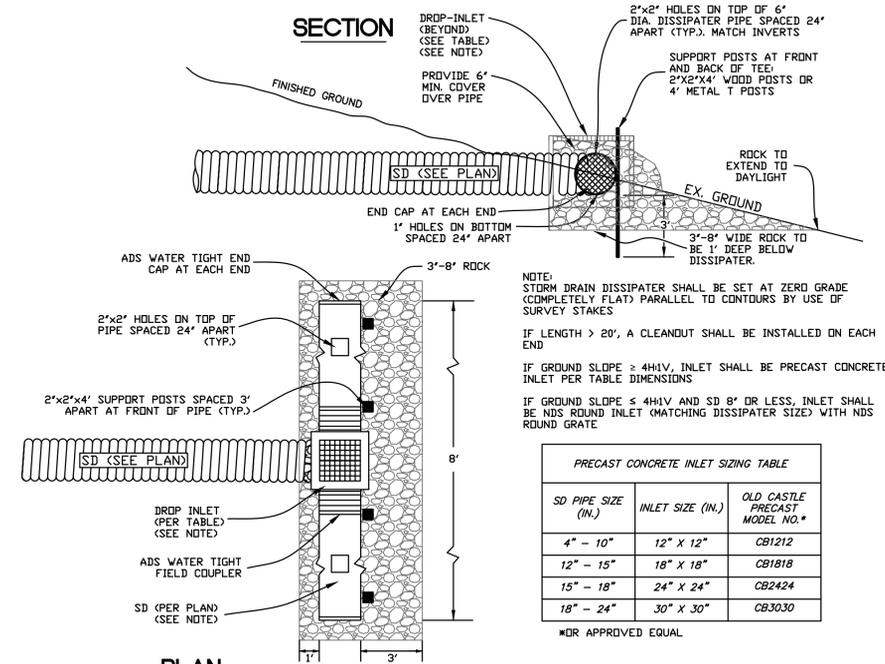
STORM DRAIN AT PLANTER
NOT TO SCALE



EARTH SWALE
NOT TO SCALE



STORM DRAIN AT RETAINING WALL
NOT TO SCALE

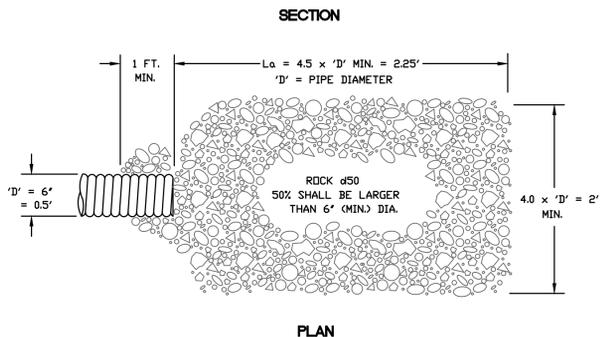
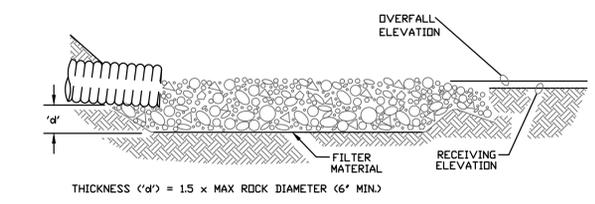


PRECAST CONCRETE INLET SIZING TABLE

SD PIPE SIZE (IN.)	INLET SIZE (IN.)	OLD CASTLE PRECAST MODEL NO.*
4" - 10"	12" X 12"	CB1212
12" - 15"	18" X 18"	CB1818
15" - 18"	24" X 24"	CB2424
18" - 24"	30" X 30"	CB3030

*DR APPROVED EQUAL

STORM DRAIN DISSIPATER
NOT TO SCALE



- NOTES:
1. 'La' = LENGTH OF APRON. DISTANCE 'La' SHALL BE OF SUFFICIENT LENGTH TO DISSIPATE ENERGY.
 2. APRON SHALL BE SET AT A ZERO GRADE AND ALIGNED STRAIGHT.
 3. FILTER MATERIAL SHALL BE FILTER FABRIC OR 6" THICK (MIN) GRADED GRAVEL LAYER.

ROCK OUTLET FOR STORM DRAIN
NOT TO SCALE

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BY: _____
REVISION: _____

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 STATE OF CALIFORNIA

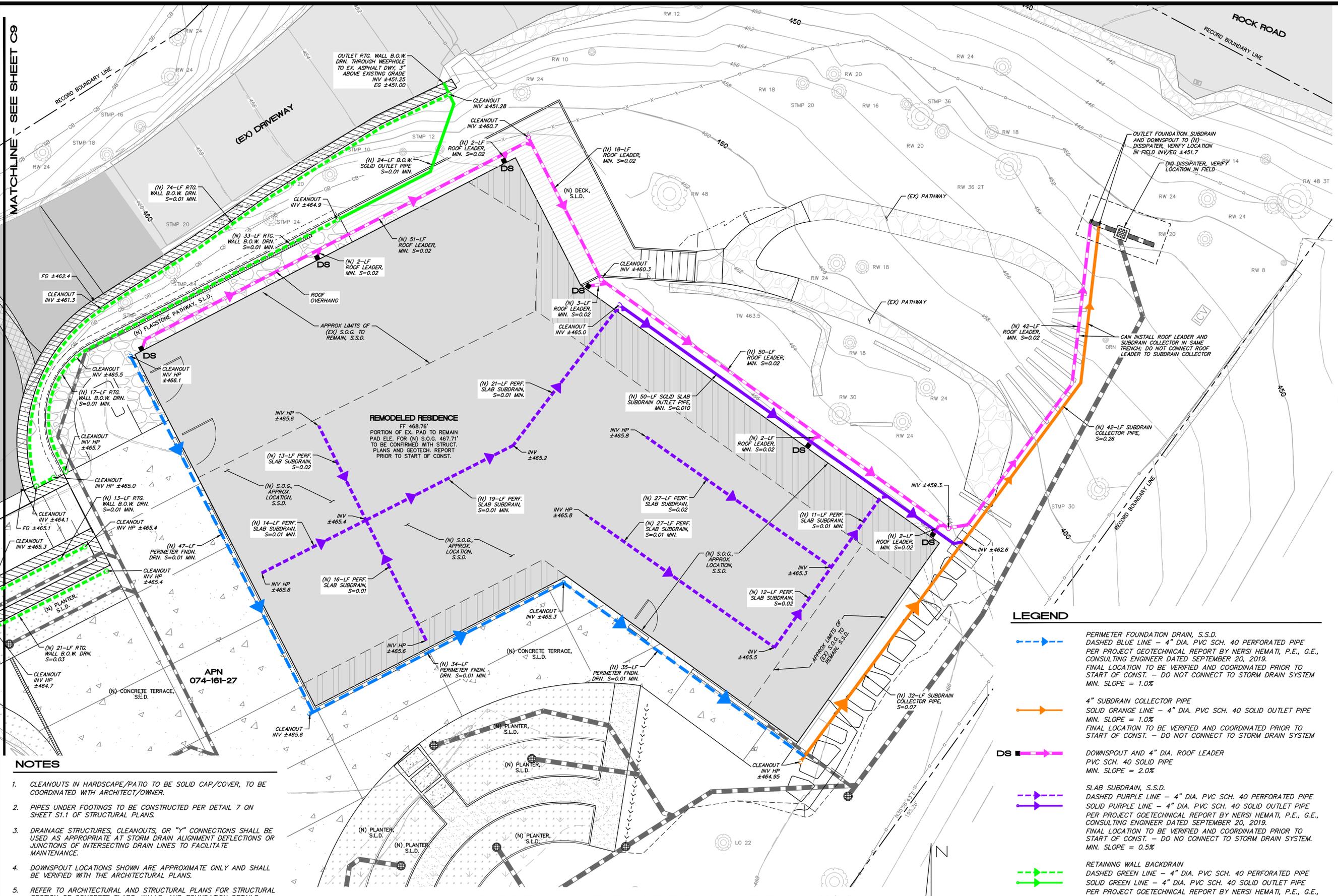
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75 ROCK ROAD
 DETAIL
 07/4/18-27
 75 ROCK ROAD
 KENTFIELD, CA

MARCH 29, 2024
 JOB NO. 191-22
 SHEET NO. C7
 OF 9 SHEETS

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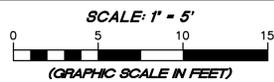
MATCHLINE - SEE SHEET C9



NOTES

- CLEANOUTS IN HARDSCAPE/PATIO TO BE SOLID CAP/COVER, TO BE COORDINATED WITH ARCHITECT/OWNER.
- PIPES UNDER FOOTINGS TO BE CONSTRUCTED PER DETAIL 7 ON SHEET S1.1 OF STRUCTURAL PLANS.
- DRAINAGE STRUCTURES, CLEANOUTS, OR "Y" CONNECTIONS SHALL BE USED AS APPROPRIATE AT STORM DRAIN ALIGNMENT DEFLECTIONS OR JUNCTIONS OF INTERSECTING DRAIN LINES TO FACILITATE MAINTENANCE.
- DOWNSPOUT LOCATIONS SHOWN ARE APPROXIMATE ONLY AND SHALL BE VERIFIED WITH THE ARCHITECTURAL PLANS.
- REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR STRUCTURAL SECTION OF CONCRETE SLABS, WALLS, AND FOUNDATION DETAILS.
- ALL WORK SHALL COMPLY WITH BEST MANAGEMENT PRACTICES TO PREVENT STORM WATER CONTAMINATION.
- 1% MINIMUM SLOPE FOR SUBDRAINS AND BACK-OF-WALL DRAINS.
- 2% MINIMUM SLOPE FOR ROOF LEADERS.

SUBDRAIN AND ROOF DRAINAGE PLAN (1/2)



LEGEND

- PERIMETER FOUNDATION DRAIN, S.S.D.
DASHED BLUE LINE - 4" DIA. PVC SCH. 40 PERFORATED PIPE
PER PROJECT GEOTECHNICAL REPORT BY NERSI HEMATI, P.E., G.E., CONSULTING ENGINEER DATED SEPTEMBER 20, 2019.
FINAL LOCATION TO BE VERIFIED AND COORDINATED PRIOR TO START OF CONST. - DO NOT CONNECT TO STORM DRAIN SYSTEM
MIN. SLOPE = 1.0%
- 4" SUBDRAIN COLLECTOR PIPE
SOLID ORANGE LINE - 4" DIA. PVC SCH. 40 SOLID OUTLET PIPE
MIN. SLOPE = 1.0%
FINAL LOCATION TO BE VERIFIED AND COORDINATED PRIOR TO START OF CONST. - DO NOT CONNECT TO STORM DRAIN SYSTEM
- DOWNSPOUT AND 4" DIA. ROOF LEADER
PVC SCH. 40 SOLID PIPE
MIN. SLOPE = 2.0%
- SLAB SUBDRAIN, S.S.D.
DASHED PURPLE LINE - 4" DIA. PVC SCH. 40 PERFORATED PIPE
SOLID PURPLE LINE - 4" DIA. PVC SCH. 40 SOLID OUTLET PIPE
PER PROJECT GEOTECHNICAL REPORT BY NERSI HEMATI, P.E., G.E., CONSULTING ENGINEER DATED SEPTEMBER 20, 2019.
FINAL LOCATION TO BE VERIFIED AND COORDINATED PRIOR TO START OF CONST. - DO NO CONNECT TO STORM DRAIN SYSTEM.
MIN. SLOPE = 0.5%
- RETAINING WALL BACKDRAIN
DASHED GREEN LINE - 4" DIA. PVC SCH. 40 PERFORATED PIPE
SOLID GREEN LINE - 4" DIA. PVC SCH. 40 SOLID OUTLET PIPE
PER PROJECT GEOTECHNICAL REPORT BY NERSI HEMATI, P.E., G.E., CONSULTING ENGINEER DATED SEPTEMBER 20, 2019.
FINAL LOCATION TO BE VERIFIED AND COORDINATED PRIOR TO START OF CONST. - DO NO CONNECT TO STORM DRAIN SYSTEM.
MIN. SLOPE = 0.5%
- PROPOSED STORM DRAIN SYSTEM - SEE SHEET C4

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 STATE OF CALIFORNIA

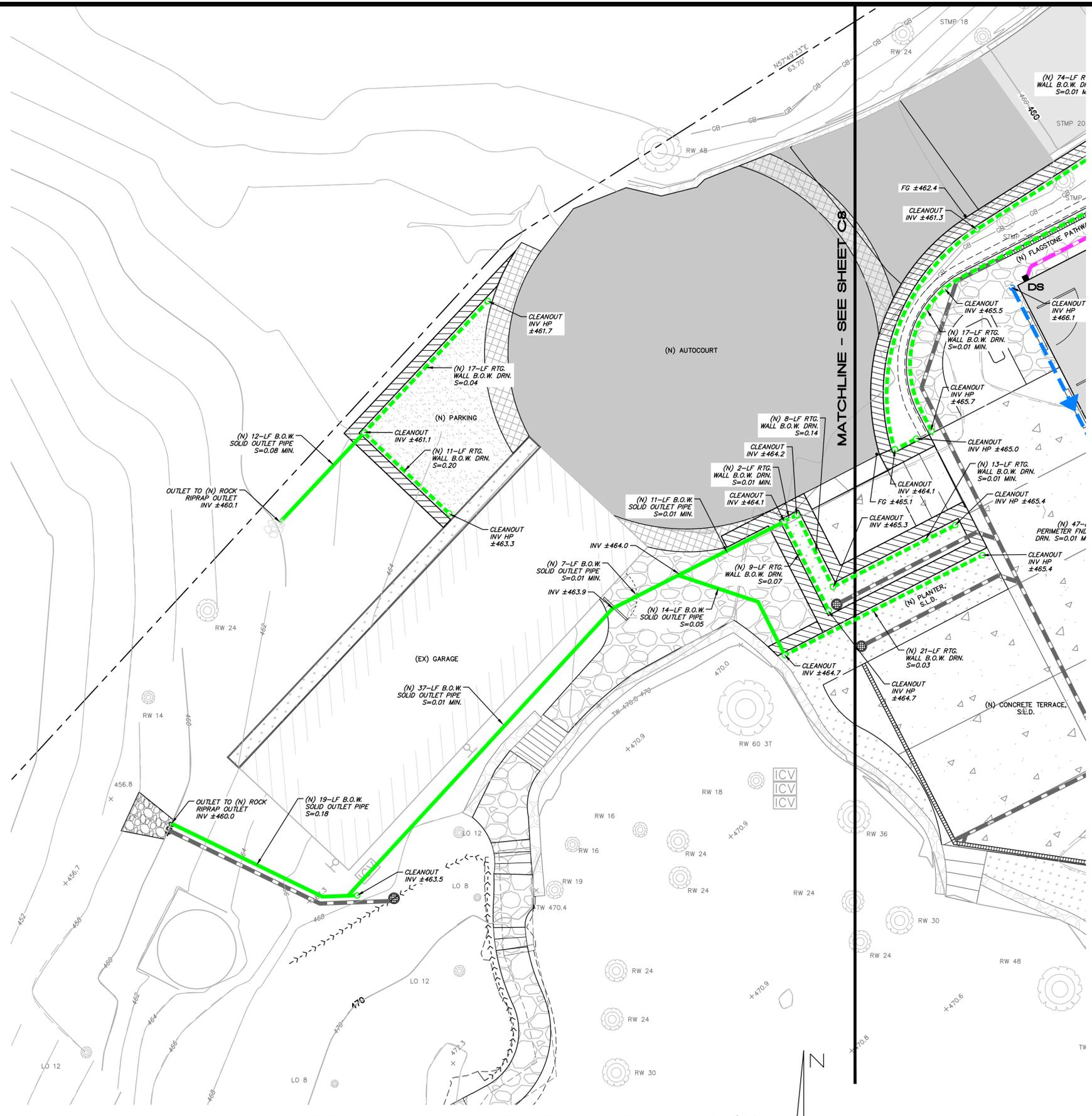
Daniel J. Hughes
 DANIEL JOHN HUGHES
 DATE: 03/29/2024

**GOSHAY RESIDENCE REMODEL
 SUBDRAIN AND ROOF DRAINAGE PLAN (1/2)**

APN 074-161-27
 75 ROCK ROAD
 KENTFIELD, CA 94040

MARCH 29, 2024
 JOB NO. 191-22
 SHEET NO. 08
 OF 9 SHEETS

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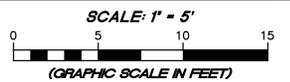


LEGEND

- PERIMETER FOUNDATION DRAIN, S.S.D.
DASHED BLUE LINE - 4" DIA. PVC SCH. 40 PERFORATED PIPE
PER PROJECT GEOTECHNICAL REPORT BY NERSI HEMATI, P.E., G.E., CONSULTING ENGINEER DATED SEPTEMBER 20, 2019.
FINAL LOCATION TO BE VERIFIED AND COORDINATED PRIOR TO START OF CONST. - DO NOT CONNECT TO STORM DRAIN SYSTEM
MIN. SLOPE = 1.0%
- 4" SUBDRAIN COLLECTOR PIPE
SOLID ORANGE LINE - 4" DIA. PVC SCH. 40 SOLID OUTLET PIPE
MIN. SLOPE = 1.0%
FINAL LOCATION TO BE VERIFIED AND COORDINATED PRIOR TO START OF CONST. - DO NOT CONNECT TO STORM DRAIN SYSTEM
- DOWNSPOUT AND 4" DIA. ROOF LEADER
PVC SCH. 40 SOLID PIPE
MIN. SLOPE = 2.0%
- SLAB SUBDRAIN, S.S.D.
DASHED PURPLE LINE - 4" DIA. PVC SCH. 40 PERFORATED PIPE
SOLID PURPLE LINE - 4" DIA. PVC SCH. 40 SOLID OUTLET PIPE
PER PROJECT GEOTECHNICAL REPORT BY NERSI HEMATI, P.E., G.E., CONSULTING ENGINEER DATED SEPTEMBER 20, 2019.
FINAL LOCATION TO BE VERIFIED AND COORDINATED PRIOR TO START OF CONST. - DO NOT CONNECT TO STORM DRAIN SYSTEM.
MIN. SLOPE = 0.5%
- RETAINING WALL BACKDRAIN
DASHED GREEN LINE - 4" DIA. PVC SCH. 40 PERFORATED PIPE
SOLID GREEN LINE - 4" DIA. PVC SCH. 40 SOLID OUTLET PIPE
PER PROJECT GEOTECHNICAL REPORT BY NERSI HEMATI, P.E., G.E., CONSULTING ENGINEER DATED SEPTEMBER 20, 2019.
FINAL LOCATION TO BE VERIFIED AND COORDINATED PRIOR TO START OF CONST. - DO NOT CONNECT TO STORM DRAIN SYSTEM.
MIN. SLOPE = 0.5%
- PROPOSED STORM DRAIN SYSTEM - SEE SHEET C4

- ### NOTES
- CLEANOUTS IN HARDSCAPE/PATIO TO BE SOLID CAP/COVER, TO BE COORDINATED WITH ARCHITECT/OWNER.
 - PIPES UNDER FOOTINGS TO BE CONSTRUCTED PER DETAIL 7 ON SHEET S1.1 OF STRUCTURAL PLANS.
 - DRAINAGE STRUCTURES, CLEANOUTS, OR "Y" CONNECTIONS SHALL BE USED AS APPROPRIATE AT STORM DRAIN ALIGNMENT DEFLECTIONS OR JUNCTIONS OF INTERSECTING DRAIN LINES TO FACILITATE MAINTENANCE.
 - DOWNSPOUT LOCATIONS SHOWN ARE APPROXIMATE ONLY AND SHALL BE VERIFIED WITH THE ARCHITECTURAL PLANS.
 - REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR STRUCTURAL SECTION OF CONCRETE SLABS, WALLS, AND FOUNDATION DETAILS.
 - ALL WORK SHALL COMPLY WITH BEST MANAGEMENT PRACTICES TO PREVENT STORM WATER CONTAMINATION.
 - 1% MINIMUM SLOPE FOR SUBDRAINS AND BACK-OF-WALL DRAINS.
 - 2% MINIMUM SLOPE FOR ROOF LEADERS.

SUBDRAIN AND ROOF DRAINAGE PLAN (2/2)



REVISION	DESCRIPTION	BY	DATE

MUNSELLE CIVIL ENGINEERING
 CIVIL ENGINEERING & SURVEYING & PLANNING & CONST. MANAGEMENT
 515 CENTER STREET
 HEALDSBURG, CA 95448
 (707) 393-0968

MCE
 MCE ENGINEERING
 CIVIL ENGINEER & VIBRO TECH
 No. 60225
 DATED 03/29/2024

DANIEL JOHN HUGHES DATE
 FCE 60225

**GOSHAY RESIDENCE REMODEL
 SUBDRAIN AND ROOF DRAINAGE PLAN (2/2)**

MARCH 29, 2024
 JOB NO. 191-22
 SHEET NO. 09 OF 9 SHEETS



GOSHAY RESIDENCE
75 ROCK ROAD
KENTFIELD, CALIFORNIA 94904
APN: 074-161-27

DATE:	ISSUE:
04.12.2024	PLANNING REVIEW

SCALE: 1/16" = 1'0"

LANDSCAPE PLAN

L0.10

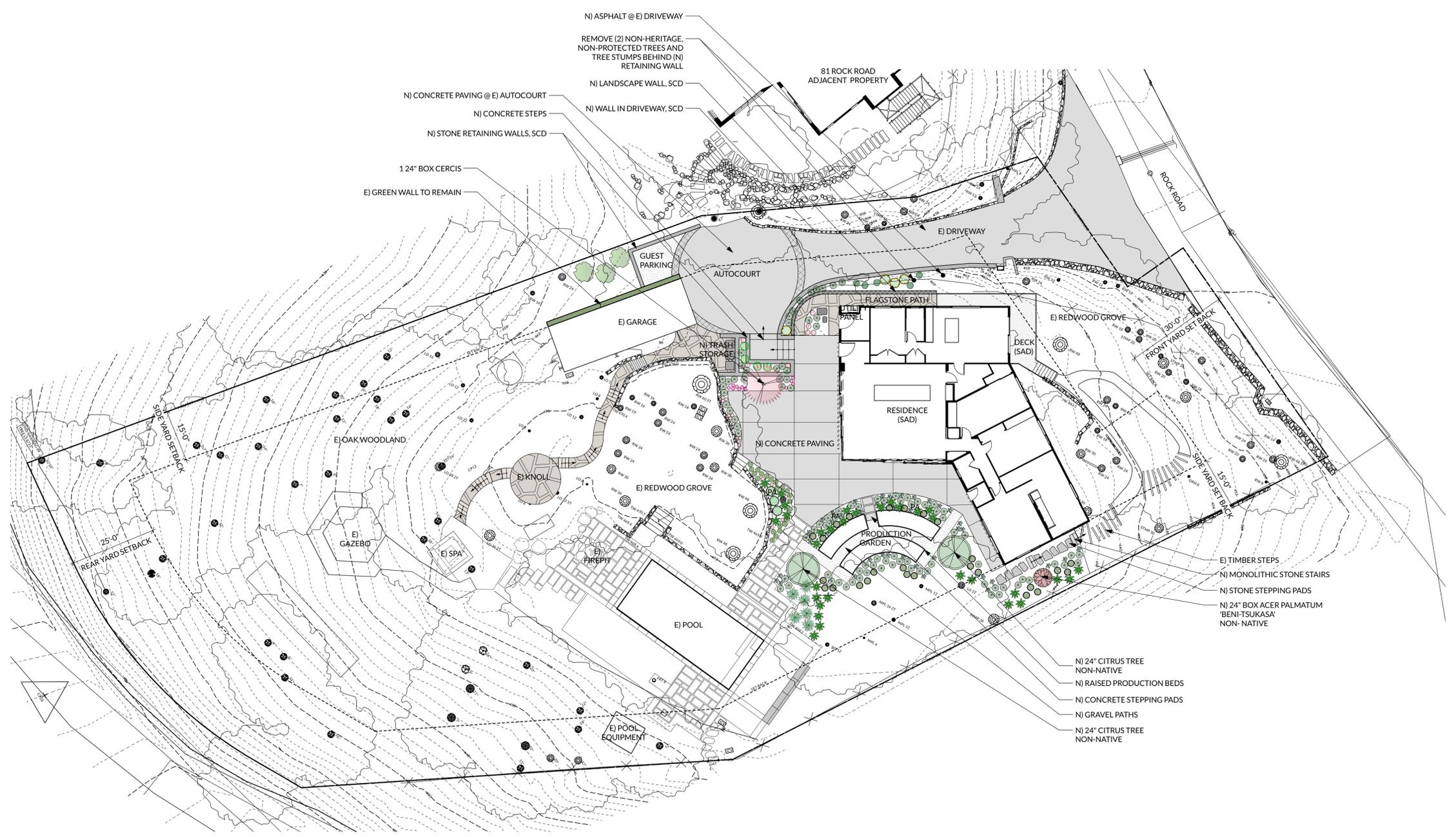
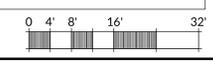


Image	ID	Qty	Botanical Name	Common Name	Scheduled Size	Mature Height	Remarks
	ACT	1	Acer palmatum 'Beni-Tsukasa'	Beni-Tsukasa Japanese Maple	24" Box	10-12 ft.	NON NATIVE
	AMR	11	Armeria maritima 'rubrifolia'	Red-leaved Thrift	4"	<= 12 in	NATIVE
	ANX	26	Anemone x hybrida 'Alice'	Alice Anemone	1 Gal	30 in - 4 ft	NON NATIVE
	ASC	22	Asarum caudatum	Wild Ginger	1 Gal	<= 12 in	NATIVE
	CER	1	Cercis occidentalis	Western Redbud	36" Box	10 - 15 ft.	NATIVE
	CIT	2	Citrus Spp.	Citrus	36" Box	10 - 20 ft.	NON NATIVE
	CXP	94	Carex praegracilis	California Field Sedge	1 Gal	1-3 ft.	
	DCR	4	Dichondra repens 'Emerald Falls'	Kidneyweed	1 Gal	<= 12 in	NON NATIVE

Image	ID	Qty	Botanical Name	Common Name	Scheduled Size	Mature Height	Remarks
	HET	3	Heteromeles arbutifolia	Toyon	15 Gal	6-10 ft.	NATIVE
	HEW	23	Heuchera 'Wendy'	Coral Bells	1 Gal	1-2 ft.	NATIVE
	HQP	3	Hydrangea quercifolia 'Pee Wee'	Pee Wee Oak Leaf Hydrangea	5 Gal	4 ft.	NON NATIVE
	IRI	39	Iris douglasiana	Douglas Iris	1 Gal	12 - 18 in.	NATIVE
	MMA	4	Mimulus aurantiacus	Monkeyflower	1 Gal	1'-3'	NON NATIVE
	POL	32	Polystichum munitum	Western Sword Fern	1 Gal	3 - 4 ft.	NATIVE
	SAD	5	Satureja douglasii	Yerba Buena	1 Gal	6"	NATIVE
	WOO	6	Woodwardia fimbriata	Giant Chain Fern	1 Gal	4-5 ft.	NATIVE

EXISTING TREE LEGEND

- BAY TREE W/ TRUNK DIA
- FRUIT TREE W/ TRUNK DIA
- LIVE OAK TREE W/ TRUNK DIA
- MISC. TREE W/ TRUNK DIA
- OAK TREE W/ TRUNK DIA
- ORNAMENTAL TREE W/ TRUNK DIA
- PINE TREE W/ TRUNK DIA
- REDWOOD TREE W/ TRUNK DIA





GOSHAY RESIDENCE
75 ROCK ROAD
KENTFIELD, CALIFORNIA 94904
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SCALE: 1/16" = 1'0"



**VEGETATION
MANAGEMENT
PLAN**

L0.20



NOTE: SEE SHEET L0.3 FOR VEGETATION MANAGEMENT PLAN NARRATIVE AND ZONE REQUIREMENTS AND PRESCRIPTIONS.

VEGETATION MANAGEMENT IN DEFENSIBLE SPACES ZONES	
	IMMEDIATE ZONE (ZONE 0): 0'-5' GRAVEL MULCH, NO PLANTING
	IMMEDIATE ZONE (ZONE 1): 5'-30' GRAVEL MULCH, PLANTS IRRIGATED BY DRIPLINE W/ EMITTERS
	EXTENDED ZONE (ZONE 2): 30'-100' FOREST FLOOR MULCH, PLANTS IRRIGATED BY DRIPLINE W/ EMITTERS
	ACCESS ZONE (ZONE 3): 0'-10' FOREST FLOOR MULCH, PLANTS IRRIGATED BY DRIPLINE W/ EMITTERS

Plant List	Qty	ID	Botanical Name	Common Name	Scheduled Size	Fire Resistance
Trees	1	ACT	Acer palmatum 'Beni-Tsukasa'	Beni-Tsukasa Japanese Maple	24" Box	YES
	1	CER	Cercis occidentalis	Western Redbud	36" Box	YES
	2	CIT	Citrus Spp.	Citrus	36" Box	YES
Shrubs	3	HET	Heteromeles arbutifolia	Toyon	15 Gal	
	3	HQP	Hydrangea quercifolia 'Pee Wee'	Pee Wee Oak Leaf Hydrangea	5 Gal	
	4	MMA	Mimulus aurantiacus	Monkeyflower	1 Gal	YES
Perennials	26	ANX	Anemone x hybrida 'Alice'	Alice Anemone	1 Gal	
	11	AMR	Armeria maritima 'rubrifolia'	Red-leaved Thrift	4"	YES
	22	ASC	Asarum caudatum	Wild Ginger	1 Gal	YES
	4	DCR	Dichondra repens 'Emerald Falls'	Kidneyweed	1 Gal	
	23	HEW	Heuchera 'Wendy'	Coral Bells	1 Gal	YES
	39	IRI	Iris douglasiana	Douglas Iris	1 Gal	YES
	32	POL	Polystichum munitum	Western Sword Fern	1 Gal	YES
	5	SAD	Satureja douglasii	Yerba Buena	1 Gal	
	6	WOO	Woodwardia fimbriata	Giant Chain Fern	1 Gal	
Ornamental Grasses	94	CXP	Carex praegracilis	California Field Sedge	1 Gal	
Vines						

